



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**HISTORIC DISTRICT COMMISSION AGENDA**  
**September 4, 2024**  
**6:30 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:** John Felts, Mark Dascallos, Ralph Peña, Jennifer Cabrera, Daniel West, John Lane, Kathy Cole

The Historic District Commission has adopted a policy that no new item will begin after 10:30 p.m. Therefore, if you are here for an item that has not been heard by 10:30 p.m., you may leave, as the item may be continued to a future Commission Meeting.

*Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available, upon request, at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California*

**PLEDGE OF ALLEGIANCE**

**CITIZEN COMMUNICATION:** The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

**MINUTES**

The minutes of the August 7, 2024, meeting will be presented for approval.

**NEW BUSINESS**

**1. DRCL24-00192: 1002 Persifer St., Window Replacement Project and Determination that the Project is Exempt from CEQA**

A public meeting to consider a Residential Design Review application for the replacement of one window on an existing single-family residