



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

HISTORIC DISTRICT COMMISSION AGENDA

August 3, 2022

5:00 p.m.

50 Natoma Street

Folsom, California 95630

Effective July 7, 2022, the City of Folsom is returning to all in-person City Council, Commission, and Committee meetings. Remote participation for the public will no longer be offered. Everyone is invited and encouraged to attend and participate in City meetings in person.

CALL TO ORDER HISTORIC DISTRICT COMMISSION: John Lane, Mickey Ankhelyi, Justin Raitchel, John Felts, Mark Dascalos, Daniel West, Kathy Cole

Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of the July 20, 2022 meeting will be presented for approval.

PRESENTATION

Historic District Residential Permit Parking Pilot Program Update, Mark Rackovan Public Works Director

NEW BUSINESS

1. DRCL22-00156, 906 Bidwell Street New Custom Home Design Review and Garage Demolition and Determination that the Project is Exempt from CEQA

A Public Meeting to consider requests from Mark Roberts for 1) approval of a Residential Design Review to construct a 2,030-square-foot single-family residence and 2) approval of a Demolition Application to demolish a 480-square-foot garage structure and a 394-square-foot attached carport all at 906 Bidwell Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15303 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Mark Roberts)**

2. DRCL22-00172, 1010 Persifer Street Garage Demolition and Addition Design Review and Determination that the Project is Exempt from CEQA

A Public Meeting to consider requests from Domum for 1) approval of a Residential Design Review to construct a 665-square-foot garage and 2) approval of a Demolition Application to demolish an existing 400-square-foot detached garage all located at 1010 Persifer Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15303 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Domum)**

HISTORIC DISTRICT COMMISSION / PRINCIPAL PLANNER REPORT

The next regularly scheduled meeting is **August 17, 2022**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6200 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6203, (916) 355-7274 (fax) or ksanabria@folsom.ca.us. Requests must be made as early as possible and at least two-full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Historic District Commission Action: Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing. Any appeal of a Historic District Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081.



CITY OF
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HISTORIC DISTRICT COMMISSION MINUTES
July 20, 2022
5:00 p.m.
50 Natoma Street
Folsom, California 95630

CALL TO ORDER HISTORIC DISTRICT COMMISSION: Daniel West, John Lane, Mickey Ankhelyi, Justin Raithel, John Felts, Mark Dascallos, Kathy Cole

ABSENT: Daniel West, Justin Raithel

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: NONE

MINUTES: The minutes of the June 15, 2022 meeting were approved. The minutes of the June 22, 2022 Special Meeting were approved.

NEW BUSINESS

1. PN21-042, Folsom State Prison Nomination for Cultural Resource Listing and Determination that the Project is Exempt from CEQA

A Public Hearing to consider a request from Karen Pardieck for the listing of the Folsom State Prison on the Cultural Resource Inventory of locally significant historical properties. The prison property is associated with early efforts to regulate water and develop hydroelectric power in the Western United States and has historic remains of the Natomas Water and Mining Company’s granite quarry. The zoning classification for the site is OSC, while the General Plan land-use designation is PQP. The Historic District Commission will take final action unless the decision is appealed to the City Council. The project is exempt from the provisions of the California Environmental Quality Act pursuant to California Code of Regulation Title 14, Section 15061 (Review of Exemption), as it can be said with certainty that the project will not have a significant effect on the environment. **(Project Planner: Brianna Gustafson/Applicant: Karen Pardieck)**

COMMISSIONER LANE MOVED TO APPROVE THE FOLSOM STATE PRISON FOR LISTING ON THE CITY OF FOLSOM CULTURAL RESOURCE INVENTORY (PN 21-042) BASED ON THE FOLLOWING FINDINGS (FINDINGS A-F).

COMMISSIONER DASCALLOS SECONDED THE MOTION.

AYES: LANE, ANKHELYI, FELTS, DASCALLOS, COLE

NOES: NONE

RECUSED: NONE

ABSENT: WEST, RAITHEL

MOTION PASSED

2. DRCL 22-00098, 708 Orange Grove Way Addition Design Review and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from West Coast Builders for approval of a Design Review application for a 596-square-foot addition to an existing single-family residence located at 708 Orange Grove Way. The zoning classification for the site is CEN/R-1-M, while the General Plan land-use designation is SFHD. This project is exempt from the California Environmental Quality Act in accordance with Section 15301 (Existing Facilities) of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: West Coast Builders)**

COMMISSIONER ANKHELYI MOVED TO APPROVE THE APPLICATION (DRCL 22-00098) FOR DESIGN REVIEW OF A 596-SQUAREFOOT ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 708 ORANGE GROVE WAY, AS ILLUSTRATED ON ATTACHMENT 5 FOR THE 708 ORANGE GROVE WAY ADDITION PROJECT, BASED ON THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-H) AND SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (CONDITIONS 1-12).

COMMISSIONER FELTS SECONDED THE MOTION.

AYES: LANE, ANKHELYI, FELTS, DASCALLOS, COLE
NOES: NONE
RECUSED: NONE
ABSENT: WEST, RAITHEL

MOTION PASSED

3. DRCL22-00146, 402 Sutter Street Addition Design Review and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Kale Elledge for approval of a Design Review application for converting 469 square feet of a basement and 160 square feet of an existing covered porch into habitable space on an existing 1,905-square-foot residence located at 402 Sutter Street. The proposed project was previously approved by the Historic District Commission on February 3, 2021 (PN20-266) but the approval expired. The zoning classification for the site is R-1-M/FIG, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Brianna Gustafson/Applicant: Kale Elledge)**

COMMISSIONER LANE MOVED TO APPROVE THE APPLICATION (DRCL22-00146) FOR DESIGN REVIEW TO CONVERT 469 SQUARE FEET OF A BASEMENT AND 160 SQUARE FEET OF AN EXISTING COVERED PORCH INTO HABITABLE SPACE ON AN EXISTING 1,905-SQUARE-FOOT RESIDENCE LOCATED AT 402 SUTTER STREET, AS ILLUSTRATED ON ATTACHMENT 5 FOR THE 402 SUTTER STREET ADDITION PROJECT, BASED ON THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-H) AND SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (CONDITIONS 1-11).

COMMISSIONER DASCALLOS SECONDED THE MOTION.

AYES: LANE, ANKHELYI, FELTS, DASCALLOS
NOES: NONE
RECUSED: COLE
ABSENT: WEST, RAITHEL

MOTION PASSED

PRINCIPAL PLANNER REPORT

The next Historic District Commission meeting is tentatively scheduled for August 3, 2022.

RESPECTFULLY SUBMITTED,

Karen Sanabria, ADMINISTRATIVE ASSISTANT

APPROVED:

Kathy Cole, CHAIR



CITY OF
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AGENDA ITEM NO. 1
Type: Public Meeting
Date: August 3, 2022

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 906 Bidwell Street New Custom Home and Garage Demolition
File #: DRCL22-00156
Request: Design Review and Demolition
Location: 906 Bidwell Street
Parcel(s): APN: 070-0201-009
Staff Contact: Josh Kinkade, Associate Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner

Name: Moe Hirani
Address: 8272 Robert Court
Granite Bay, CA 95746

Applicant

Name: Mark Roberts
Address: 711 Orange Grove Way
Folsom CA 95630

Recommendation: Conduct a public meeting and upon conclusion recommend approval of a Residential Design Review and Demolition Application to construct a 2,030-square-foot single-family residence and to demolish a 480-square-foot garage structure and 394-square-foot attached carport at 906 Bidwell Street (DRCL22-00156) based on the findings included in this report (Findings A-I) and subject to the attached conditions of approval (Conditions 1-22).

Project Summary: The proposed project includes a Residential Design Review Application to construct a 2,030-square-foot, two-story 28-foot-tall residence on a 7,000-square-foot lot located at 906 Bidwell Street in the Central Subarea of the Historic Residential Primary Area. The project also includes the demolition of an existing 480-square-foot garage structure and a 394-square-foot attached carport.

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2. Background
3. Proposed Conditions of Approval
4. Proposed Site Plan, Floor Plan, and Elevations, dated 7-12-2022
5. Garage and Carport Photos
6. Colors and Materials



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AGENDA ITEM NO. 1
Type: Public Meeting
Date: August 3, 2022

Submitted,

A handwritten signature in blue ink, appearing to read 'Pam Johns', with a long horizontal flourish extending to the right.

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Moe Hirani, is requesting Design Review approval for development of a 2,030-square-foot single family residence at 906 Bidwell Street. The proposed residence features a two-story floor plan with four bedrooms and four bathrooms. The lower floor is composed of two bedrooms, two bathrooms, great room and kitchen. The upper floor consists of two bedrooms and two bathrooms. Proposed site and floor plans are shown as Attachment 4.

The proposed single-family residence incorporates elements of the Craftsman-Style architectural design. The exterior of the residence is proposed to be sided with horizontal siding colored a forest green, with cream colored window and door trims. Furthermore, the residence features a composite decking porch with wood posts. Elevations of the proposed residence are included in Attachment 4 and the proposed Colors and Materials are included as Attachment 6.

The project also entails the demolition of an existing 480-square-foot garage structure and 394-square-foot attached carport.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code (FMC) states that the Historic District Commission shall have final authority relating to all new residential structures within the Historic District. Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

Section 17.52.660 of the FMC states that the demolition of a structure located in the Historic District is subject to the review and approval of the Historic District Commission. Before demolition is authorized, the applicant must provide documentation of the structure for the historical record, to the extent that the history of the structure is known to, or reasonably obtainable by, the applicant. If the structure is considered historically

significant, the Historic District Commission shall consider several factors before authorizing the demolition. Section 4.13 of the Historic District Design and Development Guidelines (DDGs) makes clear that demolition may be more readily approved for structures that do not comply with the goals, policies, and regulations of FMC Chapter 17.52 and the DDGs themselves.

ANALYSIS

The project, which is located within the Central Subarea of the Historic Residential Primary Area, has an underlying zoning designation of R-1-M (Single-Family Dwelling Small Lot District) and is designated as SFHD in the General Plan. Single-family residences are an allowed use in both the Central Subarea and in the R-1-M zone. The proposed project is subject to the development standards established with the Folsom Municipal Code Section 17.52.540, which institute requirements for lot size, lot coverage, setbacks, building heights, pervious surface, and parking. The following table compares the proposed project to the development standards established by the Folsom Municipal Code for the Historic Residential Primary Area.

	<u>REQUIRED</u>	<u>PROPOSED</u>
Minimum Lot Area	7,000 sq. ft.	7,000 sq. ft.
Minimum Lot Width	50'	50'
Minimum Pervious Coverage	45% of lot area	68% of lot area
Maximum Building Height	35'	28'
Front Yard Setback	20'	20'
Side Yard Setback	5'	5', 10'
Rear Yard Setback	20'	63'
Setback To Other Structures On Parcel	10'	N/A
Minimum Parking	2 spaces	2 spaces

As shown in the table above, the proposed residence meets all applicable development standards.

Building Design and Architecture

The proposed project is subject to compliance with the Historic District Design and Development Guidelines (DDGs) Section 5.04.03 (b), which establishes the design concepts for the Central Subarea, and provides property owners with broad discretion in choosing styles from the 1850-1950 historical timeframe. Restoration, reconstruction, and new construction of “average” homes are encouraged, rather than increase in the number of “high-style” homes.

The architectural design of the proposed residence has elements of the Craftsman-Style. General characteristics of the Craftsman-style design is typically characterized by the use of prominent front porches, gable roof elements, decorative roof vents, horizontal wood

siding, and wood-framed doors and windows. As shown in the submitted building elevations (Attachment 4), the proposed project incorporates several significant Craftsman-style design features including horizontal lap siding, wood shingle-siding, decorative roof vents, covered porches, and wood-framed windows and doors.

Siding and Trim

The exterior of the residence is proposed to be sided with horizontal siding colored forest green. The doors, windows and roof gables will have cream trim. The residence will also feature a roof vent, two porches, wood railings and decking columns, all painted cream. The style, colors, and materials of the proposed siding and trim are consistent with the design intent of the Central Subarea as outlined in the DDGs.

Windows and Doors

The DDGs state that wood frame double-hung or casement windows are preferred, and that vinyl clad windows may be used for less significant structures. In general, window proportions should be vertical rather than horizontal; however, appropriate proportions and number of panes will vary depending upon the style of the individual building and the context. Regarding entries, the DDGs state that residentially scaled and detailed solid wood or glazed doors of many styles may be appropriate.

The applicant proposes vinyl windows that are primarily vertically-sliding. The front of the residence features one picture window. The east side elevation of the residence has three vertically sliding windows, and the west elevation has five vertically sliding windows. The front and side entrances are proposed to be wood doors and the rear entrance is proposed to be a sliding glass door.

Roofing

Pursuant to the DDGs, Appendix D, Section C.7, appropriate roofing materials include fireproof wood shingles, corrugated metal, composition fiberglass shingles, clay tile, or other as determined by historic evidence, with inappropriate materials including colored standing seam metal roofs, glazed ceramic tile or imitation roofing materials including concrete shingles and imitation concrete mission style. The proposed roof will be an asphalt composition shingle roof colored charcoal grey.

Staff has determined that the overall design, colors, materials, and layout of the proposed residence can be successfully incorporated into quality residential design and are compatible with the existing residential character in the project vicinity and is consistent with the design and development guidelines for the Central Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the Historic District Design and Development Guidelines.

Parking

The FMC Section 17.52.540 requires two parking spaces for each single-family detached dwelling unit in within the Residential Primary Area of the Historic District. Required parking spaces must be provided outside required front and street side yards. The

applicant is proposing two paved off-street parking spaces in the rear of the lot, behind the proposed residence. This would be accessible via the alley. Based on this, staff has determined that the proposal complies with the parking requirements.

Demolition

The applicant is proposing to demolish a 480-square-foot garage structure and a 394-square-foot attached carport located on the subject property in order to accommodate development of the proposed custom home. In order to approve a request for demolition of a structure considered historically significant, the Folsom Municipal Code, (FMC Section 17.52.660) states that the Historic District Commission must consider the following:

1. Whether the public health, safety and/or welfare warrant the demolition;
2. What accommodations can be provided to the owner of the property to make it feasible for the owner to preserve the property;
3. Whether the owner of the property is willing to sell the property to a buyer who wishes to preserve the property; and
4. Whether a public entity wishes to acquire the property through exercise of the power of eminent domain in order to preserve the property.

Section 4.13 of the Historic District Design and Development Guidelines clarifies that demolition of structures with historic value should be approved only when all other options have been exhausted by the property owner and the City. However, Section 4.13 of the Design and Development Guidelines also makes clear that demolition may be more readily approved for structures which do not comply with the goals, policies, and regulations of the Folsom Municipal Code, (FMC Section 17.52) and the Design and Development Guidelines themselves.

The 480-square-foot garage structure and the 394-square-foot carport appear to have been constructed around the mid-1950s. The garage was constructed with horizontal lap siding and the carport is composed of metal. Neither are considered historically significant in terms of design and building materials. In addition, neither structure is listed on the City of Folsom's Cultural Resources Inventory list.

PUBLIC NOTICING

A notice was posted on the project site five days prior to the Historic District Commission meeting of August 3, 2022 that met the requirements of FMC Section 17.52.320.

ENVIRONMENTAL REVIEW

The project is exempt from environmental review under Section 15303, New Construction or Conversion of Small Structures, of the California Environmental Quality Act (CEQA)

Guidelines.

RECOMMENDED HISTORIC DISTRICT COMMISSION ACTION

Move to Approve Design Review for a 2,030-square-foot new custom home and demolition of a 480-square-foot garage structure and a 394-square-foot carport structure as illustrated on Attachments 4 through 5 for the 906 Bidwell Street New Custom Home and Garage Demolition project (DRCL 22-00156) based on the findings below (Findings A-I) and subject to the conditions of approval (Conditions 1-22) included as Attachment 3.

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) OF THE CEQA GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

DEMOLITION FINDING

- I. THE EXISTING GARAGE STRUCTURE (480-SQUARE-FOOT) AND CARPORT (394-SQUARE-FOOT) PROPOSED TO BE DEMOLISHED ARE NOT CONSIDERED HISTORICALLY SIGNIFICANT.

ATTACHMENT 2 BACKGROUND

A 1,202-square-foot single-family residence was located on the neighboring property at 908 Bidwell Street and was constructed in 1952. This is also when the 480-square-foot garage structure and 394-square-foot attached carport are believed to have been constructed. The carport and garage structure are located on the subject property at 906 Bidwell Street and are the only structures that currently sit on that property. The garage was constructed with horizontal lap siding and the carport is composed of metal. Neither are considered historically significant in terms of design and building materials.

At its October 2, 2019 meeting, the Historic District Commission approved a Design Review and Demolition Application to construct a 2,030-square-foot single-family residence and to demolish a 480-square-foot garage structure and a 394-square-foot attached carport at 906 Bidwell Street (PN 19-285). A building permit was submitted for the project in 2019, but that permit has since expired. The applicant therefore resubmitted plans for Design Review consistent with the 2019 plans that incorporated the Commission's conditions from that meeting regarding additional enhancements above the front window.

GENERAL PLAN DESIGNATION	SFHD (Single Family High Density)
ZONING	CEN/R-1-M (Central Subarea of the Historic Residential Primary Area/Single-Family Dwelling, Small Lot District)
ADJACENT LAND USES/ZONING	North: Single Family Residential Parcel (CEN/R-1-M) with the Persifer Street/Bidwell Street Alley Beyond South: Bidwell Street with Multi-Family Residential Development (CEN/R-4) Beyond East: Single-Family Residential Development (CEN/R-1-M) with Decatur Street Beyond West: Single Family Residential Development (CEN/R-1-M) with Reading Street Beyond
SITE CHARACTERISTICS	The 0.16-acre project site is developed with a 480 square-foot garage structure and a 394 square-foot attached carport.

APPLICABLE CODES

FMC Chapter 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.540, Historic Residential
Primary Area Special Use and Design
Standards
FMC Section 17.52.660, Demolition
Historic District Design and Development
Guidelines (DDG's)

Attachment 3

Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR 906 BIDWELL STREET NEW CUSTOM HOME AND GARAGE/CARPORT DEMOLITION (DRCL 22-00156)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Building Elevations and Floor Plans, dated July 12, 2022 <p>This project approval is for the 906 Bidwell Street New Custom Home, which includes a 2,030-square-foot single-family residence, demolition of a 480-square-foot garage structure, and demolition of a 394-square-foot carport located at 906 Bidwell Street. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.		<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.		<p>The project approval granted under this staff report (Design Review and Demolition) shall remain in effect for one year from final date of approval (August 3, 2023). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

4.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	<p>CD (P)(E)(B) PW, PR, FD, PD</p>
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
5.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.		If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
8.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)

9.		This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (August 3, 2022). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
10.		The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)
11.		If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
SITE DEVELOPMENT REQUIREMENTS				
12.		The improvement plans for the required private improvements shall be reviewed and approved by the Community Development Department prior to issuance of the Building Permit.	B	CD (E)
13.		The owner/applicant shall coordinate the planning, development and completion of this project with the various utility agencies (i.e., SMUD, PG&E, etc.).	I	CD (P)(E)
14.		The owner/applicant shall obtain a Demolition Permit prior to demolition of the 394-square-foot carport and 480-square-foot garage. In addition, compliance with all local, state and federal regulations pertaining to demolition of the garage/carport structure is required.	I, B	CD (E), B
STORM WATER POLLUTION/CLEAN WATER ACT REQUIREMENTS				
15.		During Construction, the owner/applicant shall be responsible for litter control and sweeping of all paved surfaces in accordance with City standards. All on-site storm drains shall be cleaned immediately before the commencement of the rainy season (October 15).	G, I, B	CD (E)

ARCHITECTURE/SITE DESIGN REQUIREMENTS				
16.		<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> 1. This approval is for a 2,030-square-foot new single-family residence for the 906 Bidwell Street New Custom Home project. The applicant shall submit building plans that comply with this approval, the attached building elevations and attached floor plan, dated July 13, 2022. 2. The design, materials, and colors of the proposed 906 Bidwell Street New Custom Home project shall be consistent with the submitted building elevations, material samples, and color scheme to the satisfaction of the Community Development Department. 3. The final design of the windows and doors shall be subject to review and approval by the Community Development Department. 4. All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings. 	OG	CD (P)
FIRE/LIFE SAFETY REQUIREMENTS				
17.		An automatic sprinkler system shall be installed in the residence in accordance with Section 903.3 of the 2019 California Fire Code.	O	CD (F)
NOISE REQUIREMENT				
18.		Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. In addition, construction equipment shall be muffled and shrouded to minimize noise levels.	I, B	CD (P)(E)

LANDSCAPE/TREE PRESERVATION REQUIREMENTS

19.		<p>Pursuant to the state’s Model Water Efficient Landscape Ordinance (MWEL0), all new construction projects with an aggregate front yard landscape area equal to or greater than 500 square feet shall submit a landscape documentation package and landscape permit application to the CDD for review and approval. The landscape permit shall be issued prior to, or at the time of, the issuance of a building permit.</p> <p>Projects with an aggregate front yard landscape area of 500 to 2,500 square feet may comply with either the Performance Approach requirements or the Prescriptive Approach requirements of the MWEL0.</p> <p>Projects with an aggregate front yard landscape area of more than 2,500 square feet shall comply with the Performance Approach Requirements of the MWEL0.</p> <p>Projects with an aggregate front yard landscape area of less than 500 square feet shall submit a preliminary landscape plan to the CDD for review and approval prior to, or at the time of, the issuance of a building permit. The preliminary landscape plan shall show all proposed front yard landscaping with irrigated planting areas, plant materials, street tree species and location, footprints of buildings or structures, sidewalks, driveways, decks, patios, gravel or stone walks, or other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (such as open spaces and existing native vegetation). The preliminary landscape plan shall also include the calculation of front yard landscape area consistent with the definition herein.</p> <p>The City-approved landscape plan shall be installed at the time of the final inspection for the building permit, prior to Certificate of Occupancy. Any significant modification to the City-approved landscaping shall comply with the State’s Model Water Efficient Landscape Ordinance.</p> <p>For purposes of this condition of approval, “landscape area” means all the irrigated planting areas, irrigated turf areas, and water features in a landscape design plan or preliminary landscape plan. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).</p>	O	CD (P)(E)
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CULTURAL RESOURCE REQUIREMENTS

20.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
21.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)
SOILS REQUIREMENT				
22.		If during construction, currently unknown contaminated soils are discovered (i.e., discolored soils, odorous, other indications), construction within the area shall be halted, the extent and type of contamination shall be characterized, and a clean-up plan shall be prepared and executed. The plan shall require remediation of contaminated soils. The plan shall be subject to the review and approval of SCEMD, RWQCB, the City of Folsom, or other agencies, as appropriate. Remediation can include in-situ treatment, disposal at an approved landfill, or other disposal methods, as approved. Construction can proceed within the subject area upon approval of and in accordance with the plan.	G, I, B	CD (P)(E)(B)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD (P) (E) (B) (F)	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
		M	Prior to approval of Final Map
		B	Prior to issuance of first Building Permit
		O	Prior to approval of Occupancy Permit
		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Attachment 4
Proposed Site Plan, Floor Plan, and Elevations,
dated 7-12-2022

CONSTRUCTION NOTES

GENERAL NOTES

DRAWINGS REPRESENT THE DESIRED RESULT OF CONSTRUCTION. THE METHODS OF CONSTRUCTION & THE RISKS INVOLVED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY AT ALL STAGES OF CONSTRUCTION.

PRIOR TO STARTING CONSTRUCTION THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL CONTRACTOR HAS RECEIVED ALL PLANS & ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING & ANY OTHER REGULATORY AUTHORITIES. FAILURE TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF WORK MANDATED BY ANY REGULATORY AUTHORITY.

CONTRACTOR TO REMOVE DEBRIS, ROOTS, WEEDS AND OTHER DELETERIOUS MATERIAL FROM SITE. CONTRACTOR SHALL REMOVE ALL UNUSED EXCAVATED EARTH FROM SITE.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. DISCREPANCIES IN DIMENSIONS WHICH MAY BE FOUND SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR HIS DECISION BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.

CONTRACTORS SHALL FOLLOW SIZES IN THE CONSTRUCTION DOCUMENTS OR FIGURES ON THE DRAWINGS IN PREFERENCE TO SCALE MEASUREMENTS. FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS.

WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK OR A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIVE AND SO CONSTRUCTED.

ALL CONTRACTOR PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING ANY PERTINENT WORK.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES INCLUDING THOSE ITEMS SUPPLIED BY THE OWNER.

DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF STUBS OR CONCRETE OR TO CENTERLINE OF COLUMNS, U.O.N.

PROJECT INFO

CODES: ALL CONSTRUCTION PERFORMED SHALL COMPLY W/ THE 2019 C.B.C., C.R.C., C.M.C., C.P.C., C.E.C., C.G.B.C & CALIFORNIA ENERGY CODE, AS AMENDED BY THE STATE OF CALIFORNIA 4 LOCAL JURISDICTION.

PROJECT: DEMO EXISTING 2-CAR GARAGE & CARPORT. CONSTRUCT SINGLE FAMILY DETACHED HOUSE.

OWNER: MOE HIRANI 916.208.1865
906 BIDWELL STREET, FOLSOM, CA 95630

APN: 070-0201-009-0000

LOT SIZE: 7,000 SQ.FT.

OCC. / CONSTRUCTION: R-3 / V-B

PROPOSED HOUSE: 2,030 SQ.FT.

FIRST FLOOR: 1,365 SQ.FT.

SECOND FLOOR: 665 SQ.FT.

COVERED PROJECTIONS: 510 SQ.FT.

IMPERVIOUS SURFACE RATIO: 1,875 / 7,000 = 27%

BLDG. DEPT. NOTES

WORK SHALL BE INSTALLED PER APPROVED CONSTRUCTION DOCUMENTS, ANY CHANGES MADE NOT IN COMPLIANCE W/ APPROVED PERMIT SHALL BE SUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

CONSTRUCTION WORK SHALL BE SUBJECT TO INSPECTION BY THE CITY OF FOLSOM BLDG. OFFICIALS & THEIR DESIGNATED REPRESENTATIVE. CONSTRUCTION SHALL REMAIN ACCESSIBLE & EXPOSED FOR INSPECTION UNTIL APPROVED. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSIDERED TO BE AN APPROVAL OF A CODE VIOLATION OR OTHER CITY OR OTHER JURISDICTION REGULATIONS.

CONTRACTOR SHALL NOTIFY BLDG. DEPARTMENT WHEN WORK IS READY FOR INSPECTION. 1 WEEK PROVIDE ACCESS TO 4 HOURS FOR INSPECTION OF THE WORK. THIS STRUCTURE IS EQUIPPED W/ A RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM.

APPROVED ADDRESS NUMBERS SHALL BE PLACED ON BUILDING NUMBERS TO BE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST IN COLOR FROM THEIR BACKGROUND - HALO ILLUMINATED 18 INCH HELVETICA. ILLUMINATED ADDRESS SHALL BE ON A LIGHTING CIRCUIT POWERED DUSK TO DAWN.

SITE CONSTRUCTION NOTES

1. DRAINAGE SWALES SHALL BE INSTALLED TO CITY OF FOLSOM'S SATISFACTION
2. GROUND ADJ. TO BLDG. SHALL BE SLOPED AWAY FROM BLDG. AT A MIN. OF 5% FOR A MIN. OF 10 FT. SLOPED MAY BE REDUCED TO 2% AT PAVED SURFACES
3. THERE IS NO CUT OR FILL NECESSARY TO CONSTRUCT THIS BUILDING
4. NO WORK SHALL BE PERMITTED W/ IN OR UNDER THE DRIP LINE OF AN (E) OAK TREE W/OUT A PERMIT
5. CONSTRUCTION SHALL BE "CHALKED" OAK TREES SHALL BE FENCED W/ HIGH VISIBILITY FENCING PRIOR TO PRE-SITE INSPECTION
6. CALL U.S.A. SERVICE PRIOR TO EXCAVATION
7. EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED & MAINTAINED BETWEEN OCT. 15th & APRIL 1st
8. CLEARING & GRUBBING SHALL CONFORM TO THE CITY OF FOLSOM'S REQUIREMENTS
9. ALL EXCAVATION, EMBANKMENT & BACKFILL SHALL CONFORM TO THE CITY OF FOLSOM'S REQUIREMENTS
10. SOIL IS ASSUMED TO BE STABLE, DRY, NON-EXPANSIVE & NON-FILL MATERIAL
11. IF SITE / SOIL CONDITION DEVIATES FROM THE ABOVE CRITERIA, CONTRACTOR SHALL OBTAIN GEOTECHNICAL DATA OF SITE / SOIL & RECOMMENDED MEASURES FOR FOUNDATION / CONSTRUCTION
12. FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED NAT. SOILS
13. ARCHITECT SHALL REVIEW EXCAVATIONS PRIOR TO PAD & FTG. PLACEMENT & PROVIDE WRITTEN REPORT TO BLDG. DEPT.

VICINITY MAP

MARK N. ROBERTS
ARCHITECT

711 Orange Grove Way
Folsom, CA 95630
916.608.0833

LICENSED ARCHITECT

MARK N. ROBERTS

C-27060

REN. 08/31/

STATE OF CALIFORNIA

HIRANI HOUSE
 906 BIDWELL STREET
 FOLSOM, CA 95630

Job No: 22.03 Date: 07.12.22

A1

Sheet ___ of ___

EROSION CONTROL NOTES GRADING NOTES

1. THE PROJECT SHALL CONFORM TO THE FOLSOM MUNICIPAL CODE (FMC) FOR PROTECTION OF SURFACE WATERS AND URBAN RUN-OFF. IN ADDITION, SITES OF ONE ACRE OR MORE SHALL COMPLY WITH THE STATE'S NPDES GENERAL CONSTRUCTION PERMIT.
2. THE PROJECT OWNER SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) MANAGER WHO SHALL PROVIDE THEIR NAME, PHONE NUMBER, AND E-MAIL ADDRESS TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER OR THE DESIGNATED CITY INSPECTOR. CHANGES TO THE ESC MANAGER'S CONTACT INFORMATION SHALL PROMPTLY BE REPORTED TO THE PUBLIC WORKS STORMWATER QUALITY MANAGER. THE ESC MANAGER SHALL BE RESPONSIBLE FOR ALL PROJECT PERSONNEL INCLUDING SUBCONTRACTORS AND MATERIAL SUPPLIERS.
3. THE ESC MANAGER SHALL INSPECT AND MAKE NECESSARY CORRECTIONS AND ADJUSTMENTS TO THE STORMWATER CONTROLS ON THE FOLLOWING SCHEDULE:
 - 1) WEEKLY, 2) 48 HOURS PRIOR TO A STORM EVENT PREDICTED BY THE NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION TO EXCEED 0.10 INCH, 3) DURING A STORM EVENT EXCEEDING 0.10 INCH AND 4) WITHIN 48 HOURS AFTER A STORM EVENT EXCEEDING 0.10 INCH.
4. BEST MANAGEMENT PRACTICES (BMP'S) DESCRIBED HEREIN AND ON THE APPROVED EROSION CONTROL PLAN ARE THE MINIMUM REQUIRED BMP'S TO BE IMPLEMENTED AND MAINTAINED ON THE CONSTRUCTION SITE YEAR ROUND IN ORDER TO COMPLY WITH CHAPTERS 8.9 OF THE FMC. ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS DICTATE, THROUGHOUT THE COURSE OF THE WORK, TO ENSURE THAT WATER QUALITY RUN-OFF INTO CITY DRAINAGE FACILITIES IS PROTECTED.
5. SEDIMENT CONTROL BMP'S SHALL BE INSTALLED AND MAINTAINED YEAR ROUND AND AT A MINIMUM SHALL INCLUDE PERIMETER CONTROL'S, DRAIN INLET PROTECTION, AND STABILIZED ACCESS. PUBLIC STREETS AND SIDEWALKS SHALL BE SWEEPED DAILY WHEN VEHICLES ARE ACCESSING THE SITE. WASHING THE STREET SHALL NOT BE PERMITTED UNLESS OTHERWISE APPROVED BY THE CITY.
6. THE CONTRACTOR SHALL ANTICIPATE AND ACCOMMODATE ANY RUN-ON FROM NEIGHBORING PROPERTIES, INCLUDING EXISTING WATER COURSES. EXISTING WATER COURSES SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITION, EXCEPT WHERE MODIFICATIONS ARE APPROVED BY THE CITY.
7. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON. HYDROSEED, IF USED, SHALL BE PLACED ON OR BEFORE SEPTEMBER 15th. HYDROSEED PLACED AFTER SEPTEMBER 15th SHALL BE USED WITH A SECONDARY PROTECTION METHOD SUCH AS A MAT OR BLANKET SPECIFICALLY DESIGNED TO FACILITATE GERMINATION AND GROWTH.
8. PROTECTED AREAS SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCING. ADDITIONAL SIGNAGE MAY BE REQUIRED TO IDENTIFY THE RESOURCE BEING PROTECTED AND/OR PROVIDE ADDITIONAL INSTRUCTIONS TO CONSTRUCTION PERSONNEL.
9. CEMENTITIOUS, PAINT, WASTE, AND HAZARDOUS MATERIALS SHALL BE HANDLED, COVERED, AND/OR STORED PROPERLY TO AVOID SPILLS, LEAKAGE, AND CONTACT WITH RAIN OR STORMWATER RUNOFF.
10. UPON COMPLETION OF THE PROJECT, ALL BMP'S SHALL BE REMOVED ONCE LANDSCAPING IS INSTALLED AND FUNCTIONING TO THE SATISFACTION OF THE CITY.
11. VIOLATIONS OF THE FMC & 10 MAY RESULT IN STOP WORK NOTICES, FINES, AND/OR DELAY IN CITY INSPECTIONS OF THE PROJECT IMPROVEMENTS.

DRAWING INDEX

A1	NOTES, VICINITY MAP, PROJECT INFO & SITE PLAN
A2	FLOOR PLANS
A3	BUILDING SECTION & EXTERIOR ELEVATIONS

ELEC. SERVICE DETAILS

INDICATES BOUNDARY OF AREA WHICH MUST BE KEPT CLEAR OF OBSTRUCTIONS.

NOTES:

1. MAINTAIN A CLEARANCE AREA AROUND THE SOCKET AS SHOWN IN THE ILLUSTRATIONS.
2. THERE MUST BE AN 8" MIN. HORIZONTAL AND A 6" MIN. VERTICAL, OBSCURE CLEARANCE BETWEEN THE CENTER OF THE METER SOCKET AND ANY OBSTRUCTION IN THE CLEARANCE AREA. (SEE DRAWING ABOVE).
3. A 1/2" CLEARANCE SHALL BE MAINTAINED IN FRONT OF THE METER SOCKET TO ALLOW FOR THE INSTALLATION, TURNING AND READING. (SEE SEC. A1(A) (2) PAGE-3).
4. METER SHALL BE LOCATED SO THAT IT WILL NOT BE OBSCURED BY A SWINGING WINDOW, DOOR, OR CASE.
5. ON ANY OUT SWINGING WINDOW, OR CASE OPENING THE SURFACE OF THE WALL ON EITHER SIDE OF THE WINDOW OR CASE HAS A MINIMUM CLEARANCE TO THE AREA OF THE METER SOCKET. IF CLEARANCE IS UNACCEPTABLE AS A METER SOCKET, UNDER A SUITABLE PERMANENT WINDOW, WINDOW, OR CASE STOP IS PROVIDED.

"A" - RIGHT HAND GARAGE

"B" - LEFT HAND GARAGE

ELEC. SERVICE DETAILS

TYPICAL RESIDENTIAL UTILITY METER LOCATION

MIN. 1/2" SLOPE IN DIRECTION OF FLOW

12" GRAVEL / STONE / COBBLES

DRAINAGE SWALE - 1"

SITE PLAN - 1"=10'

C.L. OF BIDWELL STREET

SMUD T003 CONSTRUCTION ENGINEER

REQUIRED MINIMUM CLEARANCES OF METER SOCKET FROM OBSTRUCTIONS

DATE: 07.12.22

SCALE: AS SHOWN

REV: A-1

SMUD T003 CONSTRUCTION ENGINEER

TYPICAL RESIDENTIAL UTILITY METER LOCATION

DATE: 07.12.22

SCALE: AS SHOWN

REV: A-2

SMUD T003 CONSTRUCTION ENGINEER

TYPICAL RESIDENTIAL UTILITY METER LOCATION

DATE: 07.12.22

SCALE: AS SHOWN

REV: A-2

SMUD T003 CONSTRUCTION ENGINEER

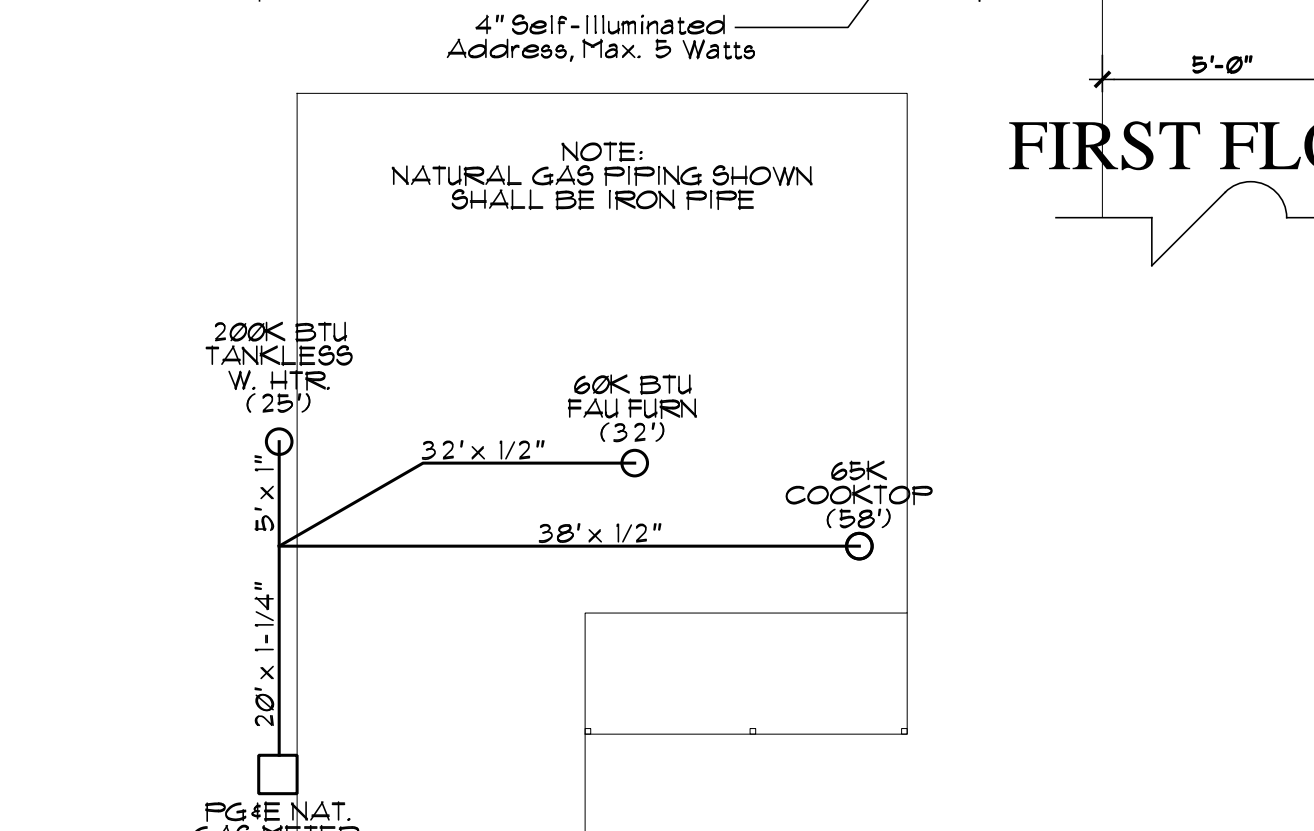
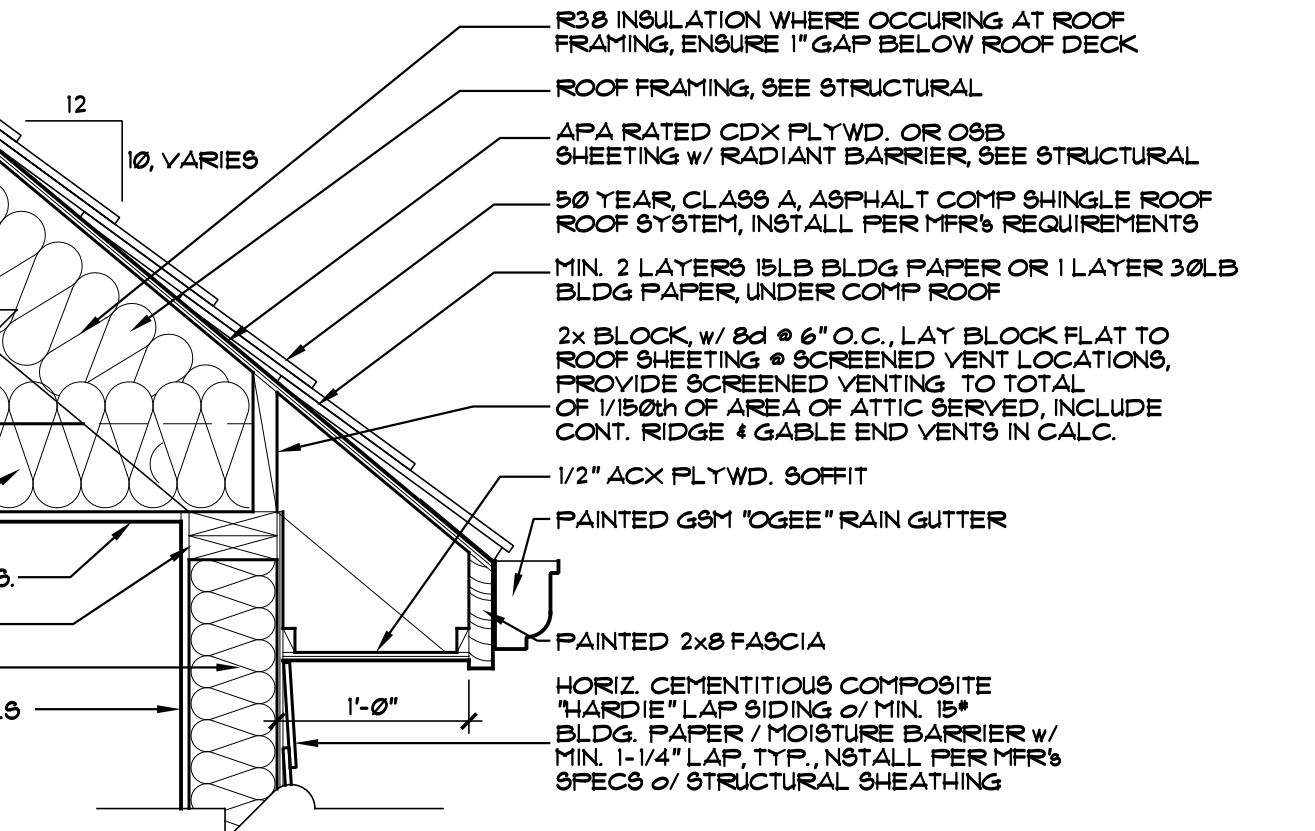
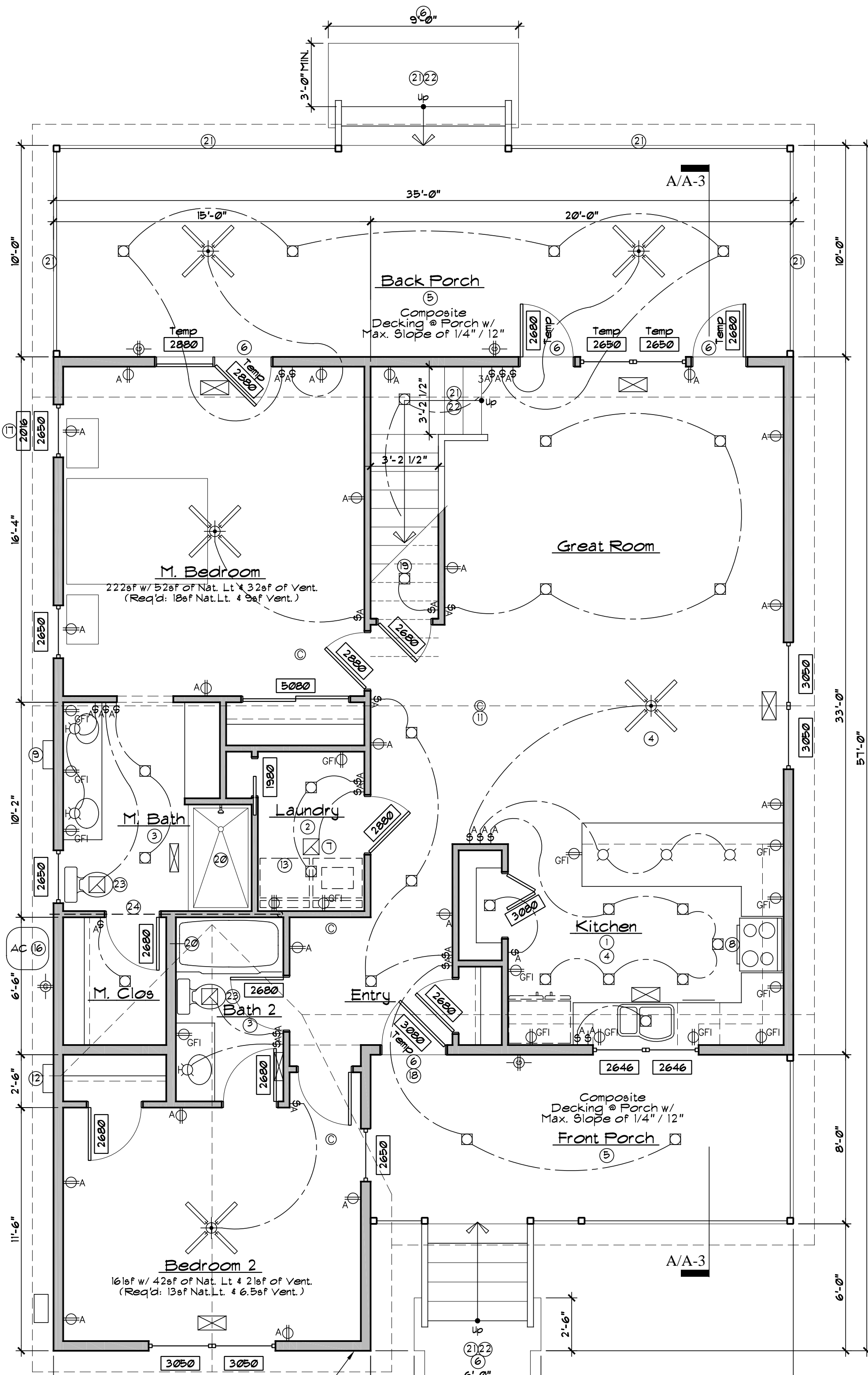
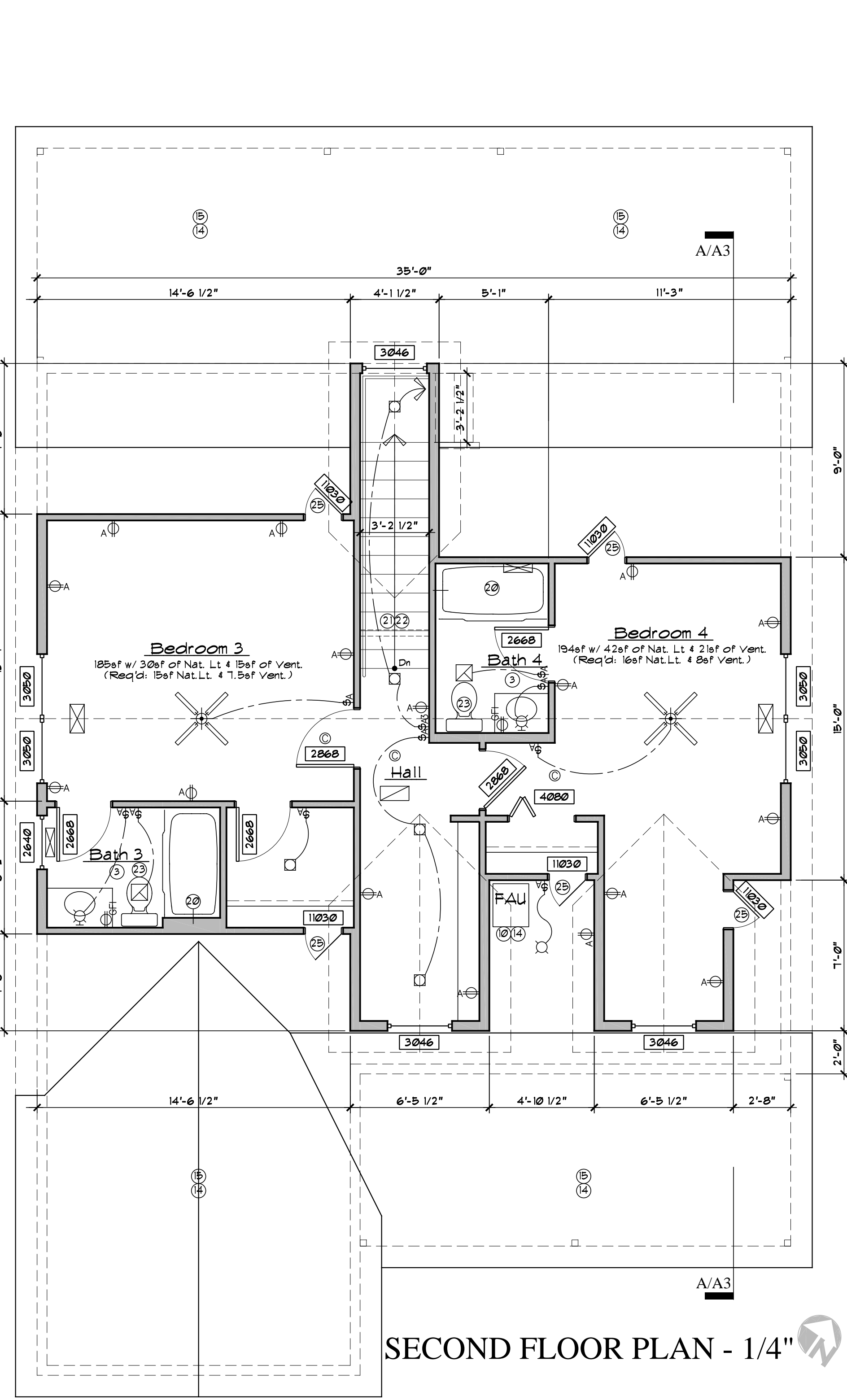
TYPICAL RESIDENTIAL UTILITY METER LOCATION

DATE: 07.12.22

SCALE: AS SHOWN

REV: A-2

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EFFICIENT LIGHT'G REQ.

ALL LUMINAIRE SHALL BE HIGH EFFICACY - REF. TABLE 906.4 OF CEC. FOR ADDITIONAL REQ. REFER TO 724 (MAND. MEASURES) HALLWAYS, DINING RM'S, FAMILY RM'S, BEDRM'S. (EXCEPT CLOSETS LESS THAN 10 S.F.)

KITCHEN:

- * HIGH EFFICACY
- * HIGH EFFICACY, w/ AT LEAST ONE LUMINAIRE CONTROLLED BY VACANCY SENSOR

BATHROOM:

- * HIGH EFFICACY, w/ AT LEAST ONE LUMINAIRE CONTROLLED BY VACANCY SENSOR

GARAGE, LAUNDRY & UTILITY ROOMS:

- * HIGH EFFICACY, w/ AT LEAST ONE LUMINAIRE CONTROLLED BY VACANCY SENSOR

OUTDOOR LIGHTING:

- * EQUIPPED w/ MANUAL CONTROL SWITCH, PHOTOCELL & MOTION SENSOR w/ NO OVERRIDE TO ON, AND BY EITHER PHOTOCONTROL, AND AUTOMATIC THE SWITCH, ASTRONOMICAL THE CLOCK w/ NO OVERRIDE ON OR ENERGY MANAGEMENT CONTROL SYSTEM PER CEC 150.0(K).3. PROVIDE SEPARATE SWITCHES FOR THE FAN AND THE LIGHT IN THE BATHROOM

RECESSED FIXTURES - COMPLY w/ CEC 150.0(K).1.C

- * MUST BE RATED FOR INSULATION CONTACT (IC-RATED), AIRTIGHT (ASTM E 2181) & SEALED w/ GASKET OR CALKED BETWEEN HOUSING AND CEILING
- * NO SCREW BASE SOCKETS *MUST BE MARKED "JAB-2016-E" FIXTURE TO BE SERVICEABLE w/O DAMAGING CEILING

ELECTRICAL NOTES:

INSTALL 20" MIN. 4 BAR W/ER GROUND ENCASED IN MIN. 2" OF CONCRETE w/ ATTACHED #4 COPPER GROUNDING WIRE, CLAMPED TO METALLIC WATER SUPPLY, ACCESSIBLE FROM EXT OF BLDG

INSTALL INTERSYSTEM BONDING TERMINAL w/ PROVISIONS FOR A MIN. OF 3 GROUNDING/BONDING CONDUCTORS REQUIRED FOR COMM. SYSTEMS. INSTALL EXTERNAL TO PANEL ENCLOSURE

INSTALL ALL EQUIPMENT, CONDUITS, OUTLETS, FIXTURES & APPLIANCES IN ACCORDANCE w/ ALL APPLICABLE CODES

ALL CONDUIT SHALL BE ROUTED CONCEALED UNLESS NOTED ON PLAN OR APPROVED BY OWNER

ALL MATERIAL AND EQUIPMENT IS TO BE U.L. LISTED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS

ALL OUTDOOR ELECTRICAL EQUIP. SHALL BE WEATHERPROOF

ALL 120V, 15 & 20 AMP RECEPTACLES INSTALLED IN DWELLING UNIT SHALL BE LISTED "TEMPER RESISTANT"

REFER TO TITLE 24 SHEETS FOR MANDATORY MEASURES

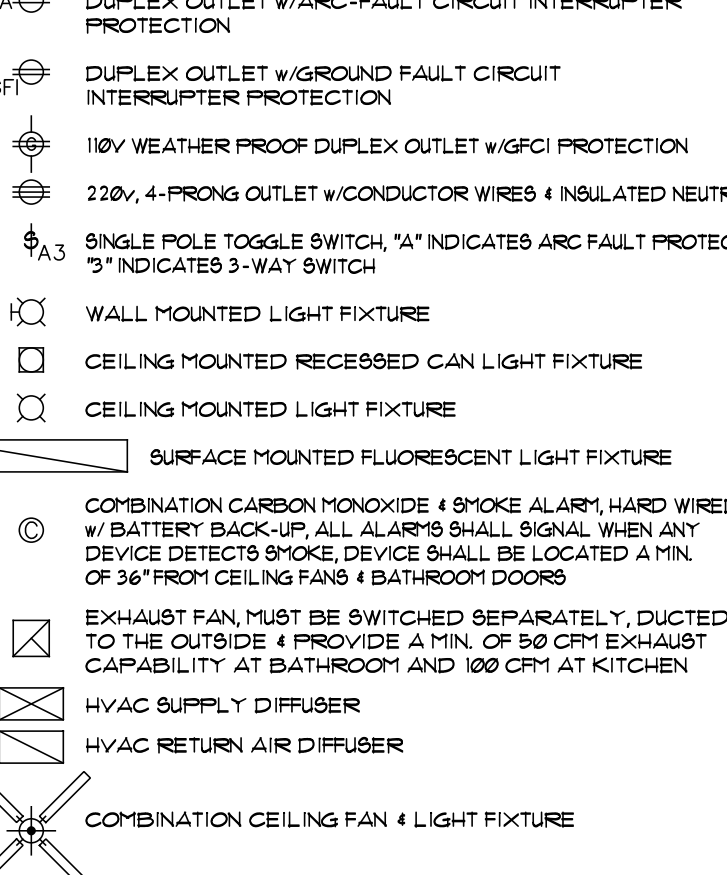
SMOKE ALARMS SHALL INCLUDE U.L. LISTING 217 & BE INSTALLED PER REQUIREMENTS IN THE C.B.C., C.E.C., C.R.C. AND THE HOUSING & FIRE WEAPON EQUIPMENT PROVISIONS OF NFPA 12. SYSTEMS & COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED & APPROVED IN ACCORDANCE w/ C.C.R. TITLE 19, DIV. 1

CARBON MONOXIDE ALARMS SHALL INCLUDE U.L. LISTING 1034 & INSTALLED PER REQUIREMENTS IN C.B.C., C.E.C., C.R.C. & NFPA 70 & THE MANUFACTURER'S INSTALLATION INSTRUCTIONS

ALL SMOKE & CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED PER 2016 CFC, R314.5 & R315.13, AND SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING PER 2016 CFC, R314.4 & R315.1.2

BRANCH CIRCUITS SERVING RECEPTACLES, LIGHTS, DETECTOR POWER ETC. ARE REQUIRED TO BE AFCI EQUIPPED AT FAMILY ROOMS, CLOSETS, HALLWAYS & SIMILAR ROOMS

ELEC. / MECH. LEGEND:



SHEET NOTES

- SPACE DUPLEX OUTLETS NO GREATER THAN 48" O.C. & NO LESS THAN 12" O.C. @ KITCHEN COUNTERS
- PROVIDE A MIN. OF ONE DEDICATED 20AMP CIRCUIT SERVING LAUNDRY ROOM / AREA
- CIRCUITS SERVING BATHROOMS SHALL SERVE NO OTHER OUTLETS
- OUTLETS IN KITCHEN, PANTRY, BREAKFAST OR DINING RM SHALL BE SERVED BY A MIN. OF (2) 20 AMP CIRCUITS, WHICH SERVE NO OTHER OUTLETS
- HOSE BIB, FIELD VERIFY LOCATION w/ OWNER, PROVIDE A MIN. OF 1 AT FRONT & 1 AT REAR OF UNIT EXTERIOR
- LEVEL LANDINGS @ EXT. OF DOOR OR BOTTOM OF STAIR, MAX. 1.15" BELOW ADJ. FLOOR LEVEL
- CONTINUOUSLY RUNNING "WHOLE BUILDING VENTILATION FAN" w/ MIN. 24 CFM RATING PER TITLE 24 REPORT, RATING BASED ON A MIN. WATER COLUMN OF 0.25, FAN SHALL HAVE A MAX. SONE RATING OF 1
- SWITCHED KITCHEN EXHAUST FAN, VENTED DIRECTLY TO EXT. w/ MIN. 100 CFM RATING, BASED ON A MIN. WATER COLUMN OF 0.25, FAN SHALL HAVE A MAX. SONE RATING OF 3
- GAS FRIED, DIRECT VENT, EXT. MOUNTED TANKLESS WATER HEATER PER TITLE 24 CODES, ACTUAL CLEARANCE REQUIREMENTS LISTED BY MANUFACTURER & 20% CFC, CH 4
- FURNACE / AIR HANDLER IN ATTIC LEVEL, ADJACENT TO 1ST FLOOR, PROVIDE DISCONNECT SWITCH & 30"x30" CLEAR AREA AT SERVICE SIDE OF UNIT, ACCESS DOOR SHALL BE 22"x30" MIN., PROVIDE SWITCH AT DOOR TO SERVICE LIGHT AT UNIT, ANCHOR UNIT TO FLR. FRMS OR BLOCKS IN FLR. FRMS PER MANUFACTURER'S INSTRUCTIONS
- MUST BE PHOTOELECTRIC SMOKE ALARM, NOT LESS THAN 10 FT. FROM PERMANENTLY INSTALLED COOKING APPLIANCE
- DEDICATED 90UD ELEC. METER & USER GROUND
- PROVIDE 4" EXHAUST DUCT FOR DRYER / 20% CFC, 504.3.1 MAX. DUCT LENGTH SHALL NOT EXCEED 14' OR HAVE MORE THAN (12) 90° ELBOWS / 20% CFC, 504.3.1.2
- OUTDOOR AIR INTAKE SHALL BE LOCATED 10" MIN. FROM PLUMBING VENTS OR ALLEY. OUTDOOR AIR EXHAUST OR INTAKE OPENINGS SHALL BE PROTECTED w/ CORROSION RESISTANT SCREENS HAVING A MIN. OPENING SIZE OF 1/4" & A MAX. OPENING SIZE OF 1/2". OPENINGS SHALL BE PROTECTED AGAINST WEATHER CONDITIONS. OPENINGS SHALL MEET PROVISIONS IN ACCORDANCE w/ 2016 CFC, R308.6
- CLASS A ASPHALT COMPOSITION ROOF SHINGLES INSTALL PER MFR'S REQ. COLOR SHALL COMPLY w/ 2016 CALIFORNIA ENERGY CODE, SECTION 108.8(1). INSTALL 0/ MIN. 2 LAYER OF 15LB OR 1 LAYER OF 30LB BLDG PAPER
- PROVIDE DISCONNECT SWITCH AT AC CONDENSOR & A WEATHERPROOF GFCI PROTECTED 120V DUPLEX OUTLET (NOT CONNECTED TO LOAD SIDE OF DISCONNECT)
- PROVIDE 24"x18" MIN. CRAWL SPACE ACCESS HATCH
- DOOR SHALL PROVIDE MIN. 32" CLEARANCE WHEN OPEN 90° & SHALL BE OPENABLE FROM INT. w/o USE OF A KEY OR SPECIAL KNOWLEDGE
- CEILING / UNDERSIDE OF STAIR STRUCTURE SHALL HAVE 1/2" MIN. GYPM BOARD
- PROVIDE NON-ABSORBENT SURFACE @ FLOOR AND WALLS TO 12" ABOVE FIN. FLOOR IN SHOWERS AND TUBS, TYP.
- 1-1/2" x 4" TYPE I HANDRAIL, TYPE I 1-1/2" x 4" HANDRAIL @ 34" - 38" ABOVE NOSE OF TREAD w/ MIN. 1-1/2" CLEARANCE TO WALL. GUARD RAIL @ 42" A.F.F. PATTERS @ RAILS SHALL PREVENT 4" @ SPHERE FROM PASSING, HANDRAIL CONFIGURATION SHALL PREVENT 6" @ SPHERE FROM PASSING THRU TRIANGLE SHAPE CREATED BY RISER, TREAD & BOTTOM OF HANDRAIL. HANDRAIL SHALL BE CONT. FULL LENGTH OF FLIGHT
- MAX. RISER HEIGHT, 7-3/4"; MIN. TREAD DEPTH, 10-1/2"; RISERS SHALL BE CLOSED. NOSING SHALL BE BETWEEN 3/4" & 1-1/4" w/ A MAXIMUM VARIATION IN TREAD DEPTH OF 3/8". TYP. ALL NOSINGS. MAXIMUM BEVELING OF NOSING SHALL NOT EXCEED 1/2"
- WC SHALL NOT BE SET CLOSER THAN 15" FROM ADJ. WALL, CABINET OR OBSTRUCTION & A MIN. OF 30" CENTER TO CENTER OF ANY 80" FIXTURE. LOCATION SHALL PROVIDE 4" MIN. CLEAR SPACE @ FRONT OF WC
- 4" x SHEET METAL DRYER DUCT, 3 FT DROP FROM DRYER TO CRAWL SPACE, 90° ELBOW, THEN 1 FT HORIZONTAL RUN TO EXT. WALL. VENT OCCURS MORE THAN 3 FT FROM PROP. LINE.
- PERMANENTLY ATTACH 1-1/2" RIGID INSULATION TO THE ATTIC SIDE OF ACCESS DOOR. PROVIDE DOOR GASKET AT ATTIC ACCESS DOORS.

HVAC NOTES:

HVAC SUPPLY & RETURN DIFFUSERS SHOWN ARE SCHEMATIC ONLY & INDICATE CONDITIONED SPACE. MECHANICAL CONTRACTOR TO DETERMINE ACTUAL QUANTITY, SIZE & LOCATION OF DIFFUSERS

SYSTEM DESIGN, DIFFUSER TYPES & DIFFUSER LOCATIONS SHALL BE PRESENTED TO THE OWNER FOR APPROVAL. PRIOR TO PURCHASE & INSTALLATION BY THE MECHANICAL CONTRACTOR

INSTALL ALL EQUIP., DUCTWORK, PIPING ETC. IN ACCORDANCE w/ ALL APPLICABLE CODES. DUCTWORK SHALL USE PRESSURE SENSITIVE TAPES, MASTICS, AEROSOL SEALANTS OR OTHER CLOSURE SYSTEMS MEETING APPLICABLE U.L. REQUIREMENTS. DRAWINGS USED w/ FLEXIBLE DUCTS SHALL BE EITHER 9.5", WORM DRIVEN HOSE CLAMPS OR UV-RESISTANT NYLON DUCT TIES. IN ADDITION, DRAWINGS MUST HAVE A MIN. TENSILE STRENGTH RATING OF 150 LBS. & BE TIGHTENED AS RECOMMENDED BY THE MFR.

ALL MATERIAL AND EQUIP. SHALL BE U.L. LISTED & INSTALLED PER MANUFACTURER'S SPECIFICATIONS

ALL EXHAUST FANS SHALL BE DUCTED TO EXTERIOR

AN APPROVED AIR BALANCE REPORT SHALL BE HANDED TO THE BUILDING INSPECTOR WHEN EQUIPMENT & DUCTING HAVE BEEN INSTALLED. INSPECTION IS BY THE B.I. STEPS IN PERFORMING THE ACCEPTANCE TESTS. THE INSPECTION SHALL IDENTIFY:

- MECH. EQ. & DEVICES ARE PROPERLY LOCATED, IDENTIFIED, CALIBRATED, AND SET POINTS & SCHEDULES ESTABLISHED.
- DOCUMENTS ARE AVAILABLE TO IDENTIFY SETTINGS & PROGRAMS FOR EA. DEVICE.
- FOR AIR DISTRIBUTION SYSTEMS, THIS MAY INCLUDE SELECT TESTS TO VERIFY ACCEPTABLE LEAKAGE RATES WHILE ACCESS IS AVAILABLE.

PLUMBING NOTES:

ALL PLUMBING FIXTURES SHALL BE CONNECTED TO A SANITARY SEWER DISPOSAL SYSTEM. 20% CFC, R306.6

ALL PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED WATER SUPPLY w/ HOT & COLD WATER / 20% CFC, R306.4

PLUMBING WATER PIPE MATERIAL MUST COMPLY w/ 20% C.P.C. A MINIMUM OF A 2x6 WALL SHALL BE USED WHENEVER PIPING w/ IN THE WALL IS GREATER THAN TWO INCH OUTER DIAMETER PER 2016 C.P.C.

BOND METALLIC GAS & WATER PIPES TO SERVICE GROUND PER C.E.C.

SHOWERS & TUB SHOWERS SHALL BE PROVIDED w/ PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE OR CONTROLS PER 2016 C.P.C. MAX. SETTING SHALL BE 120 DEGREES F.

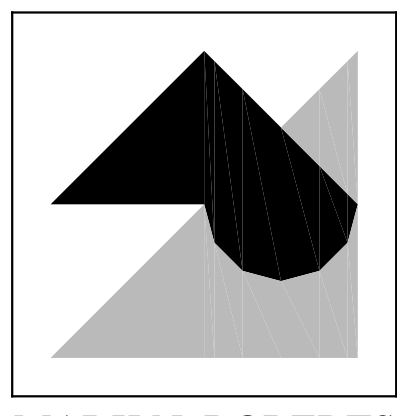
PROVIDE NON-REMOVABLE BACKFLOW PREVENTION / ANTI-SIPHON DEVICE ON ALL EXT. HOSE BIBS, SEE 2016 CFC, CHAPTER 6.1, & FOLSOM MUNICIPAL CODE

ALLOWABLE FIXTURE FLOW RATES PER CALGREEN TEETH SCHEDULE 408:

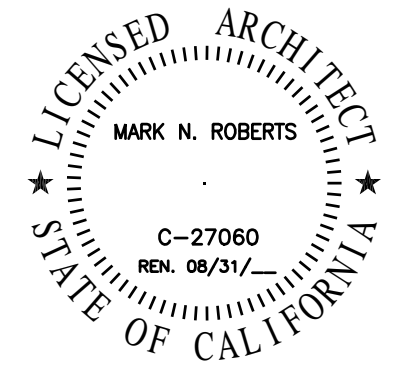
- SHOWERHEAD 1.8 GPM @ 60 PSI
- LAV FAUCET 1.2 GPM @ 60 PSI
- KITCHEN FAUCET 1.8 GPM @ 60 PSI
- WATER CLOSET 1.28 GALLONS / FLUSH (CPC 411)

LEGEND & MATL. & FINISHES NOTES:

- GENERAL NOTES:**
- DIMS. ARE FACE OF STUD TO FACE OF STUD U.O.N.
 - ALL WINDOWS ARE "LOW E" DOUBLE GLAZED VINYL
 - PROVIDE 22"x30" ATTIC ACCESS, MIN. w/ 30" MIN. VERT. HEADROOM
 - PROVIDE 18"x24" CRAWL SPACE ACCESS, MIN.
 - PROVIDE CRAWL SPACE VENTILATION EQUAL TO 1/80 OF UNFLOOR AREA. AREA SERVED IS 1369 SQ. FT. REQUIRING 1310 SQ. IN.
 - PROVIDE SOFFIT/ATTIC VENTING EQUAL TO 1/50 OF AREA SERVED. AREA SERVED IS APPROX. 1815 SQ. FT. REQUIRING 1800 SQ. IN. VENTING PROVIDED BY: 2.3 SQ. IN. PER VENTED / DRILLED EAIVE BLOCK, OR 42 SQ. IN. TOTAL, PLUS 18 SQ. IN. PER LIN. FT. OF RIDGE VENTING, OR 990 SQ. IN. PLUS 300 SQ. IN. PER GABLE END VENT (1) OR 900 SQ. IN. TOTAL PROPOSED VENTING: (1332 SQ. IN.)
 - WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 (PER 2016 CFC, SECTION R302.9.1) AND A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 (PER 2016 CFC, SECTION R302.9.2). TESTING SHALL BE MADE IN ACCORDANCE w/ ASTM E 84 OR U.L. 123.
- FINISH MATERIALS:**
- FLOORS AT BOTH LEVELS ARE PER OWNER'S PREFERENCE
 - INT. WALLS ARE 1/2" GYP. w/ SMOOTH WALL TEXTURE
 - INT. CEILING ARE 5/8" GYP. BD. w/ SMOOTH WALL TEXTURE
 - EXT. WALLS ARE PAINTED, HORIZ. LAP BOARD SIDING w/ MIN. 15 BLDG. PAPER / MOISTURE BARRIER, INSTALL PER MANUFACTURER'S REQUIREMENTS
 - ROOFING IS ASPHALT COMP. CLASS A SHINGLE ROOFING SYSTEM, INSTALL PER MANUFACTURER'S REQUIREMENTS, COLOR SHALL COMPLY w/ 2016 CALIFORNIA ENERGY CODE "COOL ROOF" REQ.
 - FASCIA IS PAINTED CV3 2x8 D.F.
 - GUTTERS & DOWNSPOUTS ARE G.S.M. w/ BAKED ENAMEL FINISH
- FRAMING:**
- EXT. WALLS ARE 2x6 @ 16" O.C., U.O.N. OR DIMENSIONED
 - INTERIOR WALLS ARE 2x4 @ 16" O.C., U.O.N. SHOWN OR DIMENSIONED
 - WALL SHEATHING IS MIN. 1/2" PL. W/ CDX OR OSB U.O.N. SEE BRACED WALL INFORMATION ON STRUCTURAL SHEETS FOR ADDITIONAL REQ.
 - ROOF SHEETING IS 1/2" RADIANT BARRIER CDX PLYWOOD OR OSB, PROVIDE ACX @ EXPOSED EAVES, TYP. U.O.N.
- INSULATION:**
- R-19 BATT INSULATION AT EXTERIOR WALLS
 - R-38 BATT INSULATION AT ROOF FRAMING/ATTIC



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Folsom, CA 95630
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HIRANI HOUSE
906 BIDWELL STREET
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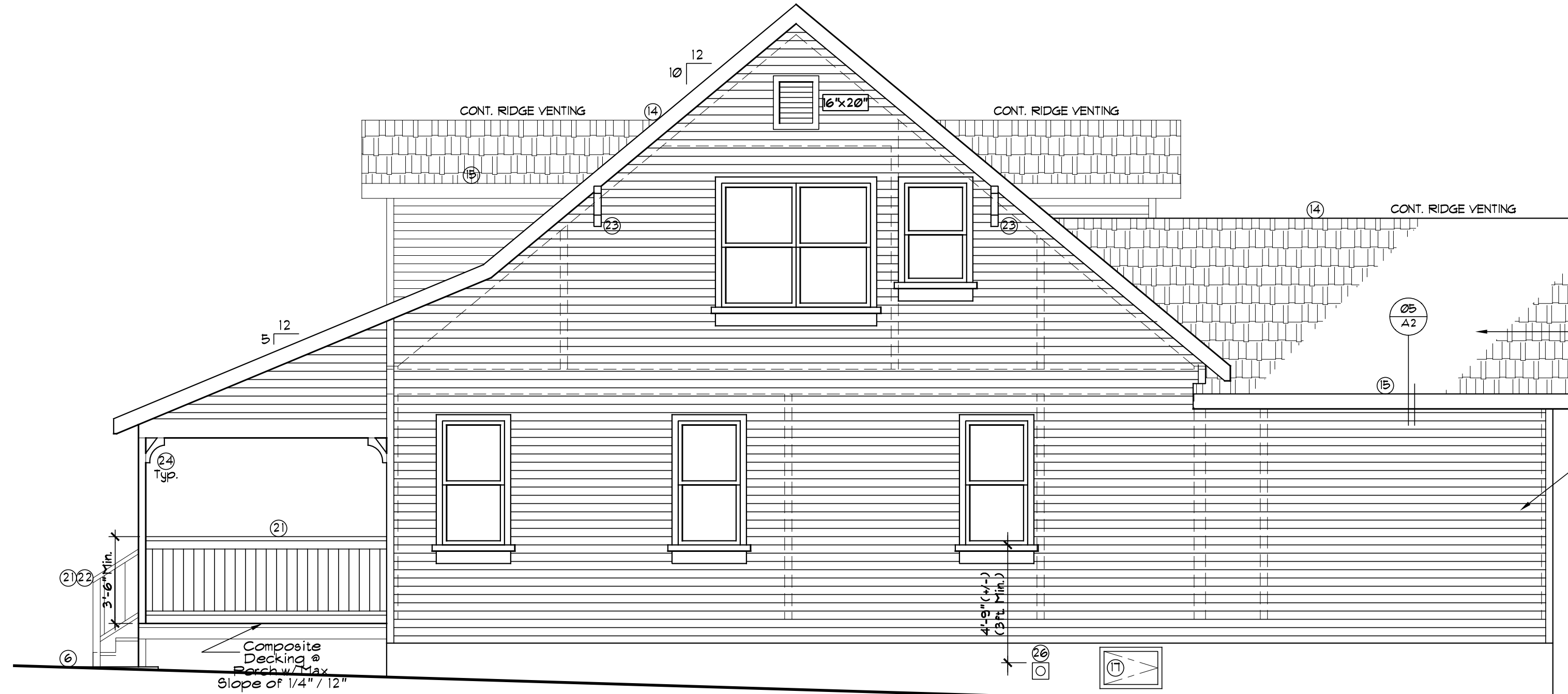
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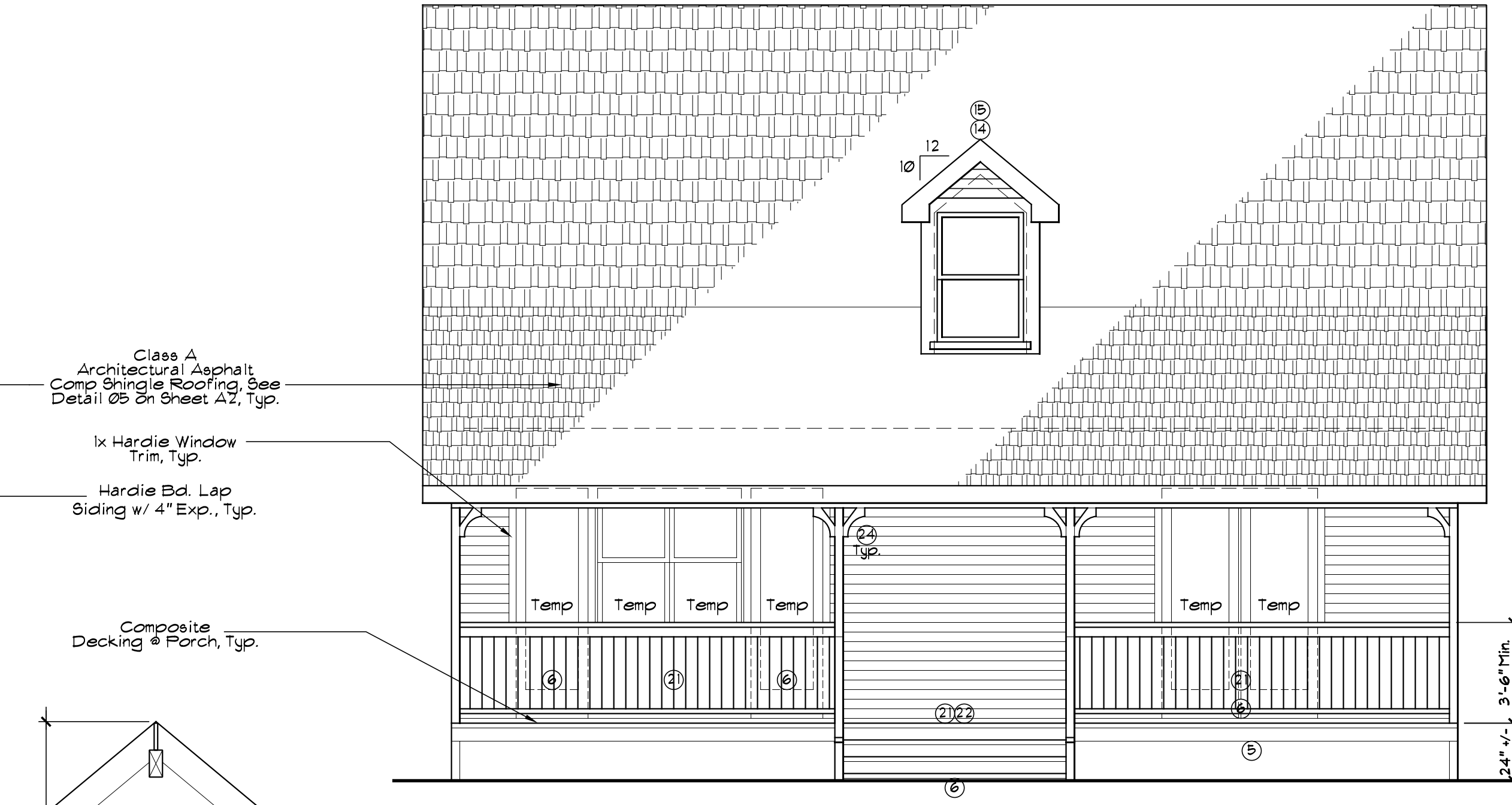
EAST ELEV - 1/4"



SOUTH ELEV - 1/4"



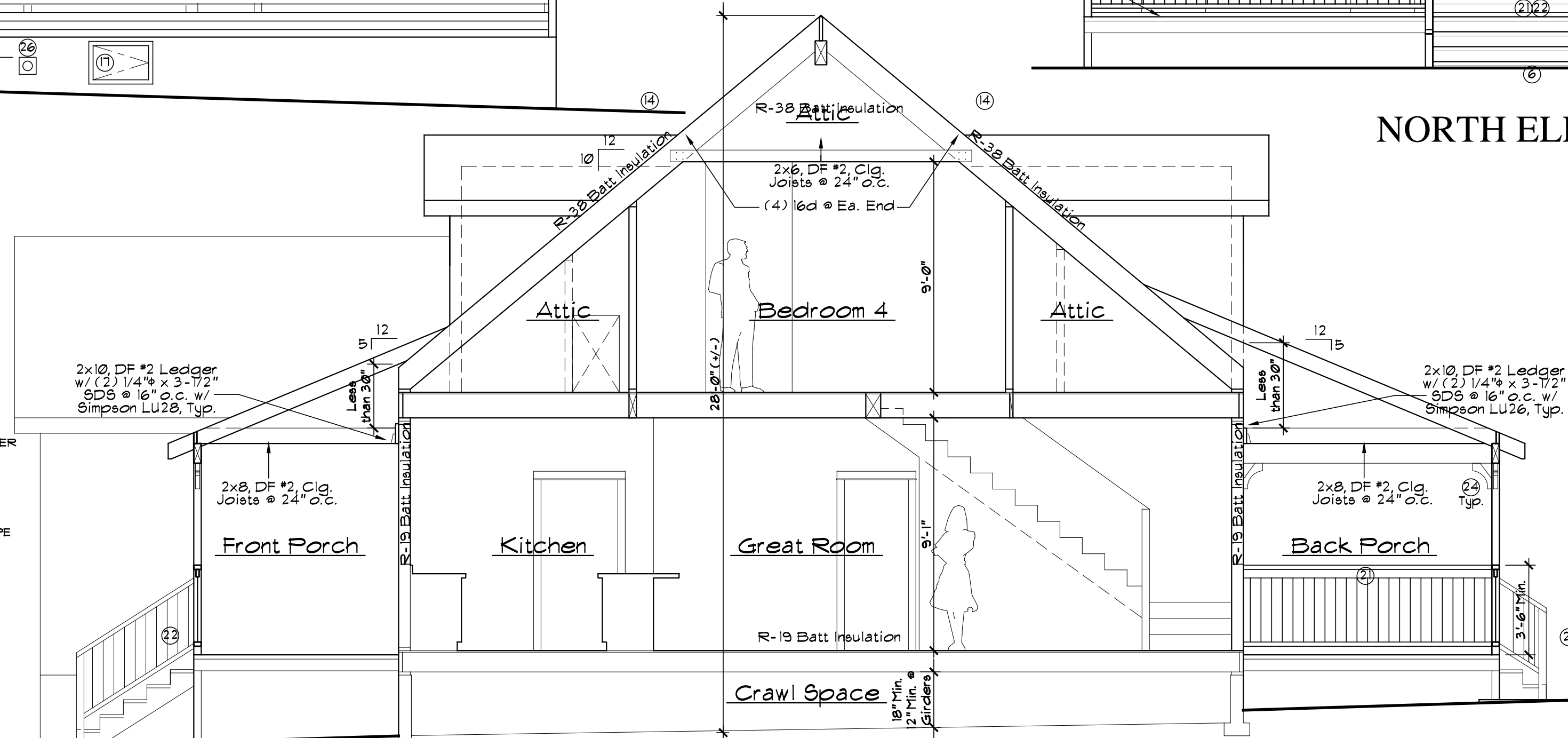
WEST ELEV - 1/4"



NORTH ELEV - 1/4"

SHEET NOTES (partial)

- ⑤ HOSE BIB, FIELD VERIFY LOCATION W/ OWNER, PROVIDE A MIN. OF 1' AT FRONT & 1' AT REAR OF UNIT EXTERIOR
- ⑥ LEVEL LANDING @ EXT. OF DOOR OR BOTTOM OF STAIR, MAX. 7.19' BELOW ADJ. FLOOR LEVEL
- ⑭ OUTDOOR AIR INTAKE SHALL BE LOCATED @ MIN. FROM PLUMBING VENTS OR ALLEY. OUTDOOR AIR EXHAUST OR INTAKE OPENINGS SHALL BE PROTECTED W/ CORROSION RESISTANT SCREENS HAVING A MIN. OPENING SIZE OF 1/4" & MAX. OPENING SIZE OF 1/2". OPENINGS SHALL BE PROTECTED AGAINST WEATHER CONDITIONS. OPENINGS SHALL MEET PROVISIONS IN ACCORDANCE W/ 2016 CIRC. R03.6
- ⑮ CLASS A ASPHALT COMPOSITION ROOF SHINGLES, INSTALL PER MFR'S REQ., COLOR SHALL COMPLY W/ 2016 TILE 24 ENERGY CODE, SECTION 10.8.11.
- ⑰ PROVIDE 24"x18" MIN. CRAWL SPACE ACCESS HATCH
- ⑲ 1-1/2" x 4" GUARD RAIL, HANDRAIL @ 34" - 38" ABOVE NOSE OF TREAD. GUARD RAIL @ 42" A.F.F., PATTERN @ RAILS SHALL PREVENT 4" SPHERE FROM PASSING, HANDRAIL CONFIGURATION SHALL PREVENT 6" SPHERE FROM PASSING THRU TRIANGLE SHAPE CREATED BY RISER, TREAD & BOTTOM OF HANDRAIL. HANDRAIL SHALL BE CONT. FULL LENGTH OF FLIGHT
- ⑳ MAX. RISER HEIGHT, 7-3/4"; MIN. TREAD DEPTH, 10-1/2"; RISERS SHALL BE CLOSED
- ㉑ BARGE RAFTER BRACKET
- ㉒ COLUMN BRACKET
- ㉓ NOT USED
- ㉔ DRYER VENT, PLACE A MIN. OF 3ft. FROM WINDOW OPENING



A-A SITE SECTION - 1/4"

OUTDOOR AIR INTAKE SHALL BE LOCATED @ MIN. FROM PLUMBING VENTS OR ALLEY. OUTDOOR AIR EXHAUST OR INTAKE OPENINGS SHALL BE PROTECTED W/ CORROSION RESISTANT SCREENS HAVING A MIN. OPENING SIZE OF 1/4" & MAX. OPENING SIZE OF 1/2". OPENINGS SHALL BE PROTECTED AGAINST WEATHER CONDITIONS. OPENINGS SHALL MEET PROVISIONS IN ACCORDANCE W/ 2016 CIRC. R03.6

ASPHALT COMPOSITION ROOF SHINGLES, INSTALL PER MANUFACTURER REQ., COLOR OF ROOFING SHALL COMPLY W/ 2016 TILE 24 ENERGY CODE, SECTION 10.8.11

FINISH MATERIALS:

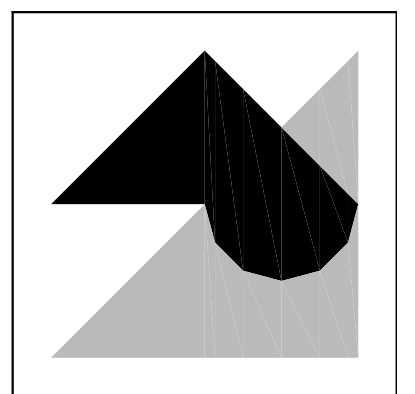
- 1. FLOORS AT BOTH LEVELS ARE PER OWNER'S PREFERENCE
- 2. INT. WALLS ARE 1/2" GYP. W/ SMOOTH WALL TEXTURE
- 3. INT. CEILINGS ARE 5/8" GYP. BD. W/ SMOOTH WALL TEXTURE
- 4. EXT. WALLS ARE PAINTED, HORIZ. LAP BOARD SIDING @ MIN. 1" BLDG. PAPER / MOISTURE BARRIER, INSTALL PER MANUFACTURER'S REQUIREMENTS
- 5. ROOFING IS ASPHALT COMPOSITION SHINGLE, CLASS A ROOFING SYSTEM, INSTALL PER MANUFACTURER'S REQUIREMENTS, COLOR SHALL COMPLY W/ 2016 CALIFORNIA ENERGY CODE 200L, ROOF REQ. INSTALL ROOFING @ MIN. 2 LAYERS 30LB OR 1 LAYER 30LB BLDG PAPER
- 6. FASCIA IS PAINTED CVG 2x8 D.F.
- 7. GUTTERS & DOWNSPOUTS ARE G.&M. W/ BAKED ENAMEL FINISH

FRAMING:

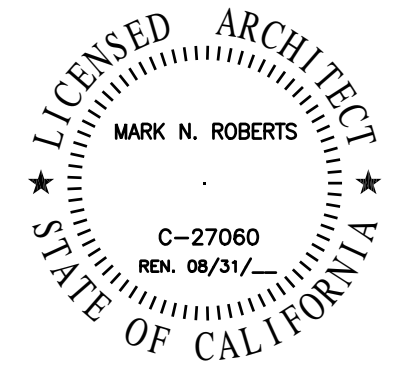
- 1. EXT. WALLS ARE 2x6 @ 16" O.C. U.O.N. OR DIMENSIONED
- 2. INTERIOR WALLS ARE 2x4 @ 16" O.C. U.O.N. SHOWN OR DIMENSIONED
- 3. WALL SHEATHING IS MIN. 1/2" PLY. WD. OR OSB, U.O.N. SEE BRACED WALL INFORMATION ON STRUCTURAL SHEETS FOR ADDITIONAL REQ.
- 4. ROOF SHEETING IS 1/2" RADIANT BARRIER CDX PLYWOOD OR OSB, PROVIDE ACX @ EXPOSED EAVES, TYP. U.O.N.

INSULATION:

- 1. R-19 BATT INSULATION AT EXTERIOR WALLS & 1ST FLOOR FRAMING
- 2. R-38 BATT INSULATION AT ROOF FRAMING/ATTIC



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ARCHITECT
711 Orange Grove Way
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916.608.0833



HIRANI HOUSE
906 BIDWELL STREET
FOLSOM, CA 95630

Job No: 22.03 Date: 07.12.22

A3

Sheet ___ of ___

Historic District Commission
906 Bidwell Street New Custom Home and Garage Demolition (DRCL 22-00156)
August 3, 2022

Attachment 5

Garage and Carport Photos







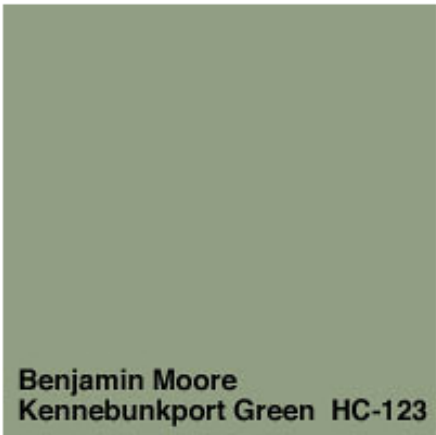
Attachment 6

Proposed Colors and Materials

Colors and Materials



Materials – Hardie Lap Siding



Main Body Color



Trim Color

mannequin cream
2152-60



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Meeting
Date: August 3, 2022

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 1010 Persifer Street Garage Demolition and Addition
File #: DRCL22-00172
Request: Design Review
Location: 1010 Persifer Street
Parcel(s): APN 070-0145-013
Staff Contact: Josh Kinkade, Associate Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner

Name: Brian Anderson & Rebecca Davis
Address: 1010 Persifer Street
Folsom, CA 95630

Applicant

Name: Domum
Address: 6532 Lonetree Blvd.
Rocklin, CA 95765

Recommendation Conduct a public meeting, and upon conclusion recommend approval of a Residential Design Review and Demolition Application to demolish an existing 400-square-foot detached garage and construct a 665-square-foot detached garage located at 1010 Persifer Street, as illustrated on Attachment 5 for the 1010 Persifer Street Garage project (DRCL22-00172) based on the findings included in this report (Findings A-I) and subject to the attached conditions of approval (Conditions 1-18).

Project Summary: The proposed project consists of demolition of an existing 400-square-foot detached garage and construction of a new structure that includes a 665-square-foot garage located at 1010 Persifer Street. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

Table of Contents:

1. Description/Analysis
2. Background
3. Proposed Conditions of Approval
4. Vicinity Map
5. Site Plan, Roof Plan, Floor Plans, Elevations and Material Legend, dated 7-26-22
6. Site Photos
7. Public Comments Received



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Meeting
Date: August 3, 2022

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Domum, is proposing demolition of an existing 400-square-foot detached garage and construction of a new structure that includes a 665-square-foot garage with 252 square feet of attic storage space above located at 1010 Persifer Street. Staff notes that the structure is also proposed to include an accessory dwelling unit (ADU). However, based on the proposed height of the ADU, that portion of the structure is exempt from design review by the Historic District Commission, as described in the Policy/Rule section below. The proposed garage portion of the structure will be 15'10" in height and will contain white horizontal and vertical board-and-batten siding with grey roofing and black window trim. The project site is zoned R-1-M (Single-Family Residential, Small Lot District) and is within the Central Subarea of the Historic Residential Area of the Historic District. The General Plan designation of SFHD (Single-Family High Density).

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code (FMC) states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition or demolition of existing structures within the Historic District. Section 17.52.330 states that, in reviewing projects for design review, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

Section 17.105.070(A) of the FMC states that one ADU detached from the primary dwelling is allowed with a maximum square footage of 850 square feet for a one-bedroom unit and that does not exceed 16 feet in height and is located at least 4 feet from side and rear property lines. Section 17.105.070(B) of the FMC states that only ADUs that exceed a height of 16 feet are subject to review by the Historic District Commission.

Section 17.52.660 of the FMC states that the demolition of a structure located in the Historic District is subject to the review and approval of the Historic District Commission. Before demolition is authorized, the applicant must provide documentation of the structure

for the historical record, to the extent that the history of the structure is known to, or reasonably obtainable by, the applicant. If the structure is considered historically significant, the Historic District Commission shall consider several factors before authorizing the demolition. Section 4.13 of the Historic District Design and Development Guidelines (DDGs) makes clear that demolition may be more readily approved for structures that do not comply with the goals, policies, and regulations of FMC Chapter 17.52 and the DDGs themselves.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is SFHD (Single-Family High-Density), and the zoning designation for the project site is R-1-M (Single-Family Residential, Small Lot District) and is within the Central Subarea of the Historic Residential Area of the Historic District. Single-family residences are allowed by right in the Central Subarea and accessory structures such as garages and sheds are allowed by right if they are auxiliary to a primary structure.

Section 17.52.480 of the Folsom Municipal Code institutes setback and height requirements for accessory structures in the Historic District and Section 17.52.540 institutes requirements for pervious surface and building height in the Central Subarea. The following table shows how the proposed project relates to the FMC zoning requirements (note that this table only reflects the characteristics of the garage serving the primary residence, as the ADU is subject to separate standards that will be reviewed at a staff level as part of the building permit process):

	REQUIRED	PROPOSED
Accessory Structure Front Setback	20 feet, behind front plane of residence	105 feet, behind front plane of residence
Accessory Structure Side Setbacks	5 feet	9.4 feet
Accessory Structure Rear Setback	5 feet	5 feet
Minimum Pervious Surface	45%	65% (proposed)
Maximum Accessory Structure Height	18 feet (height of the primary structure)	15.8 feet
Separation from Other Structures on Property	6 feet	17.8 feet
Parking	2 spaces for primary residence	2 spaces

As shown in the above table, the proposed project will meet all applicable development standards.

Demolition

The applicant is proposing to demolish a 400-square-foot garage structure located on the subject property in order to accommodate development of the proposed garage/ADU. In order to approve a request for demolition of a structure considered historically significant, the Folsom Municipal Code, (FMC Section 17.52.660) states that the Historic District Commission must consider the following:

1. Whether the public health, safety and/or welfare warrant the demolition;
2. What accommodations can be provided to the owner of the property to make it feasible for the owner to preserve the property;
3. Whether the owner of the property is willing to sell the property to a buyer who wishes to preserve the property; and
4. Whether a public entity wishes to acquire the property through exercise of the power of eminent domain in order to preserve the property.

Section 4.13 of the Historic District Design and Development Guidelines clarifies that demolition of structures with historic value should be approved only when all other options have been exhausted by the property owner and the City. However, Section 4.13 of the Design and Development Guidelines also makes clear that demolition may be more readily approved for structures which do not comply with the goals, policies, and regulations of the Folsom Municipal Code, (FMC Section 17.52) and the Design and Development Guidelines themselves.

The 400-square-foot garage structure appears to have been constructed around the late-1940s to mid-1950s. The garage was constructed with horizontal lap siding and is not considered historically significant in terms of design and building material. In addition, the garage is not listed on the City of Folsom's Cultural Resources Inventory list. Therefore, staff supports the demolition of the structure.

Building Design/Architecture

The design guidelines within the Historic District Design and Development Guidelines (DDGs) also apply to this project. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District. Chapter 5.04.03(b) of the DDG's, which addresses the design concepts for the Central Subarea, states that the subarea provides property owners with broad discretion in choosing styles from the entire 1850-1950 timeframe, guided by the overall principles and any designation of significance of the building or site. No structures on the 1010 Persifer Street property are included on the City of Folsom Cultural Resources Inventory.

The DDG's state that exterior materials and finishes for residential properties should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed project consists of a 665-

square-foot garage. The proposed garage will be 15'10" in height and will contain white horizontal lap and vertical board-and-batten siding with grey roofing and black window trim. The primary structure contains white horizontal lap siding with a grey asphalt shingle roof. Furthermore, the proposed garage will not be visible from the street. As such, staff determined that the proposed garage is compatible with the colors and materials of the primary residence.

The garage includes residentially scaled doors, consistent with the DDGs. The proposed project's architecture is consistent with residential appearance through the use of the proposed building materials and design. The proposed structure will be 15'10" feet in height and 665 square feet in size, both of which do not exceed the square footage or height of the primary residence, as mandated by Section 17.52.480 of the FMC.

Vehicular access to the proposed garage will be via the Natoma Street/Persifer Street alley in the rear of the parcel. According to the DDGs, Appendix D, Section C.4 (e), two single garage doors are preferred over a double door. The proposed garage features doors with hinges and handles to resemble a carriage style, thereby meeting the intent of the DDGs.

Staff has determined that the overall design, colors, materials, and layout of the proposed garage structure are consistent with the design and development guidelines for the Central Subarea and the building materials, textures and colors are consistent with surrounding development and with the general design theme of the neighborhood. Staff has concluded that the applicant has met the design standards identified in the Folsom Municipal Code and the guidelines contained in the DDG's.

Accessory Dwelling Unit

As part of the overall project, the applicant is proposing to build a one-bedroom 373-square-foot ADU that would be attached to the proposed 665-square-foot garage and would be 145'4" in height and located 5'6" from the property line.

Section 17.105.070(A) of the FMC states that one ADU detached from the primary dwelling is allowed with a maximum of 850 square feet for a one-bedroom unit, that does not exceed 16 feet in height and is located at least 4 feet from side and rear property lines. Section 17.105.070(B) of the FMC states that only ADUs that exceed a height of 16 feet are subject to review by the Historic District Commission. As such, the proposed ADU is not subject to Historic District Commission review.

The ADU portion of the structure will not be subject to the design standards of FMC Sections 17.105.150 and 17.105.160, as the ADU is not larger than 800 square feet or taller than 16 feet in height. As such, the Historic District Commission will only be reviewing the garage portion of the structure and the storage space above the garage. The design and footprint of the rest of the structure has been included in the plans for informational purposes only to give a sense of context for the rest of the building. The

Historic District Commission may not review that portion of the structure.

Consistent with State law and the Folsom Municipal Code, staff will evaluate the proposed ADU to ensure that it complies with the applicable requirements in Chapter 17.105. If applicable requirements are met, ministerial approval is required. However, due to the size (less than 800 square feet), peak height above grade (less than 16 feet), and setbacks (side and rear yard setbacks greater than four feet) staff's review will be limited and the design standards in Section 17.105.160 cannot be used to deny the proposed ADU.

PUBLIC NOTICING

A notice was posted on the project site five days prior to the Historic District Commission meeting of August 3, 2022 that met the requirements of FMC Section 17.52.320. The initial set of plans were also routed to the Folsom Heritage Preservation League and Historic Folsom Residents Association. The Heritage Preservation League (HPL) provided a comment letter that has been included in Attachment 7. The HPL's letter makes comments on the greater parking regulations within the residential area of the Historic District, states that an additional on-site parking space is needed and recommends that a preliminary grading plan is submitted. The letter also states that the HPL believes that the entire accessory structure should be subject to HDC review and makes design recommendations that include locating the ADU's belly band at the same height and selecting garage doors of wood or material resembling wood and framing the doors with trim.

With regards to this comment letter, staff worked with the applicant to ensure that two parking spaces were provided for the primary residence, and this is reflected on the plans provided in Attachment 5. Regarding a grading plan, this comment was shared with Development Engineering staff, but they concluded that all grading and drainage issues will be addressed as part of the required building permit process, and such issues would not impact the design review for this particular project. If issues arise during the building permit process that do impact the design, the project with any such changes will come back to the Commission for review and approval before construction can commence. Therefore, no grading plan is required as part of this Design Review application. Regarding review of the ADU, staff refers to the analysis above and reiterates that only the garage is subject to HDC review. Even so, staff worked with the applicant to address the design recommendations in the HPL letter. Specifically, the applicant agreed to move the belly band down on the garage, and this design is reflected in the plans provided in Attachment 5. Staff notes that the garage door designs shown in the Material Legend of the provided plans shows doors with a material resembling wood and door trim, which address the related design recommendations.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15303 (New Construction or

Conversion of Small Structures) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

RECOMMENDED HISTORIC DISTRICT COMMISSION ACTION

Move to approve the application (DRCL22-00172) for demolition of an existing 400-square-foot detached garage and Design Review of a 665-square-foot garage located at 1010 Persifer Street, as illustrated on Attachment 5 for the 1010 Persifer Street Garage project, based on the findings included in this report (Findings A-I) and subject to the attached conditions of approval (Conditions 1-18).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

DEMOLITION FINDING

I. THE EXISTING GARAGE STRUCTURE PROPOSED TO BE DEMOLISHED IS NOT CONSIDERED HISTORICALLY SIGNIFICANT.

ATTACHMENT 2 BACKGROUND

Sacramento County records indicate that the existing residence located at 1010 Persifer Street was first constructed in 1948. Photographs of the existing residence and garage are included here in Attachment 6. The property does not appear on the City of Folsom's Cultural Resources Inventory.

GENERAL PLAN DESIGNATION

SFHD, Single-Family High Density

ZONING

CEN, Central Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single-Family Residential, Small Lot District)

ADJACENT LAND USES/ZONING

North: Natoma Street/Persifer Street alley with existing residences (R-1-M/CEN) beyond

South: Persifer Street with existing residences (R-1-M/CEN) beyond

East: Existing residential (R-1-M/CEN)

West: Existing residences (R-1-M/CEN)

SITE CHARACTERISTICS

The 7,000-square-foot project site consists of a single-family residence, a detached garage, and landscaping.

APPLICABLE CODES

FMC Chapter 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.480, Accessory Structures
FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards
FMC Section 17.52.660, Demolition
FMC Chapter 17.105, Accessory Dwelling Units
FMC Section 17.105.070 Single-unit zones: Detached accessory dwelling unit.
Historic District Design and Development Guidelines

ATTACHMENT 3

Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR 1010 PERSIFER STREET GARAGE DEMOLITION AND ADDITION (DRCL22-00172)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		Issuance of a Building Permit and Demolition Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the Site Plan, Floor Plans and Elevations dated 7-26-22, included in Attachment 5. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction and demolition is required.	OG	CD (B)
3.		The project shall comply with the following architecture and design requirements: <ul style="list-style-type: none"> a. This approval is for a new structure that includes a 665-square-foot garage located at 1010 Persifer Street. The applicant shall submit building plans that comply with this approval and the Site Plan, Floor Plans and Elevations dated 7-26-22 included in Attachment 5. b. The materials, and colors of the accessory structure shall be substantially compliant with the “Material Legend” exhibit located on page A4.0 of Attachment 5. 	B	CD (P)
4.		The ADU portion of the proposed structure shall be subject to a separate staff-level review to determine compliance with <u>FMC</u> Chapter 17.105.	B, OG	CD (P,B)
5.		The project approval granted under this staff report shall remain in effect for one year from final date of approval (August 3, 2023). Failure to obtain the relevant building, demolition, or other permits within this time period, without the timely extension of this approval, shall result in the termination of this approval.	B	

6.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney’s fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
7.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
8.		If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
9.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)
10.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)
CULTURAL RESOURCE REQUIREMENTS				

11.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior's Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
12.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner's representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)
SOILS REQUIREMENT				
13.		If during construction, currently unknown contaminated soils are discovered (i.e., discolored soils, odorous, other indications), construction within the area shall be halted, the extent and type of contamination shall be characterized, and a clean-up plan shall be prepared and executed. The plan shall require remediation of contaminated soils. The plan shall be subject to the review and approval of SCEMD, RWQCB, the City of Folsom, or other agencies, as appropriate. Remediation can include in-situ treatment, disposal at an approved landfill, or other disposal methods, as approved. Construction can proceed within the subject area upon approval of and in accordance with the plan.	G, I, B	CD (P)(E)(B)
NOISE REQUIREMENT				
14.		Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. In addition, construction equipment shall be muffled and shrouded to minimize noise levels.	I, B	CD (P)(E)

15.		During construction, the owner/applicant shall be responsible for litter control and sweeping of all paved surfaces in accordance with City standards. All on-site storm drains shall be cleaned immediately before the commencement of the rainy season (October 15).	G, I, B	CD (E)
SITE DEVELOPMENT REQUIREMENTS				
16.		The improvement plans for the required private improvements shall be reviewed and approved by the Community Development Department prior to issuance of the Building Permit.	B	CD (E)
17.		The owner/applicant shall coordinate the planning, development and completion of this project with the various utility agencies (i.e., SMUD, PG&E, etc.).	I	CD (P)(E)
18.		The owner/applicant shall obtain a Demolition Permit prior to demolition of the 400-square-foot garage. In addition, compliance with all local, state and federal regulations pertaining to demolition of the garage/carport structure is required.	I, B	CD (E), B

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department (P) Planning Division (E) Engineering Division (B) Building Division (F) Fire Division	I	Prior to approval of Improvement Plans
(P)		M	Prior to approval of Final Map
(E)		B	Prior to issuance of first Building Permit
(B)		O	Prior to approval of Occupancy Permit
(F)		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Historic District Commission
1010 Persifer Street Garage (DRCL22-00172)
August 3, 2022

Attachment 4 Vicinity Map



Attachment 5
Site Plan, Roof Plan, Floor Plans, Elevations and
Material Legend, dated 7-26-22

ABBREVIATIONS

@	AT	LB. or #	POUND or NUMBER
A.B.	ANCHOR BOLT	LS	LANDSCAPING
ADJ.	ADJUSTABLE	LT.	LIGHT
AFF	ABOVE FINISHED FLOOR	LTWT.	LIGHTWEICH
ALT.	ALTERNATE	LVL.	LEVEL
ALUM.	ALUMINUM	MAX.	MAXIMUM
AMP.	AMPERAGE	MDF	MEDIUM DENSITY FIBERBOARD
APPROX.	APPROXIMATE	MECH.	MECHANICAL
ASTM	AMERICAN SOCIETY of TESTING MATERIALS	MFR.	MANUFACTURER
ARCH	ARCHITECTURAL	MIN.	MINIMUM
BFF	BELOW FINISHED FLOOR	MISC.	MISCELLANEOUS
BLDG.	BUILDING	MTL.	METAL
BLKG.	BLOCKING	NI	NEW
BTM.	BOTTOM	N.E.C.	NATIONAL ELECTRIC CODE
BTWN	BETWEEN	N.G.	NATURAL GRADE
CAB	CABINET	NIC	NOT IN CONTRACT
CALCS.	CALCULATIONS	N.T.S.	NOT TO SCALE
CBC	CALIFORNIA BUILDING CODE	O/	OVER
CJ	CONTROL JOINT	O.C.	ON CENTER
CMC	CALIFORNIA MECHANICAL CODE	O.D.	OUTSIDE DIAMETER
CEC	CALIFORNIA ELECTRICAL CODE	OPG.	OPENING
CCC	CALIFORNIA PLUMBING CODE	OPP.	OPPOSITE
CLG.	CEILING	PERF.	PERFORATED
CL	CENTERLINE	P.L.	PROPERTY LINE
CLO.	CLOSET	PLYWD.	PLYWOOD
CLR.	CLEAR	PR.	PAIR
C.M.U.	CONCRETE MASONRY UNIT	PSI	POUNDS PER SQUARE INCH
COL.	COLUMN	P.T.	PRESSURE TREATED
CONC.	CONCRETE	R.	RISER
CONL.	CONNECTION	R.D.	ROOF DRAIN
CONT.	CONTINUOUS	REINF.	REINFORCING
CSMT	CASEMENT	RFR.	RAFTER
DBL	DOUBLE	RM.	ROOM
DET.	DETAIL	REQ.	REQUIREMENT
DEG.	DEGREE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DIA.	DIAMETER	S.E.D.	SEE ELECTRICAL DRAWINGS
DIAPH.	DIAPHRAGM	S.M.D.	SEE MECHANICAL DRAWINGS
DIM.	DIMENSION	S.P.D.	SEE PLUMBING DRAWINGS
DN.	DOWN	S.S.D.	SEE STRUCTURAL DRAWINGS
D.S.	DOWNSPOUT	S.C.	SOLID CORE
DWG.	DRAWING	SCHED.	SCHEDULE
(E)	EXISTING	SD	SMOKE DETECTOR
EA	EACH	SECT.	SECTION
ELEC.	ELECTRICAL	SF/SQ.FT.	SQUARE FOOT or SQUARE FEET
ELEV.	ELEVATION	SHR.	SHEAR
EJ	EXPANSION JOINT	SHT.	SHEET
EMB.	EMBEDMENT	SIM.	SIMILAR
EPS	EXTRUDED POLYSTYRENE FOAM	SPEC.	SPECIFICATIONS
EQ.	EQUAL	SQ. IN.	SQUARE INCH
EXT.	EXTERIOR	S.S.	STAINLESS STEEL
FDN.	FOUNDATION	ST.	STRAIP
FD	FLOOR DRAIN	STD.	STANDARD
FF.	FINISH FLOOR	STL.	STEEL
F.H.	FIRE HYDRANT	STRUCT.	STRUCTURAL
F.J.	FLOOR JOIST	STO.	STORAGE
FLASHG	FLASHING	SW.	SHEAR WALL
FLR.	FLOOR	SVM.	SYMBOL
FLOUR.	FLOURESCENT	TEMP. or T	TEMPERED
F.O.	FACE OF	T.J.	TOOLED JOINT
F.O.S.	FACE OF STUD	T.O.C.	TOP OF CURB or CONCRETE
FR.	FRENCH	T.O.S.	TOP OF SLAB or SHEATHING
FTG.	FOOTING	T.O.W.	TOP OF WALL
GA	GAUGE	TP	TOP OF PLATE
GALV.	GALVANIZED	TRISM	TRANSOM
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	T.S.	TUBE STEEL
GLU-LAM	GLUE LAMINATED	T&B	TOP AND BOTTOM
GR.	GRADE	T&G	TONGUE AND GROOVE
GSM	GALVANIZED SHEET METAL	TYP.	TYPICAL
G.C.	GENERAL CONTRACTOR	U.B.C.	UNIFORM BUILDING CODE
GYP. BD.	GYP. BOARD	UL.	UNDERWRITERS LABORATORIES
H.B.	HOSE BIB	U.M.C.	UNIFORM MECHANICAL CODE
H.C.	HOLLOW CORE	UNO	UNLESS NOTED OTHERWISE
HD	HOLD DOWN	UTL.	UTILITY
H.H.	HEAD HEIGHT	V	VOLTS or VOLTAGE
HORIZ.	HORIZONTAL	VERT.	VERTICAL
HR.	HOOR	V.L.F.	VERIFY IN FIELD
ID	INSIDE DIAMETER	W/	WITH
INCL.	INCLUDE	W.C.	WATER CLOSET
INFO.	INFORMATION	WD.	WOOD
INSUL.	INSULATION or INSULATED	WH.	WATER HEATER
INT.	INTERIOR	W.O.	WHERE OCCURS
JST.	JOIST	W.I.	WROUGHT IRON
LANDSC.	LANDSCAPING	WP	WEATHER PROOF
		W.U.I.	WILDLAND URBAN INTERFACE
		W.W.F.	WELDED WIRE FABRIC
		W.W.M.	WELDED WIRE MESH

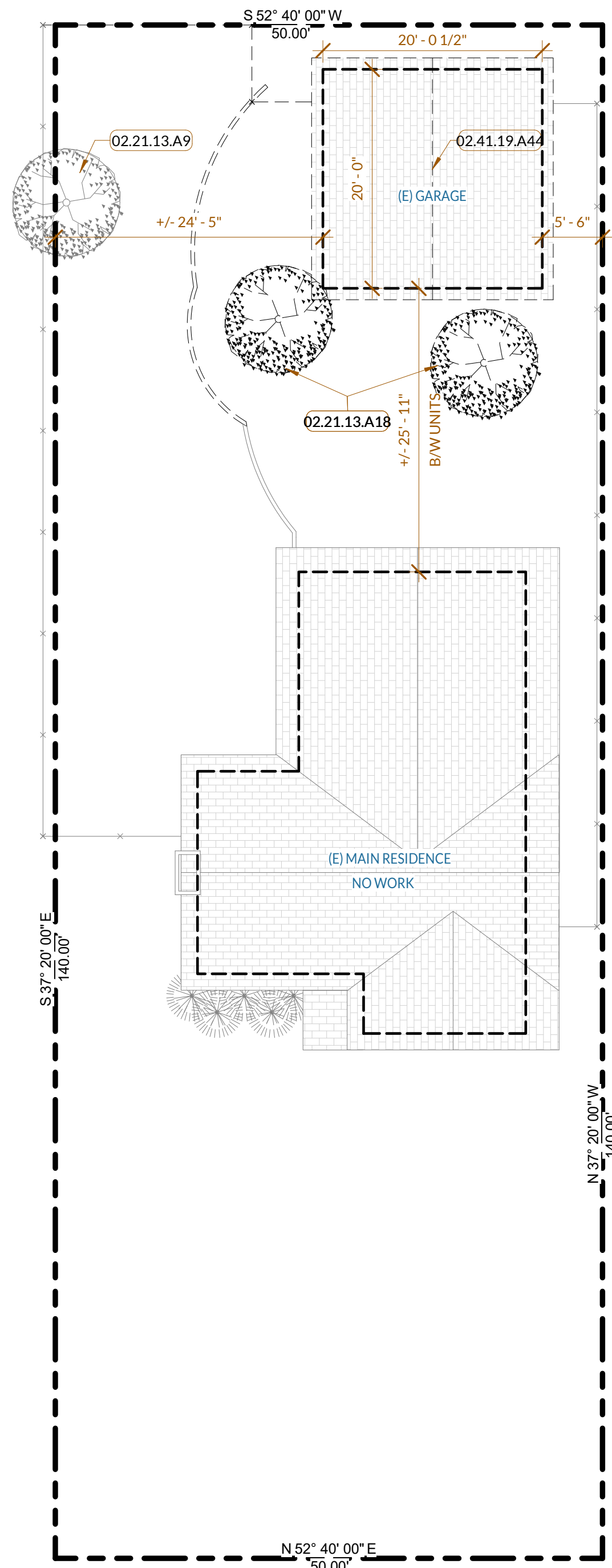
SYMBOL LEGEND

	ELEVATION REFERENCE	Room Name	ROOM DESIGNATION & FLOOR FINISH
	DETAIL REFERENCE	Floor Finish	
	VIEW NUMBER		
	DETAIL SHEET		
	SECTION REFERENCE		
	VIEW NUMBER		
	SECTION SHEET		
	ELEVATION REFERENCE		
	VIEW NUMBER		
	ELEVATION SHEET		
	INTERIOR ELEVATION REFERENCE		
	VIEW NUMBER		
	ELEVATION SHEET		
	DOOR TAG - SEE SCHEDULE		
	DOOR SIZE (WIDTH HEIGHT)		
	WINDOW TAG - SEE SCHEDULE		
	WINDOW SIZE (WIDTH HEIGHT) & OPENING METHOD		

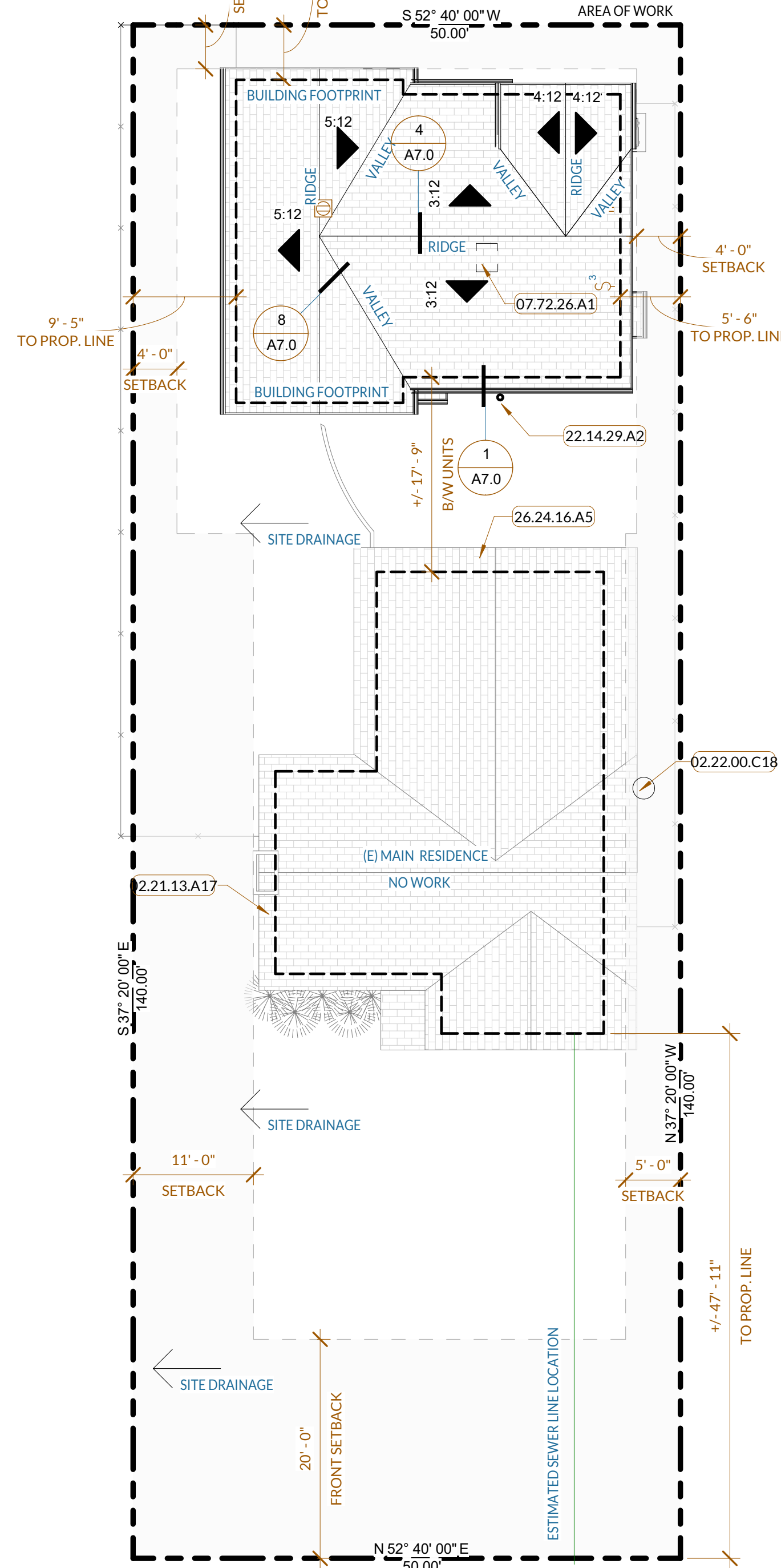
TANKERSLEY CONSTRUCTION

GARAGE & ADU

1010 PERSIFER STREET, FOLSOM, CA



2 EXISTING SITE PLAN
SCALE: 1" = 10'-0"



1 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

PROJECT DIRECTORY

OWNER:
BRIAN AND REBECCA DAVIS
1010 PERSIFER STREET,
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CONTACT: Rebecca Davis
EMAIL: beccaanddavis@gmail.com

ARCHITECT:
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TANKERSLEY CONSTRUCTION
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RANCHO CORDOVA, CA 95670
PHONE: (916) 538-6579
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STRUCTURAL ENGINEER:
WCD & ASSOCIATES
6930 DESTINY DR #300
ROCKLIN, CA 95677
PHONE: (916) 251-9798
CONTACT: Wesley Cullumber
EMAIL: wculumber@wcdassociates.com

PROJECT INFORMATION

PROJECT SUMMARY:
NEW DETACHED GARAGE AND WORKSHOP WITH
ACCESSORY DWELLING UNIT

	EXISTING	PROPOSED
SITE AREA:	7000 SF	
OCCUPANCY:	U	R3/U
CONSTRUCTION TYPE:	V-B	UNCHANGED
FIRE SPRINKLER:	NO	NO
NUMBER OF STORIES:	ONE (1)	TWO (2)
GARAGE / ADU HEIGHT:	13' - 8"	15' - 10"

SITE PLAN KEYNOTES

- 02.21.13.A9 (E) LANDSCAPE
- 02.21.13.A17 (E) GAS METER
- 02.21.13.A18 REMOVE (E) LANDSCAPE
- 02.22.00.C18 (E) SEWER CLEANOUT
- 02.41.19.A4 DEMOLISHED (E) ROOF
- 07.72.26.A1 O'HAGIN SELF FLASHING, TAPERED VENT, MINIMUM 72 S.I. OF NET FREE VENTILATION AREA. MIN. 26 GA G90 MILL GALV. STEEL. PREPAINTED.
- 22.14.29.A2 (N) SUMP PUMP TO BE INSTALLED.
- 26.24.16.A5 (E) 200 A MAIN ELECTRICAL PANEL.

ATTIC VENT CALCULATIONS

AREA 1 (ATTIC STORAGE - GARAGE) - VENTILATION REQUIRED:

268 SF. ATTIC AREA / 300 = 0.89 S.F.
REQUIRED UPPER AND LOWER VENTILATION:
0.89 S.F. / 2 = 0.44 S.F. (OR 63.36 S.I.)

AREA 1 (ATTIC STORAGE - GARAGE) - VENTILATION PROVIDED:

UPPER VENTILATION:
(1) O'HAGIN VENTS @ 72 S.I.
72 S.I. PROVIDED > 63 S.I. REQ'D

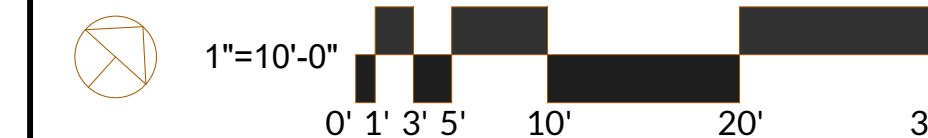
LOWER VENTILATION PROVIDED (MIN):
(2) SCREENED VENTS @ 46 S.I. + 92 S.I.
92 S.I. PROVIDED > 63 S.I. REQ'D

ATTIC VENTILATION NOTES:

PROVIDE ATTIC VENTILATION IN COMPLIANCE w/ CRC R806.2. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED MAY BE 3/300 PROVIDED THAT 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

TYPICAL VENTILATION INCLUDES:
1. RAFTER/TRUSS BLOCKS w/ (3) 2" DIA. HOLES (AREA = 9.42 SQ. IN. PER BLOCK) LOCATED IN 1 IN 3 RAFTER/TRUSS SPACES. AT FRONT WALK SIDE OF GARAGE AND ALL FRONT FACING EAVES
2. SCREEN VENTS (AREA: 29 SQ. IN. PER VENT FOR 16" O.C. OR 46 SQ. IN. PER VENT FOR 24" O.C. RAFTERS/TRUSSES. VERIFY W/ MANUFACTURER). LOCATED IN 1 IN 3 RAFTER/TRUSS SPACES, AT REAR AND SIDE ELEVATIONS.

NORTH & SCALE



INDEX OF DRAWINGS

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	GENERAL CONDITIONS
A0.2	2019 CALGREEN COMPLIANCE
A0.3	2019 CALGREEN COMPLIANCE
A1.0	ROOF PLAN
A2.0	PARTITION PLANS
A3.0	ELECTRICAL AND REFLECTED CEILING PLANS
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS
A5.0	SECTIONS
A6.0	INTERIOR ELEVATIONS & SCHEDULES
A7.0	DETAILS
A7.1	DETAILS

BUILDING AREA

	EXISTING BUILDING AREA	PROPOSED BUILDING AREA
MAIN HOUSE	1,488 SF	1,488 SF
TOTAL CONDITIONED SPACE	1,488 SF	ADU 250 SF ADU LOFT 123 SF
GARAGE	403 SF	CONDITIONED SPACE 1,861 SF
TOTAL AREA	1,891 SF	ATTIC STORAGE 268 SF ADU GARAGE 263 SF MAIN HOUSE 446 SF GARAGE
		UNCONDITIONED SPACE 978 SF
		TOTAL AREA 2,839 SF

TOTAL NEW CONDITIONED:	373 SF
(E) LOT COVERAGE RATIO	1,891 (1,488 + 403) SF / 7,000 SF = 0.27
(N) LOT COVERAGE RATIO	2,448 (1,488 + 250 + 710) SF / 7,000 SF = 0.35
(E) FLOOR AREA RATIO	1,891 (1,488 + 403) SF / 7,000 SF = 0.27
(N) FLOOR AREA RATIO	2,571 (1,488 + 250 + 123 + 710) SF / 7,000 SF = 0.36

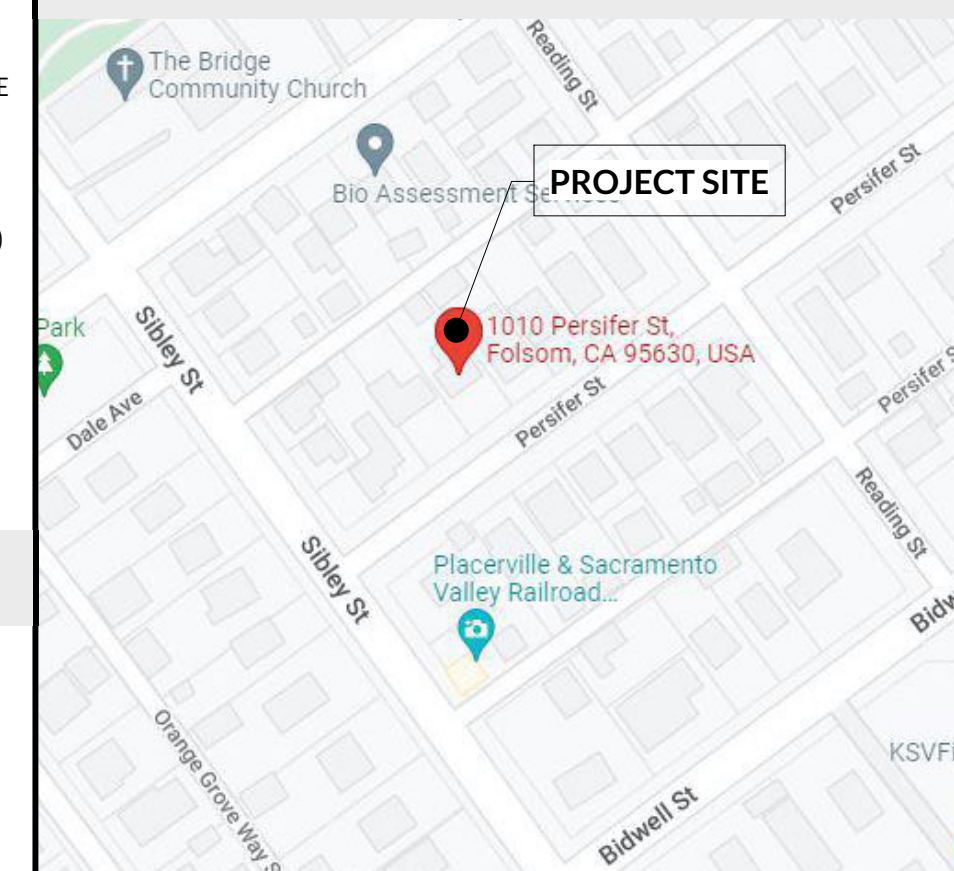
APPLICABLE CODES

ALL WORK SHALL FULLY COMPLY WITH BUT NOT BE LIMITED TO:

- A. 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- B. 2019 CALIFORNIA BUILDING CODE (CBC)
- C. 2019 CALIFORNIA PLUMBING CODE (CPC)
- D. 2019 CALIFORNIA MECHANICAL CODE (CMC)
- E. 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- F. 2019 CALIFORNIA FIRE CODE (CFC)
- G. 2019 CALIFORNIA REFERENCED STANDARDS CODE
- H. 2019 GREEN BUILDINGS STANDARDS CODE (GBC)
- I. 2019 CALIFORNIA ENERGY CODE
- J. 2019 ENERGY STANDARDS
- K. ALL OTHER APPLICABLE CODES AND ORDINANCES (CITY AND COUNTY).

GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

VICINITY MAP

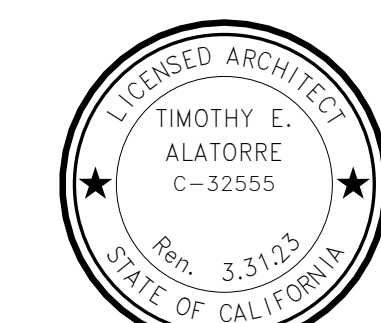


info@domum.design 888-352-ARC1
6532 Lonetree Blvd, Suite 102, Rocklin, CA 95765

1010 PERSIFER STREET,
FOLSOM, CA
APN: 070-0145-013

TANKERSLEY CONSTRUCTION GARAGE & ADU

Proj. No: 634.2020

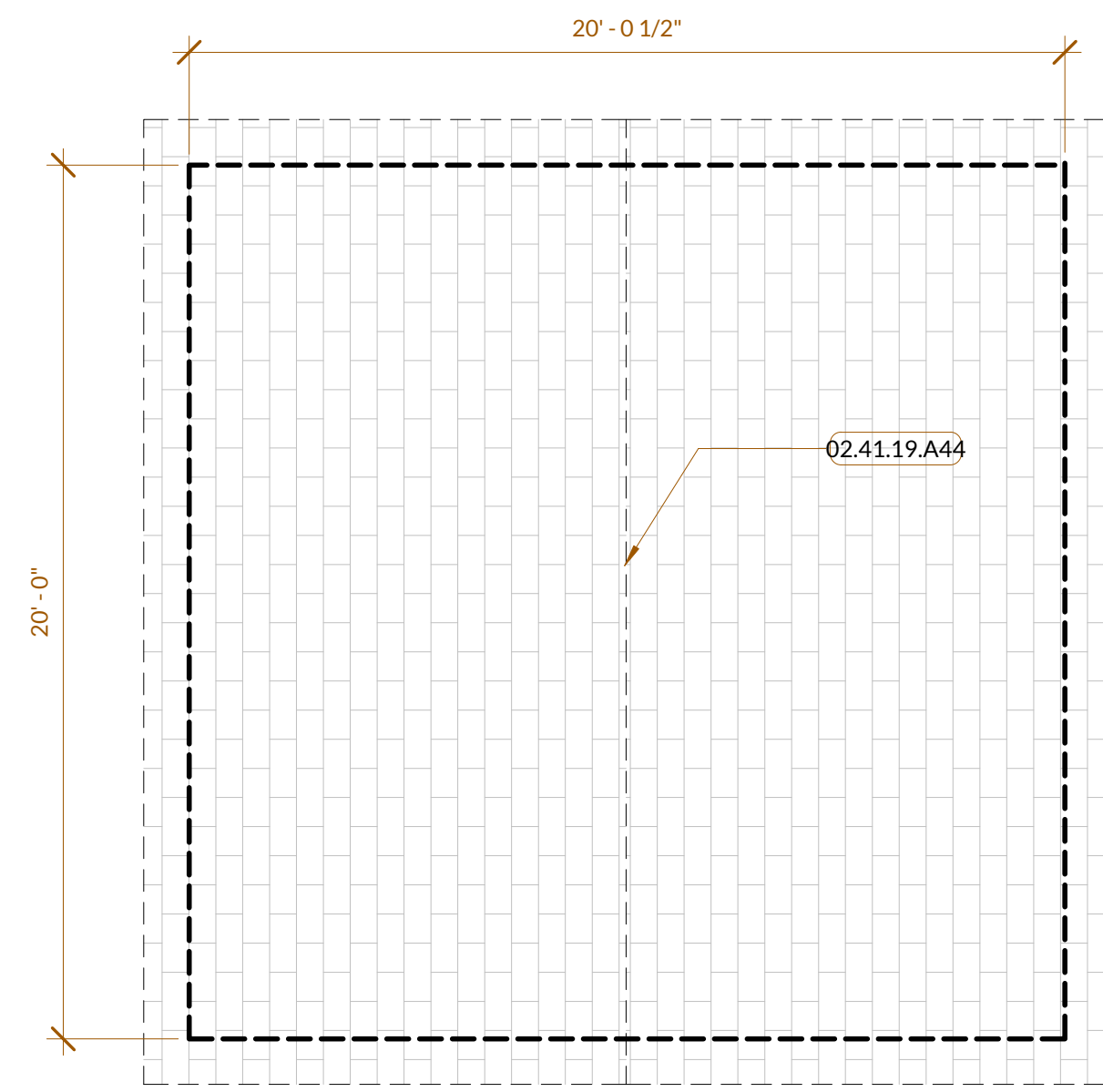


Issue / Revision Schedule:
Date 3/14/22
No. PERMIT

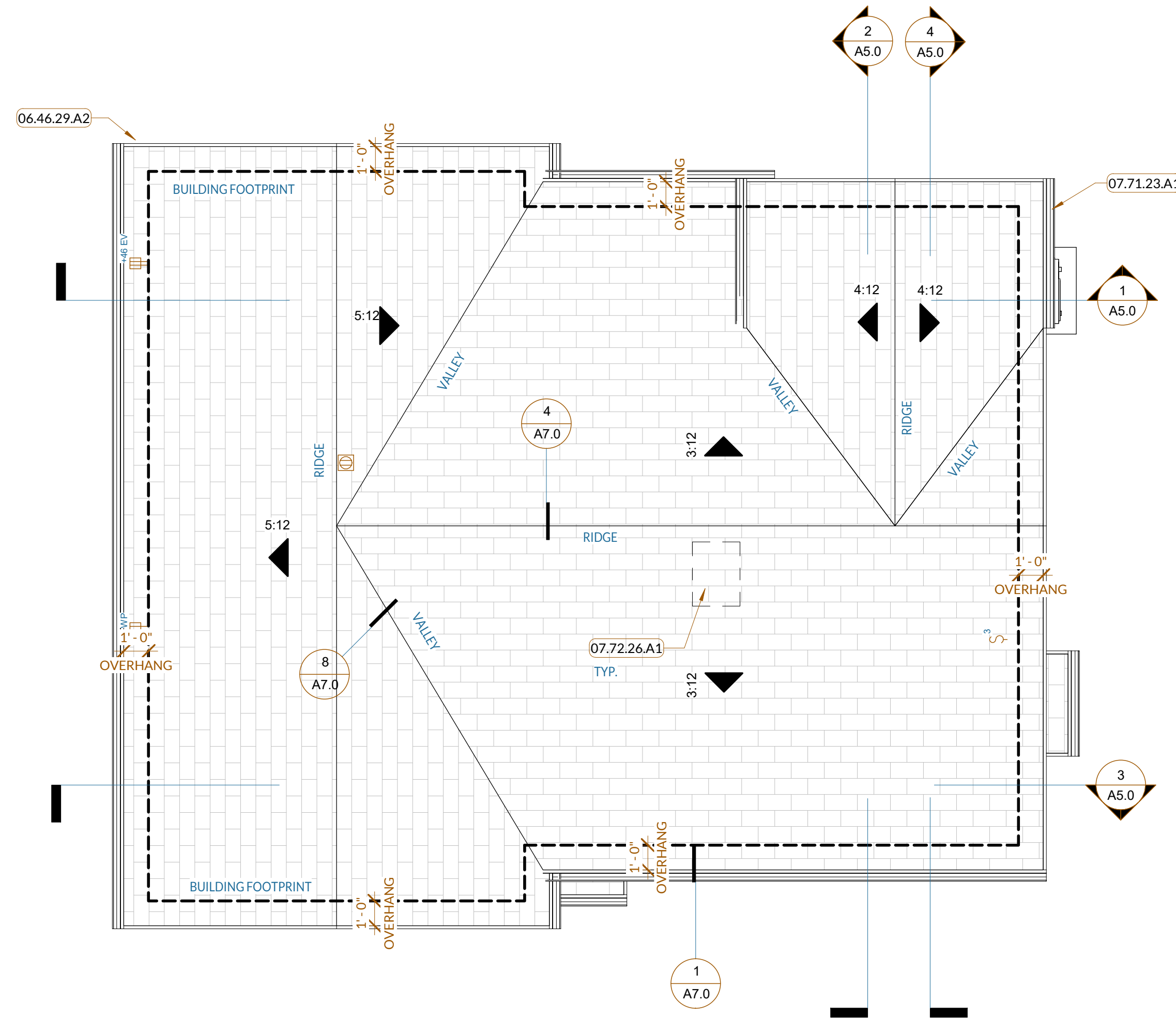
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COVER SHEET

A0.0



2 EXISTING ROOF PLAN - GARAGE
SCALE: 1/4" = 1'-0"

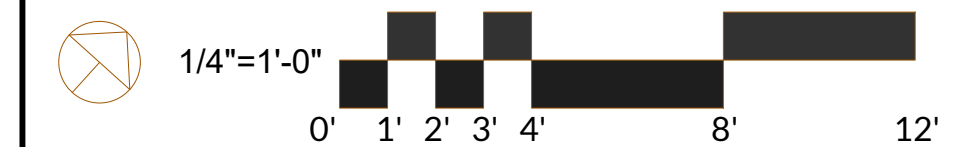


1 PROPOSED ROOF PLAN - GARAGE & ADU
SCALE: 1/4" = 1'-0"

ROOF PLAN KEYNOTES

- 02.41.19.A44 DEMOLISHED (E) ROOF
- 06.46.29.A2 2X8 FASCIA - SCARF AND MITER ALL JOINTS
- 07.71.23.A1 GUTTER AND DOWNSPOUT W/ SPLASHBLOCK. SITE TO DRAIN AWAY FROM BUILDING. EXISTING SITE DRAINAGE TO REMAIN.
- 07.72.26.A1 O'HAGIN, SELF FLASHING, TAPERED VENT. MINIMUM 72 SQ. FT. NET FREE VENTILATION AREA. MIN. 26 GA G90 MILL GALV. STEEL, PREPAINTED.

NORTH & SCALE

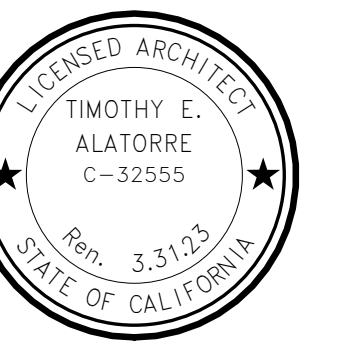


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1010 PERSIFFER STREET,
FOLSOM, CA
APN: 070-0145-013

**TANKERSLEY
CONSTRUCTION
GARAGE & ADU**

Proj. No: 634.2020

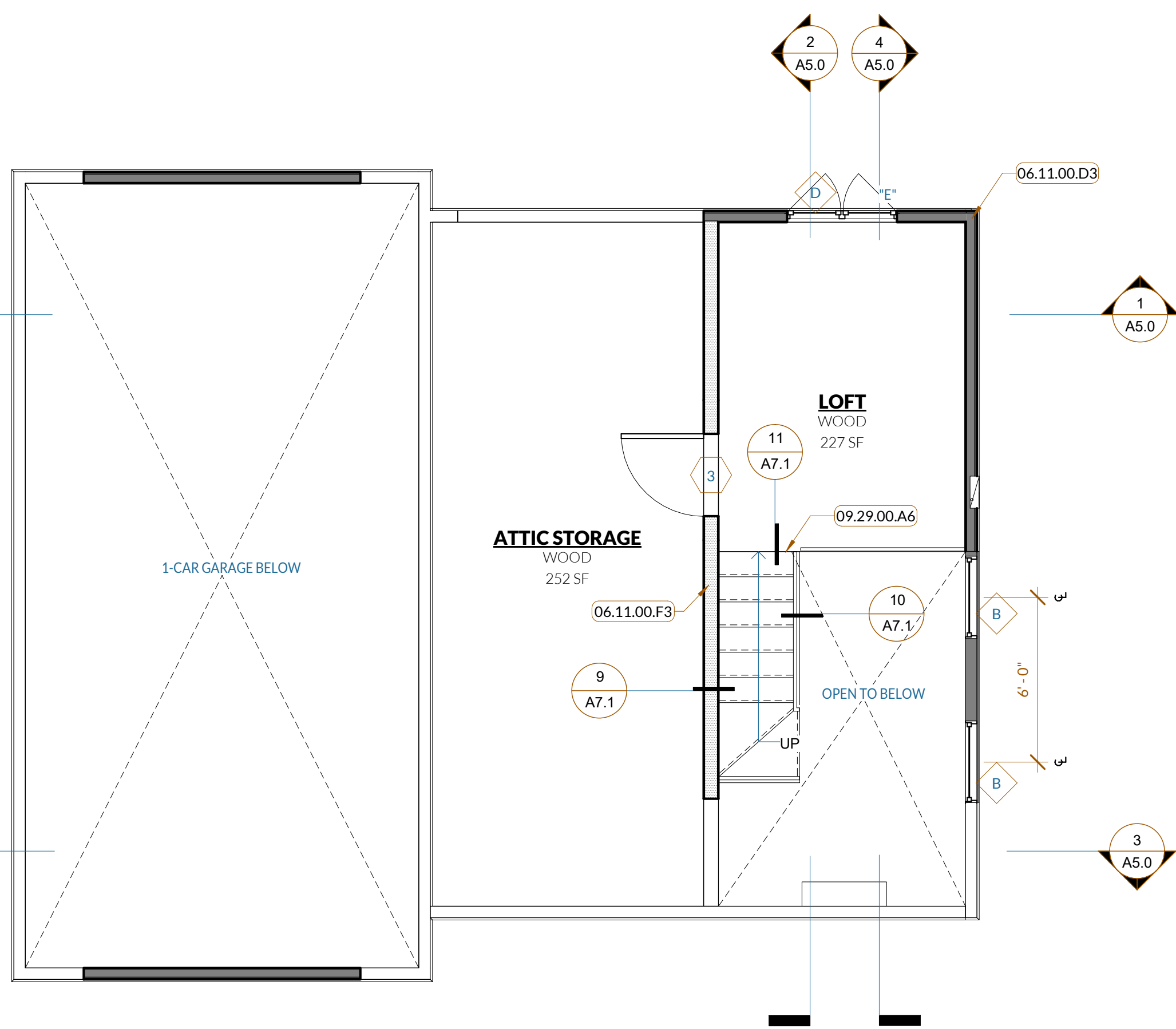


Issue / Revision Schedule:	Description
No. Date	PERMIT
3/14/22	

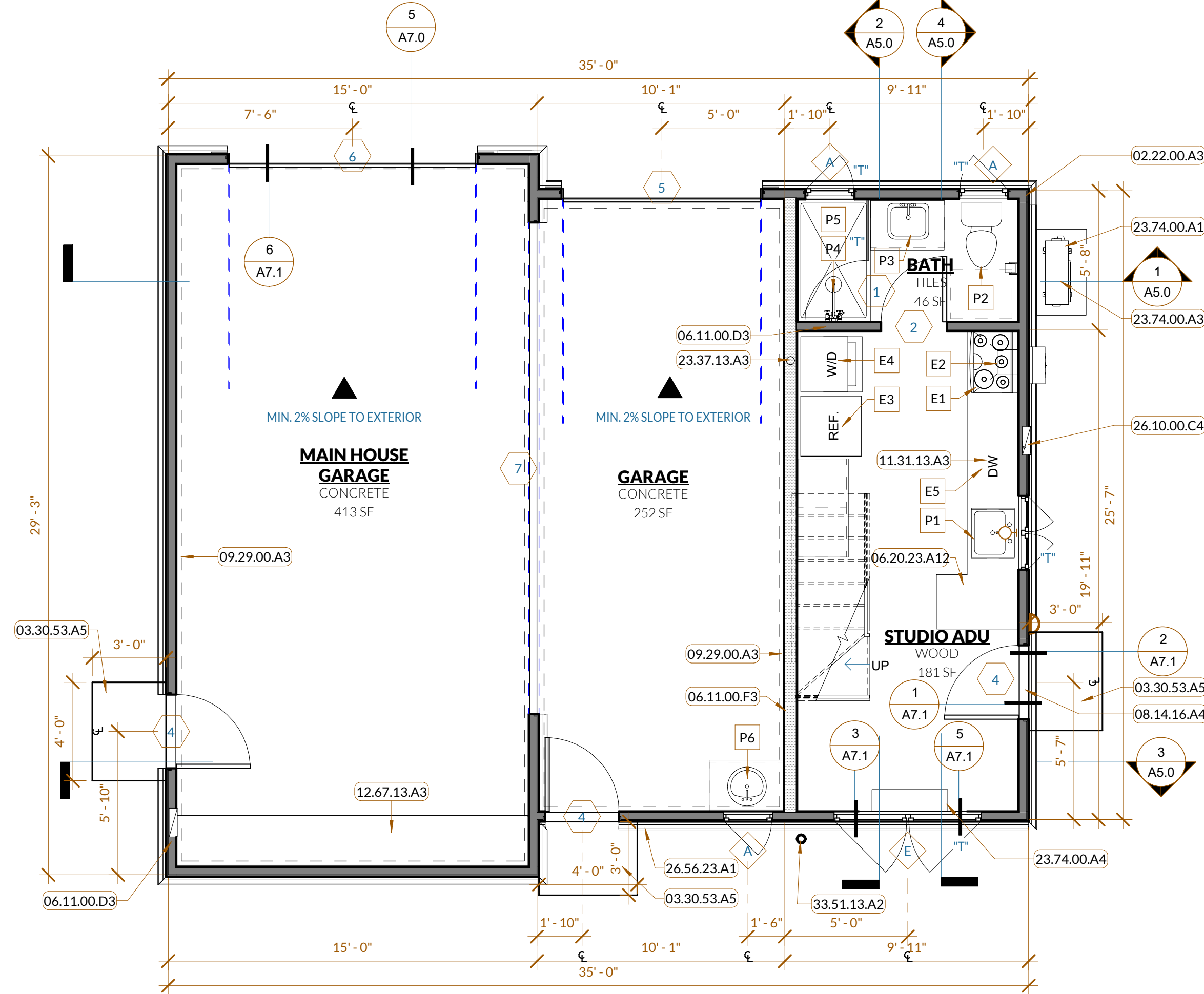
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ROOF PLAN

A1.0



2 ADU LOFT
SCALE: 1/4" = 1'-0"



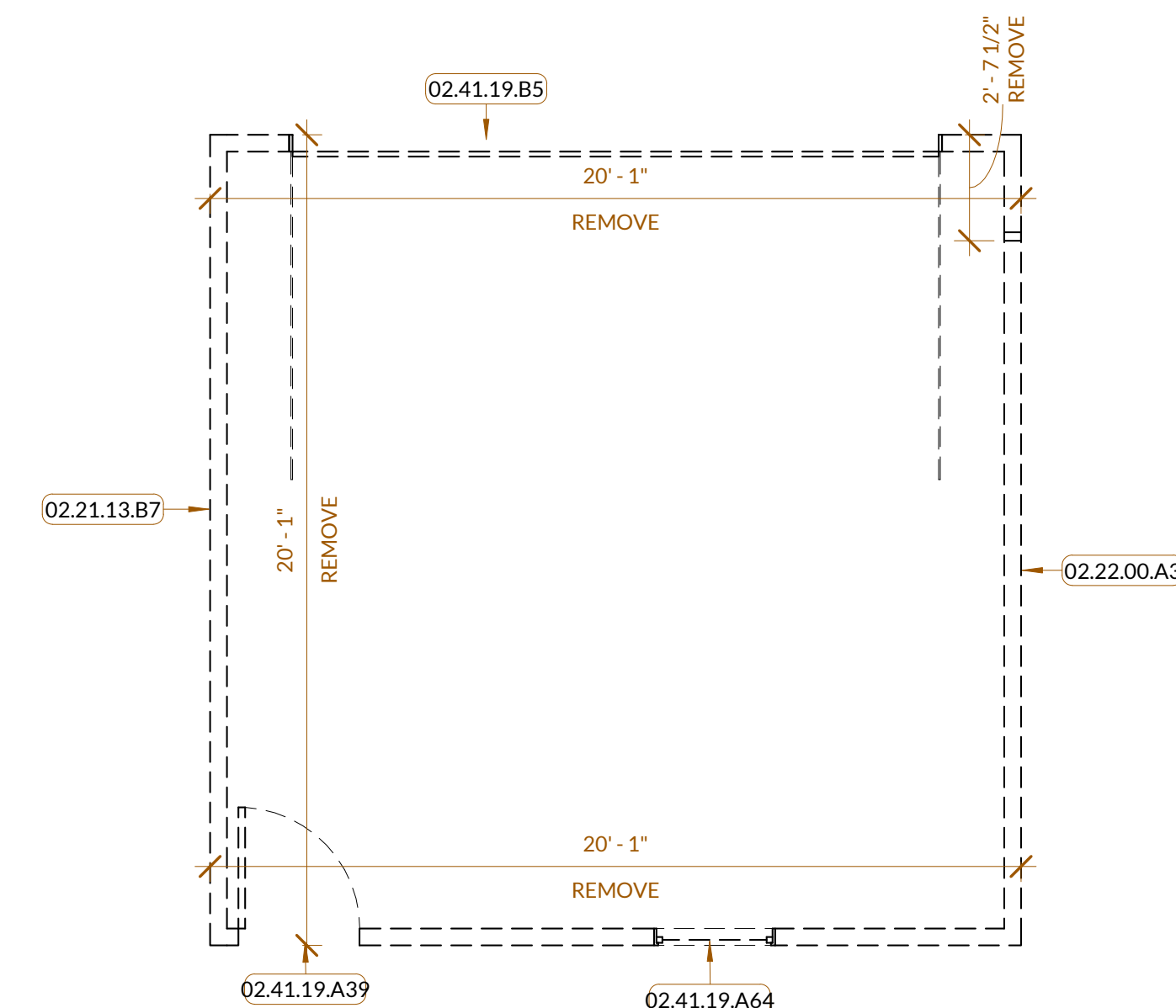
1 ADU PARTITION PLAN
SCALE: 1/4" = 1'-0"

APPLIANCE AND EQUIPMENT SCHEDULE

MARK:	ITEM:	MANUF:	ITEM #:	DIMENSIONS:	Comments	QTY.:
E1	ELECTRIC COOKTOP	BY OWNER	BY OWNER	30"		1
E2	WALL HOOD	BY OWNER	BY OWNER	30"		1
E3	REFRIGERATOR	BY OWNER	BY OWNER	30" x 32" LH		1
E4	WASHER/DRYER-STACK	BY OWNER	BY OWNER	27" x 30"		1
E5	DISHWASHER	BY OWNER	BY OWNER	24" x 24" x 34"		1

PLUMBING SCHEDULE

MARK:	ITEM:	MANUF:	ITEM#:	DIMENSIONS:	Comments	QTY.:
P1	SINK - KITCHEN	BY OWNER	BY OWNER	24"		1
P2	TOILET	BY OWNER	BY OWNER	18" H		1
P3	SINK - VANITY SQUARE	BY OWNER	BY OWNER	24"L x 19"W		1
P4	SHOWER HEAD	BY OWNER	BY OWNER	72" H		1
P5	SHOWER STALL	BY OWNER	BY OWNER	3050		1
P6	SINK - VANITY ROUND	BY OWNER	BY OWNER	18 7/8"L x 18 7/8" x 7 5/8"D		1



3 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

PARTITION KEYNOTES

- 02.21.13.B7 REMOVE (E) WALL
- 02.22.00.A3 (E) WALL TO REMAIN
- 02.41.19.A39 REMOVE (E) DOOR
- 02.41.19.A64 REMOVE (E) WINDOW
- 02.41.19.B5 REMOVE (E) GARAGE DOOR
- 03.30.53.A5 (N) CONCRETE LANDING AT EXTERIOR OF DOOR, 3'-0" MIN DEPTH.
- 06.11.00.D3 2X4 FRAMING
- 06.11.00.F3 2X6 FRAMING
- 06.20.23.A12 BASE, COUNTER TOP AND UPPER KITCHEN CABINETS
- 08.14.16.A4 1 3/8 SOLID CORE DOOR, TIGHT FITTING, WEATHER STRIPPED.
- 09.29.00.A3 5/8" TYPE "X" FIRE TAPED GYPSUM BD. ON GARAGE SIDE AND CEILING UNDER HABITABLE SPACE ABOVE
- 09.29.00.A6 5/8" TYPE "X" FIRE TAPED GYPSUM BD. ALL WALLS AND CEILING UNDER STAIR
- 11.31.13.A3 DISHWASHER, PROVIDE WATER AND ELECTRICAL CONNECTIONS.
- 12.67.13.A3 WORKBENCH
- 12.67.13.A3 DRYER VENT TO EXTERIOR
- 23.37.13.A3 HVAC CONDENSER UNIT ON CONC. PAD - TOP OF PAD MIN. 3" ABOVE GRADE - PROVIDE ELECTRICAL DISCONNECT AT ADJACENT WALL. REFER TO ENERGY CALCULATIONS FOR MINIMUM SIZING OF UNIT.
- 23.74.00.A1 (N) SPLIT - SYSTEM (COOLING - HEATING, OUTDOOR UNIT ON 6' CONCRETE PAD.
- 23.74.00.A3 (N) SPLIT - SYSTEM (COOLING - HEATING, INDOOR UNIT
- 23.74.00.A4 (N) 400AMP ELECTRICAL PANEL
- 26.10.00.C4 LIGHT SCONCE, REFER TO ELECTRICAL PLAN.
- 26.56.23.A1 PROVIDE GAS STUB OUT FOR FUTURE BBQ
- 33.51.13.A2

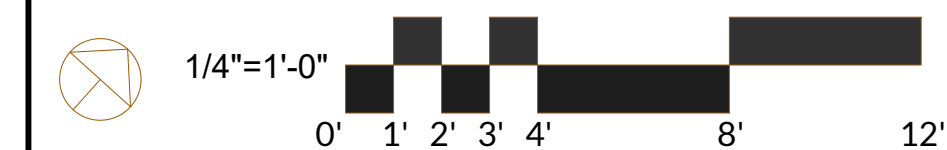
WALL LEGEND

- NEW 2X4 FRAMED WALL
- NEW 2X6 FRAMED WALL
- EXISTING 2X FRAMED WALL TO REMAIN
- 1-HR FIRE RATED WALL

GLAZING NOTES

- ALL GLAZING IS DUAL PANE INSULATING GLASS.
- WINDOWS MARKED WITH AN "E" SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER AND CONTRACTOR. - PRIOR TO INSTALLATION - VERIFY MAX 44" AFF TO WINDOW OPENING AND MIN. 5.75 SF OPEN AREA.
- GLAZING MARKED WITH A "T" SHALL BE 3/16" THICK TEMPERED SAFETY GLASS.

NORTH & SCALE

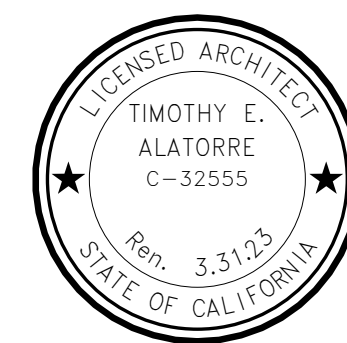


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GARAGE & ADU**

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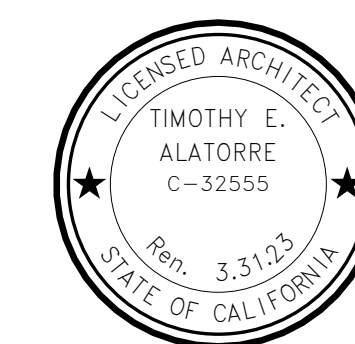


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**PARTITION
PLANS**

A2.0



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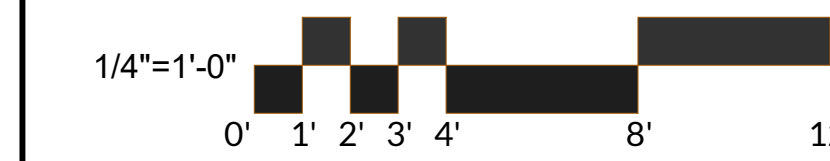
**EXTERIOR
ELEVATIONS**

A4.0



ELEVATION KEYNOTES

- 02.21.13B7 REMOVE (E) WALL
- 02.21.13B8 (E) 8'-0" HIGH WOOD LATTICE FENCE
- 02.22.00A3 (E) WALL TO REMAIN
- 02.41.19A44 DEMOLISHED (E) ROOF
- 02.41.19B5 REMOVE (E) GARAGE DOOR
- 06.46.29A2 2X8 FASCIA - SCARF AND MITER ALL JOINTS
- 06.46.33A2 8" HIGH BELLY BAND - REFER TO DETAIL
- 07.71.23A1 GUTTER AND DOWNSPOUT W/ SPLASHBLOCK. SITE TO DRAIN AWAY FROM BUILDING. EXISTING SITE DRAINAGE TO REMAIN.
- 10.14.33A1 INTERNALLY ILLUMINATED ADDRESS SIGN. NUMBERS TO BE 4" HIGH MIN. WITH MIN. 1/2" STROKE. CONTRACTOR TO VERIFY THAT SIGN IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR FRONTAGE ROAD.
- 23.74.00A3 (N) SPLIT - SYSTEM (COOLING - HEATING, OUTDOOR UNIT ON 6" CONCRETE PAD.
- 26.56.23A1 LIGHT SCONCE, REFER TO ELECTRICAL PLAN.

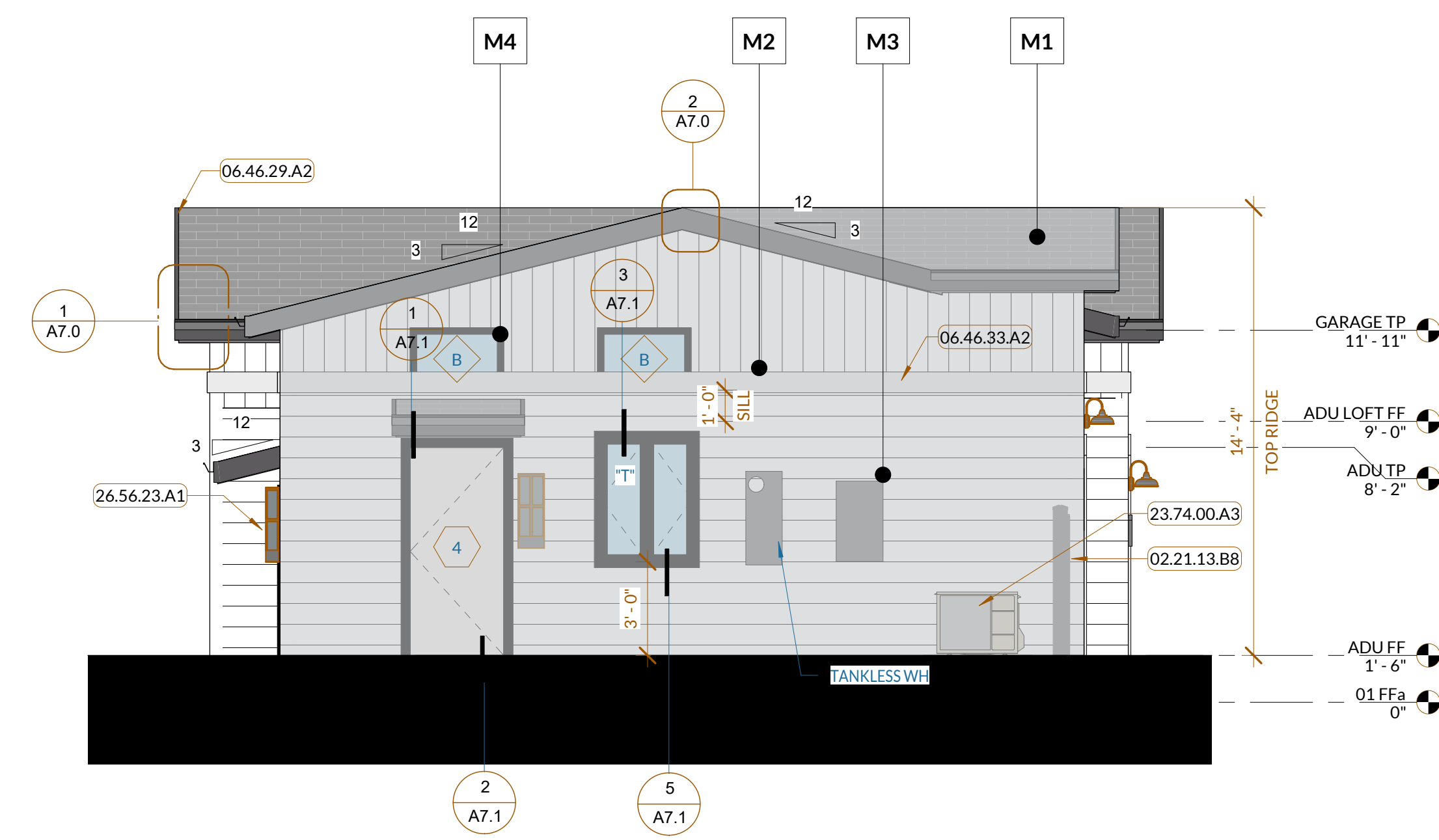


MATERIAL LEGEND

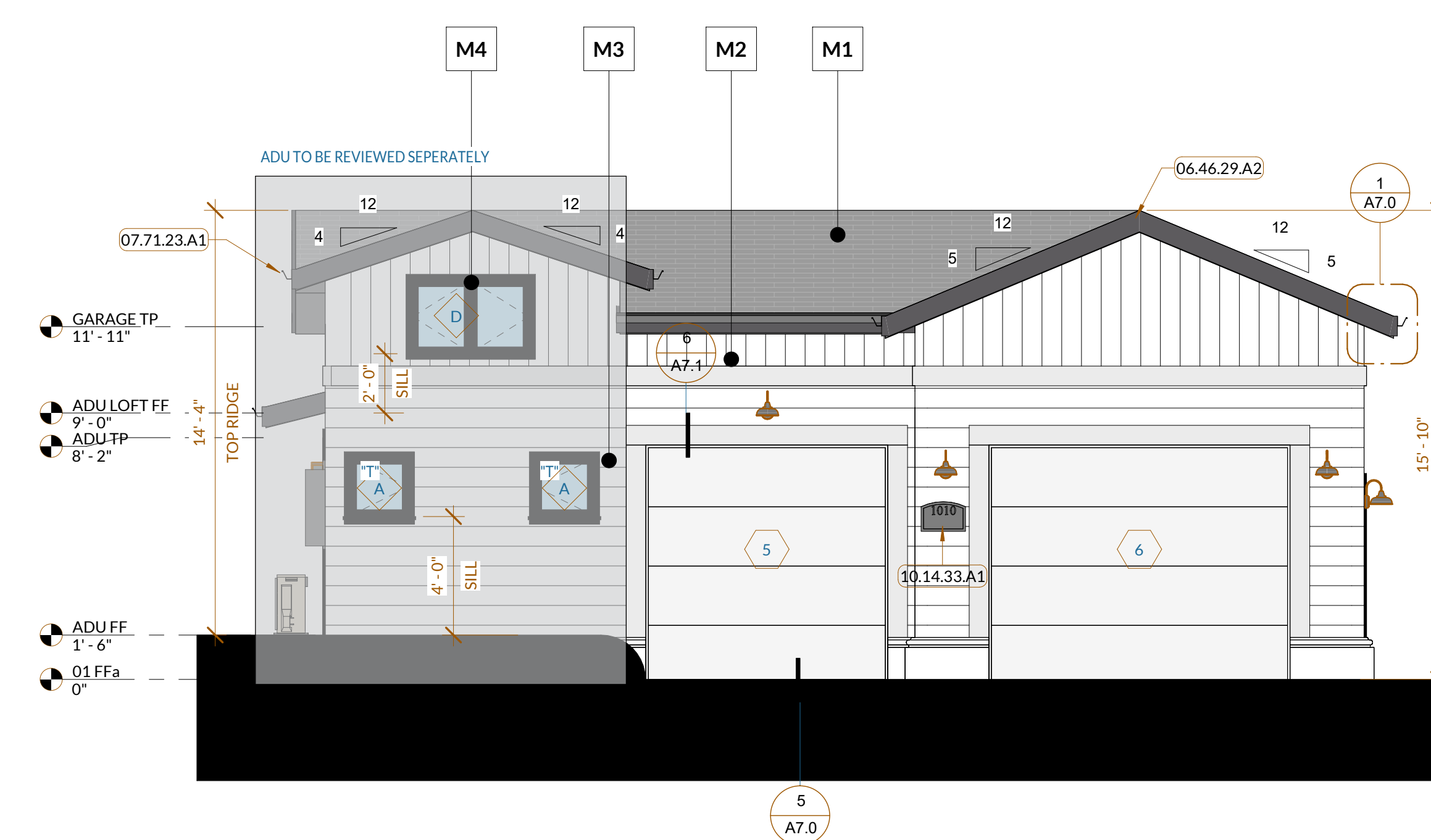
- M1** ATLAS STORMMASTER SHAKE
COLOR: HEARTHSTONE GRAY
- M2** HARDIPANEL VERTICAL SIDING
INSTALLED AS BOARD & BATTEN
COLOR: ARCTIC WHITE
- M3** HARDIEPLANK LAP SIDING
COLOR: ARCTIC WHITE
- M4** WINDOW TRIM & MULLIONS
COLOR: BLACK



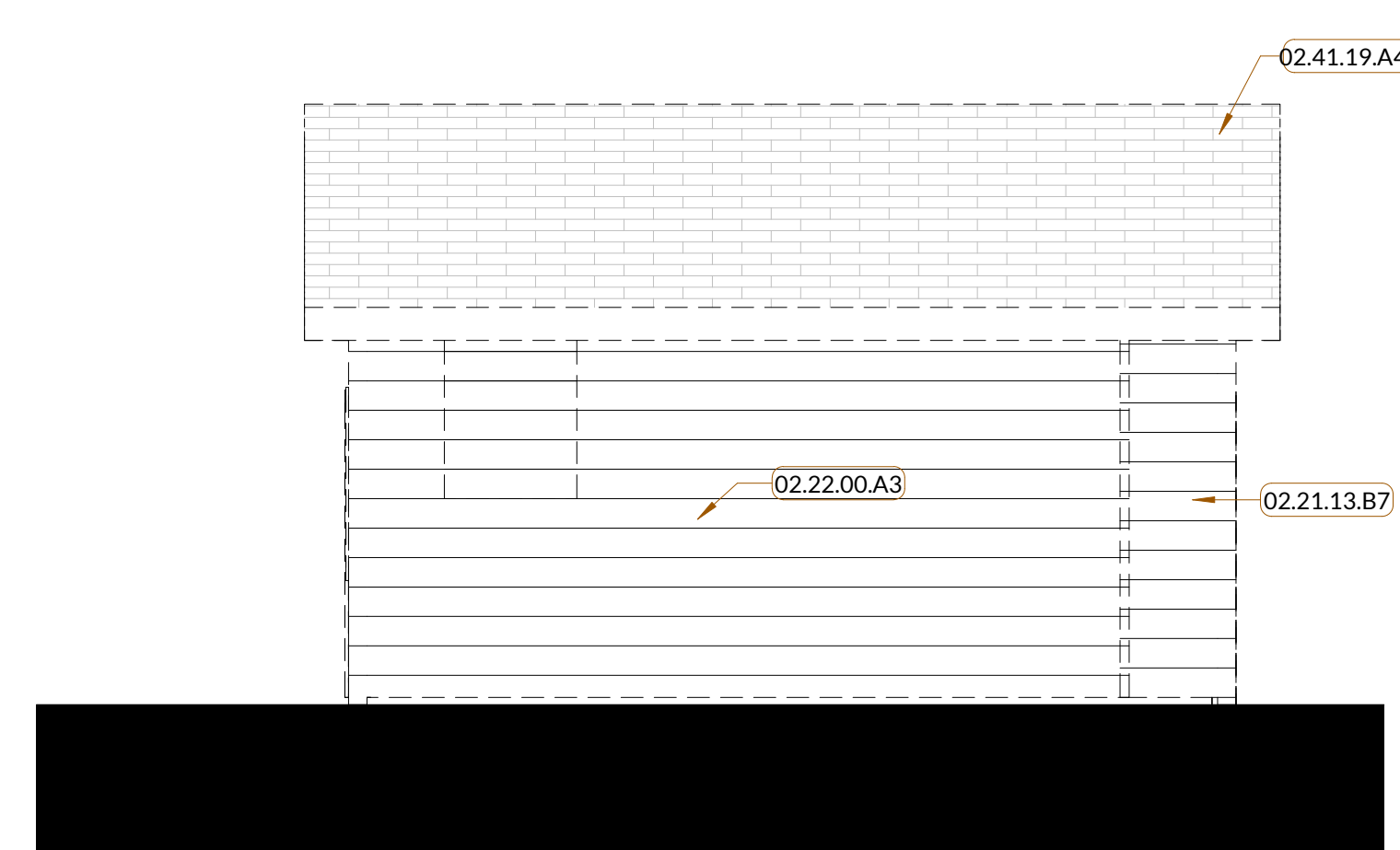
GARAGE DOOR DESIGN



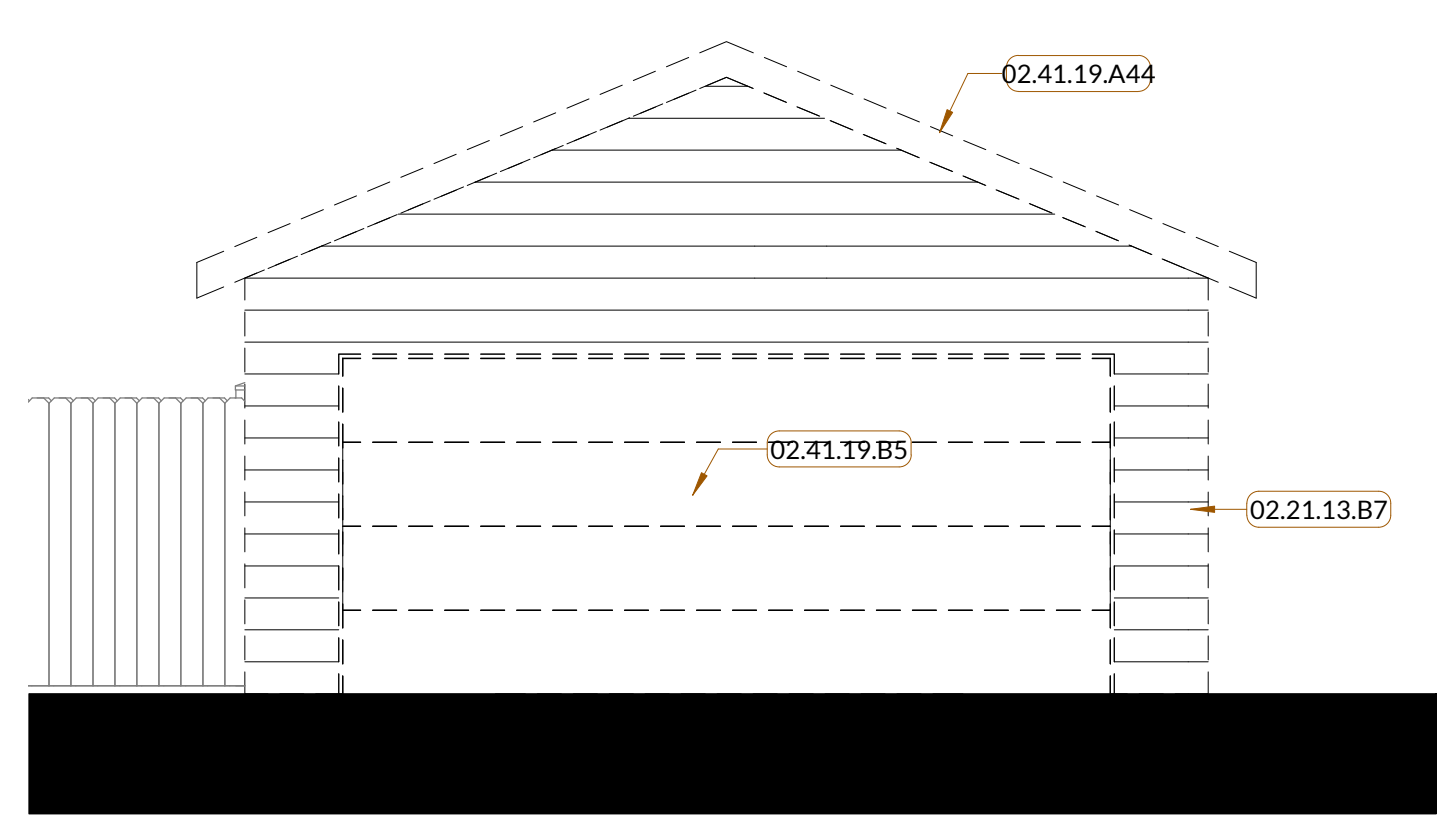
1 PROPOSED EAST EXTERIOR ELEVATION ADU TO BE REVIEWED SEPERATELY
SCALE: 1/4" = 1'-0"



3 PROPOSED NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

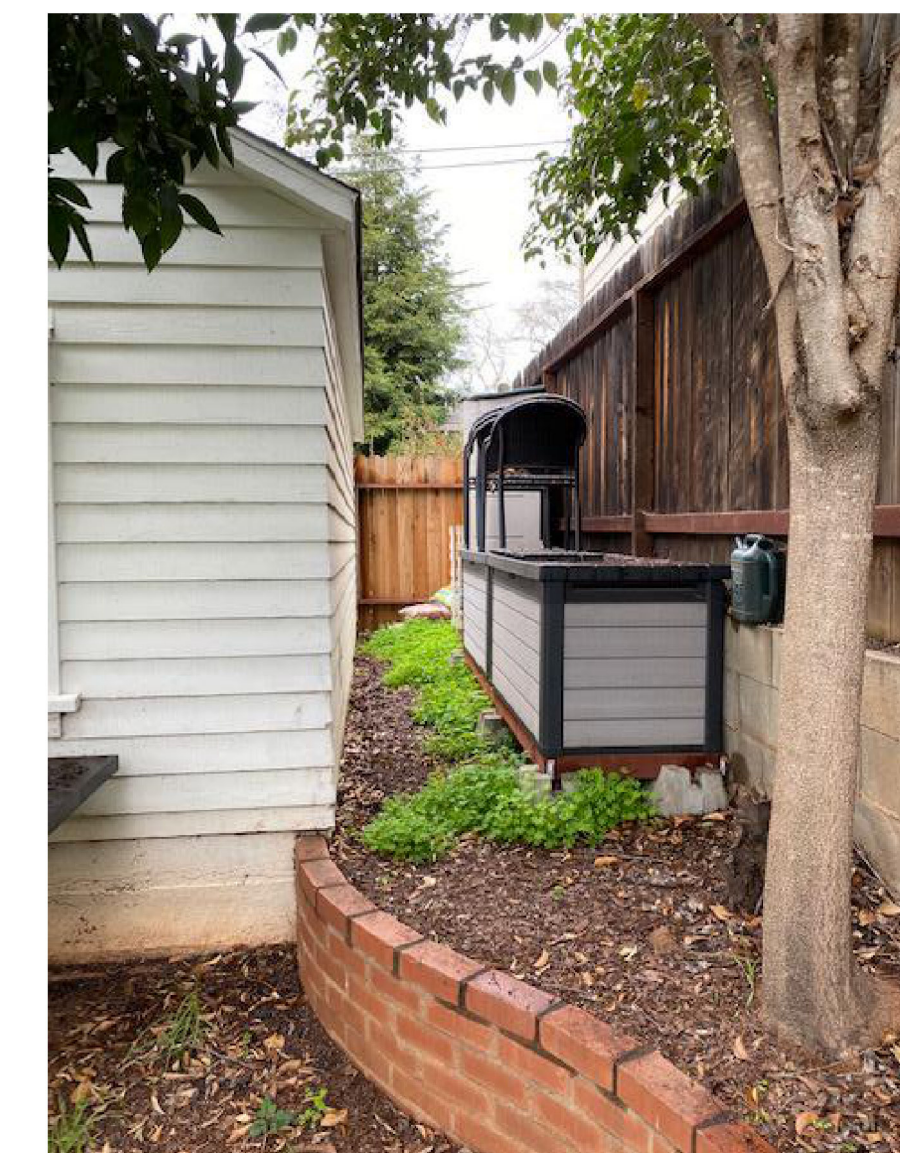


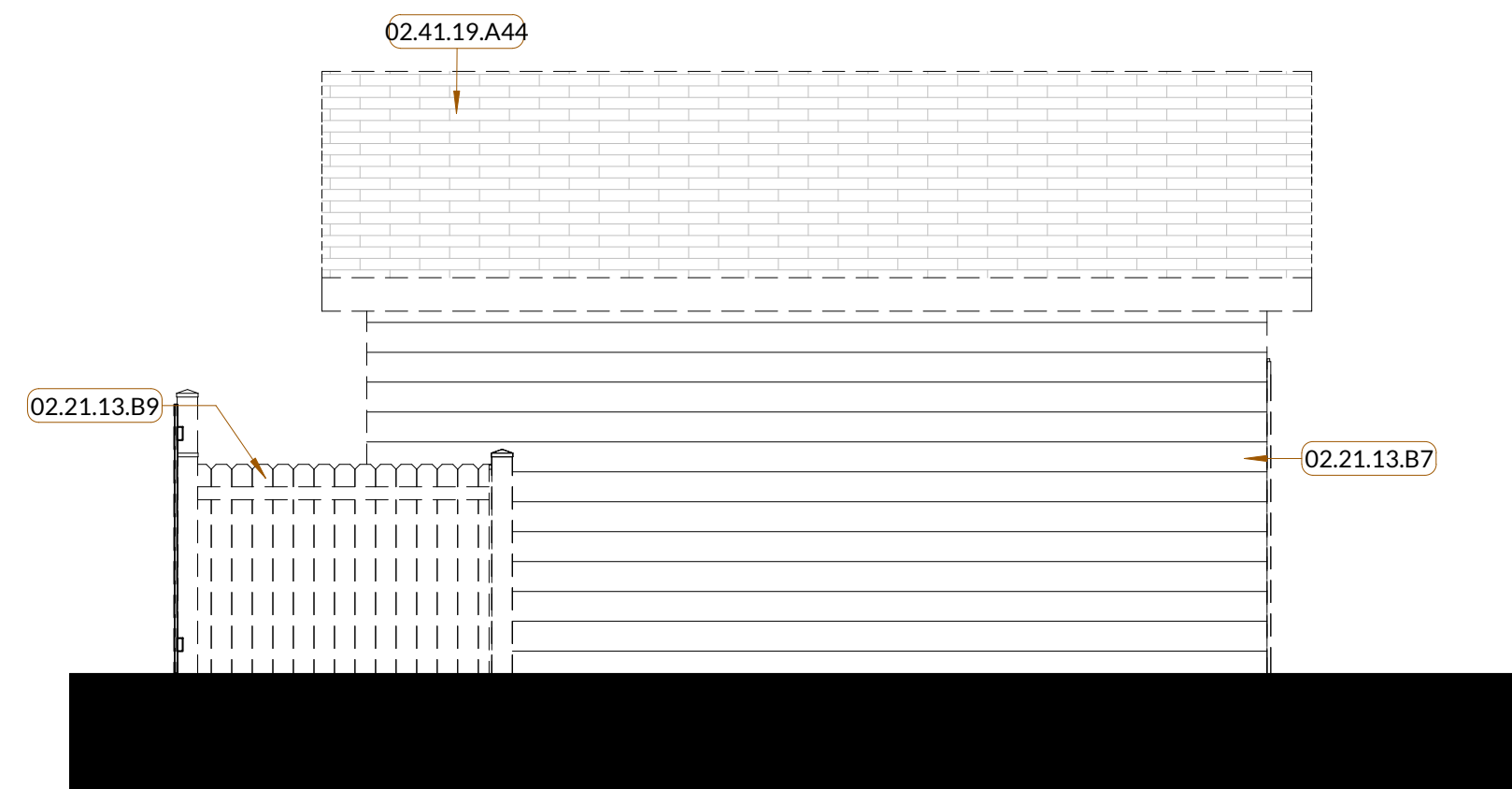
2 EXISTING EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



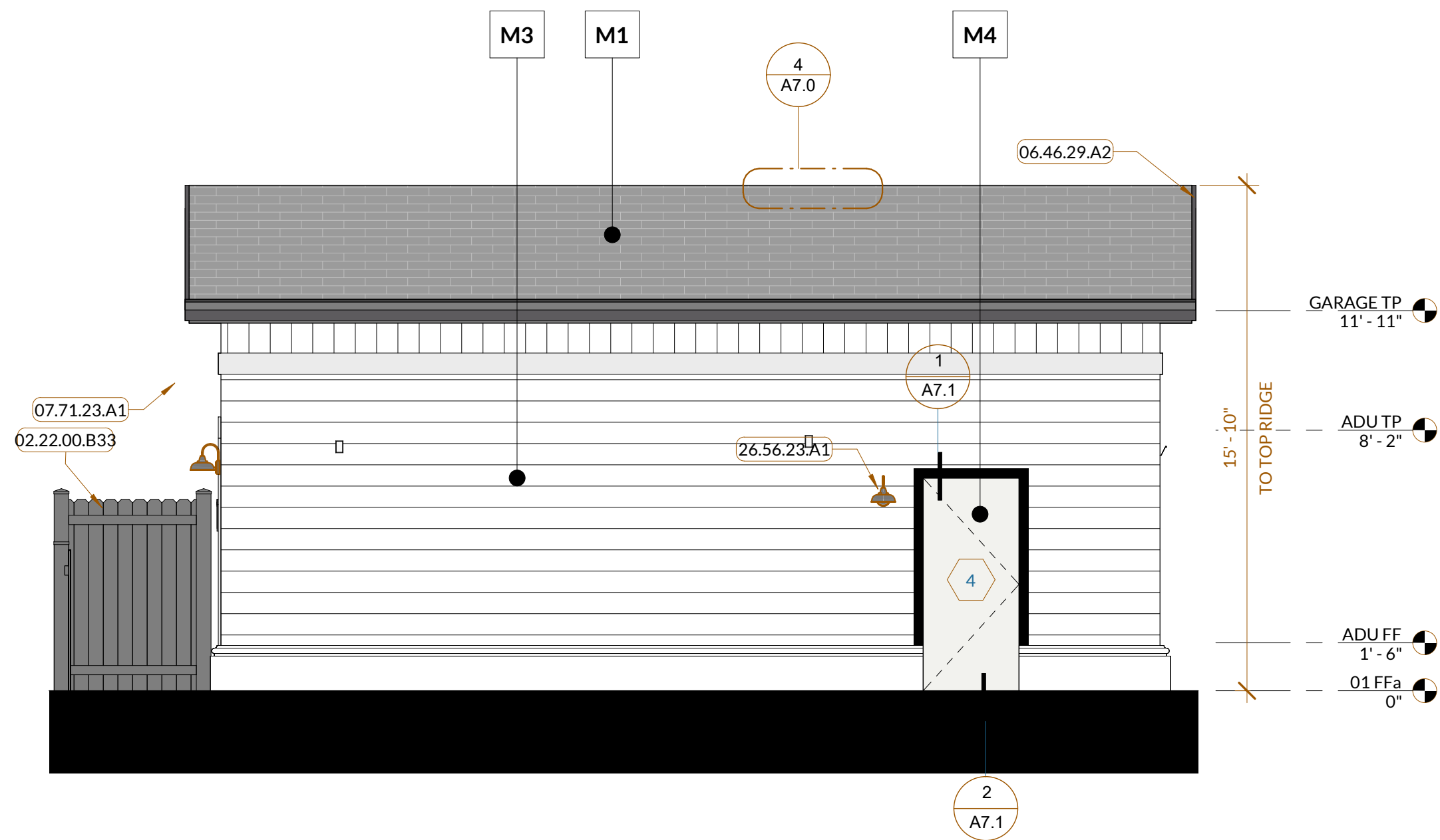
4 EXISTING NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING PHOTOS

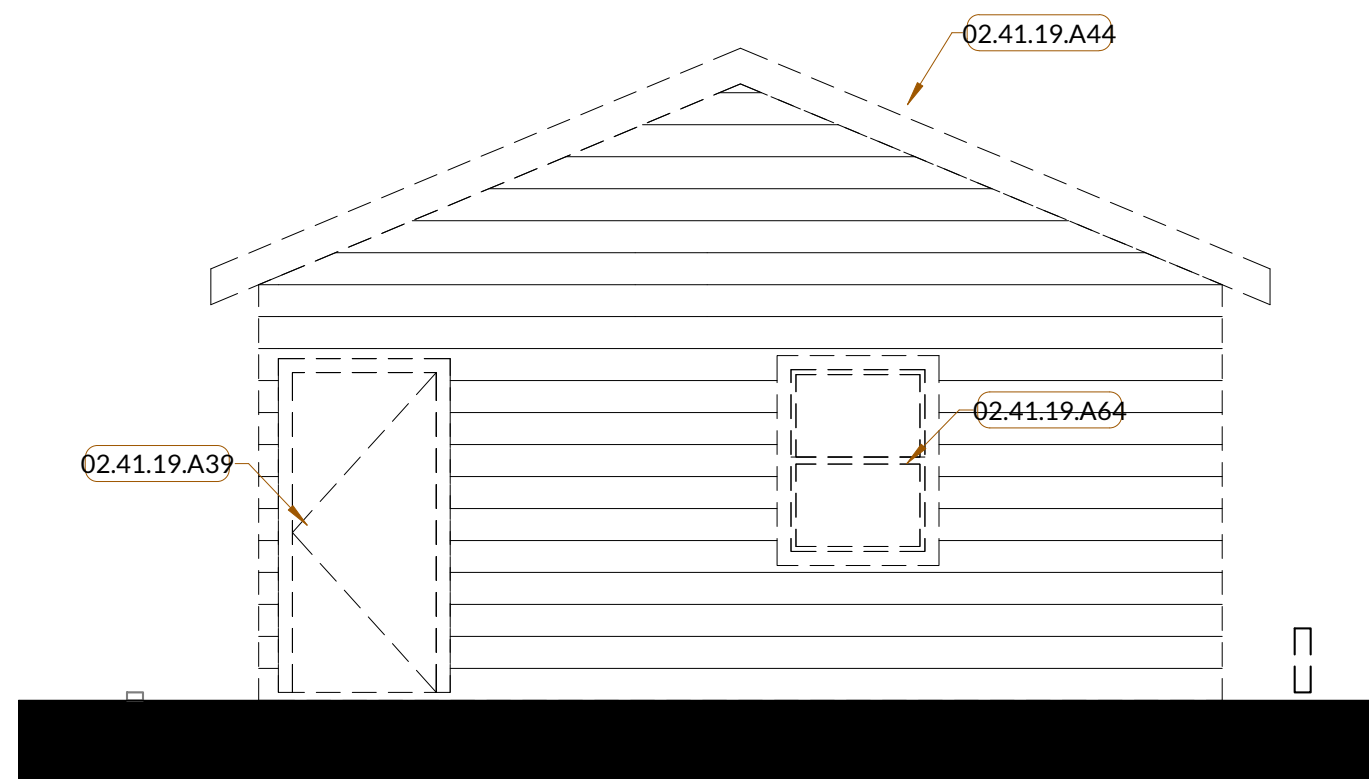




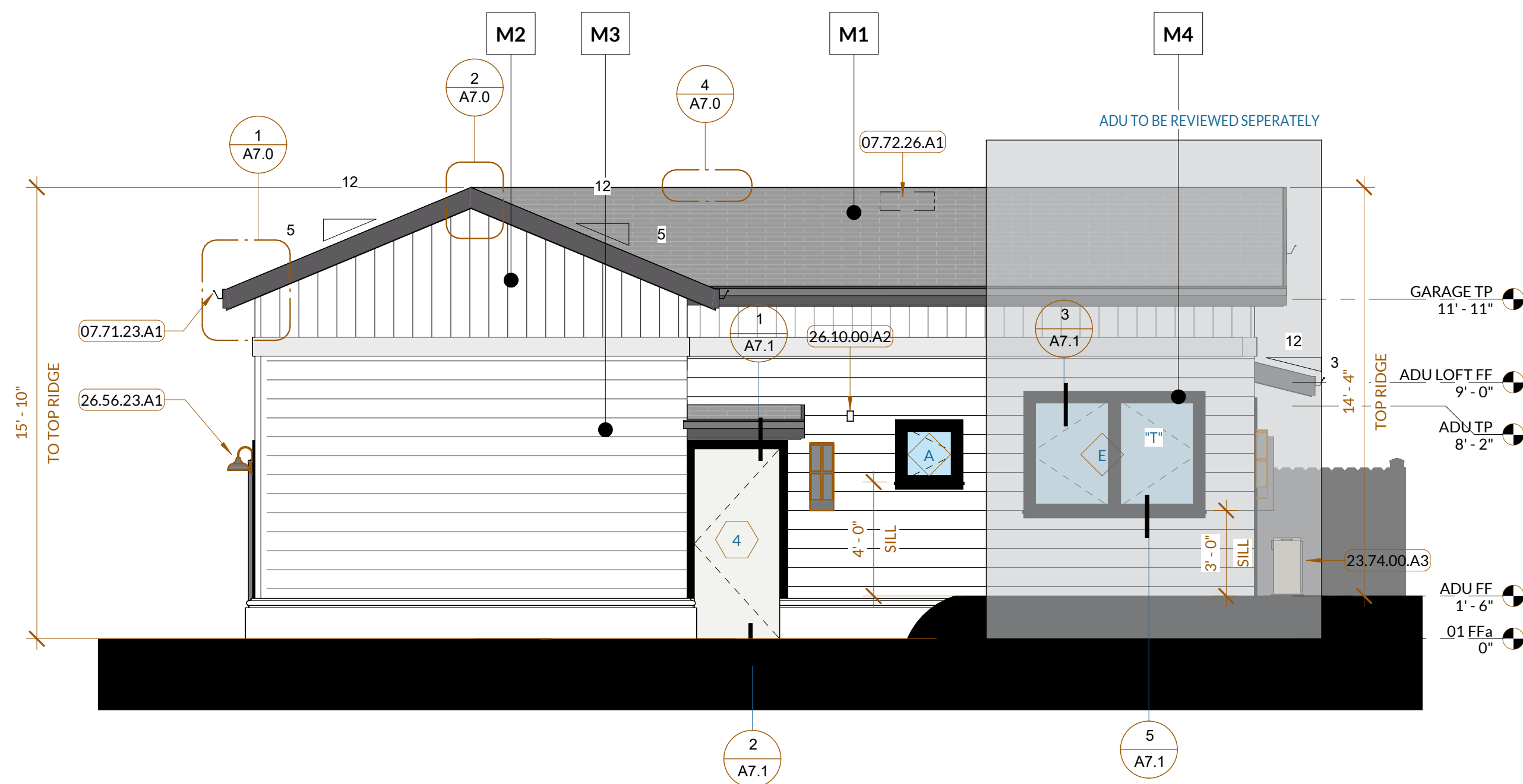
2 EXISTING WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION KEYNOTES

- 02.21.13.B7 REMOVE (E) WALL
- 02.21.13.B9 (E) FENCE TO BE REMOVED
- 02.22.00.B33 (N) WOODEN FENCE 8'-0" HIGH
- 02.41.19.A39 REMOVE (E) DOOR
- 02.41.19.A44 DEMOLISHED (E) ROOF
- 02.41.19.A64 REMOVE (E) WINDOW
- 06.46.29.A2 2X8 FASCIA - SCARF AND MITER ALL JOINTS
- 07.71.23.A1 GUTTER AND DOWNSPOUT W/ SPLASHBLOCK. SITE TO DRAIN AWAY FROM BUILDING. EXISTING SITE DRAINAGE TO REMAIN.
- 07.72.26.A1 O'HAGIN, SELF FLASHING, TAPERED VENT. MINIMUM 72 S.I. OF NET FREE VENTILATION AREA. MIN. 26 GA G90 MILL GALV. STEEL, PREPAINTED.
- 23.74.00.A3 (N) SPLIT - SYSTEM (COOLING - HEATING, OUTDOOR UNIT ON 6' CONCRETE PAD.
- 26.10.00.A2 GFI OUTLET WITH WATERPROOF COVER
- 26.56.23.A1 LIGHT SCONCE, REFER TO ELECTRICAL PLAN.

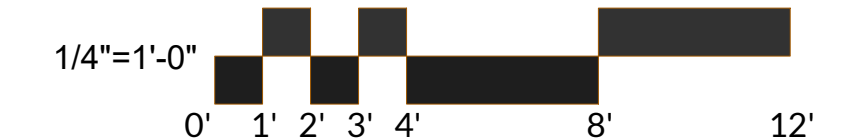
MATERIAL LEGEND

- M1** ATLAS STORMMASTER SHAKE COLOR: HEARTHSTONE GRAY
- M2** HARDIEPANEL VERTICAL SIDING INSTALLED AS BOARD & BATTEN COLOR: ARCTIC WHITE
- M3** HARDIEPLANK LAP SIDING COLOR: ARCTIC WHITE
- M4** WINDOW TRIM & MULLIONS COLOR: BLACK



GARAGE DOOR DESIGN

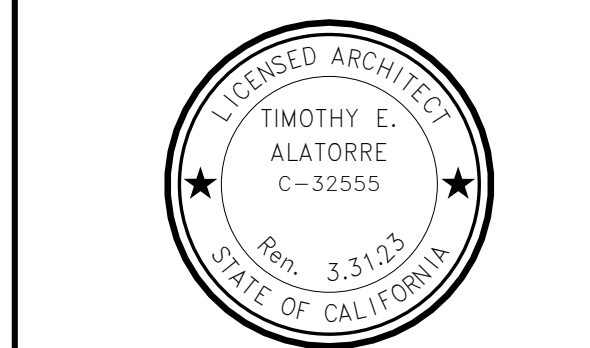
SCALE



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**EXTERIOR
ELEVATIONS**

A4.1

Historic District Commission
1010 Persifer Street Garage (DRCL22-00172)
August 3, 2022

Attachment 6 Site Photos







Historic District Commission
1010 Persifer Street Garage (DRCL22-00172)
August 3, 2022

Attachment 7

Public Comments Received

**HERITAGE PRESERVATION LEAGUE OF FOLSOM
PROJECT APPLICATION REVIEW**

July 14, 2022

PROJECT: The addition of a 1,350 sf accessory structure with a 714 sf main garage and a 636 sf ADU at 1010 Persifer Street, in the Central Subarea (File 22-172)

REQUEST: Design Review of Residential Accessory Structure and the Demolition of an Existing Garage.

PROJECT

HISTORY: Application Circulated by City on July 1, 2022 and feedback requested by July 15.

PROJECT REVIEW:

Existing Property

No changes are proposed to the existing home. However, the property does not have the frontage improvements that are recommended in the Design Guideline. The proposed 5 foot setback from the alley may also not allow larger vehicles to enter the garages.

Until further studies have been completed, it is HPL's opinion that parking need to be regulated as follows within the public right-of-way areas of the residential subareas:

- The right-of-way area of public streets should not be used for vertical parking, and the right-of-way area of public alleys should not be used for parallel parking.

These requirements will preserve the historic street view of the residential subareas and also ensure that access to alley-loaded garages remains possible.

Garage Demolition

The existing garage is not historically significant and special requirements regarding the removal are therefore not required.

Proposed Site Improvements

Because two parking spaces are required for residential properties (located outside the front yard), both garage bays may need to be dedicated to the main unit. As an option, an additional open parking space could be identified on the west side of the accessory structure.

As shown on the building elevations, the finished floor of the two garage bays is 1.5 feet lower than the finished floor of the ADU's living space. However, the Site Plan does not demonstrate how this building design can be incorporated with the existing topography.

HPL recommends that the following conditions are attached to the project approval:

- Show an additional parking space in the uncovered area west of the accessory structure on the Site Plan.

- Submit a preliminary Grading Plan that demonstrates how the new accessory structure can be accessed from the alley. The Grading Plan should also show the location of potential new retaining walls and the overall drainage pattern around the new structure.

New Accessory Structure

Accessory structures are identified as: ‘incidental to the main structure’. Because the proposed accessory structure is close to the size of the main structure it may not visually appear to be the smaller structure on the property.

The proposed 1,350 square foot accessory structure incorporates a 636 square foot ADU and a 714 square foot garage with a storage attic. It is HPL’s opinion that the Historic District Commission needs to provide design review of the overall structure and not just the portion designated as a main garage. This approach would be consistent with the review of main structures that incorporate an ADU.

It is HPL’s opinion that the proposed structure should be designed as one building rather than two attached structures. A small design modification could create this impression:

- Connect the two garage structures by locating the belly band along the upper part of the ADU and the main garage at the same height.

In addition, HPL recommends that the following condition is added to the project approval:

- Select garage doors of wood (or a material that resembles wood) and frame the doors with trim.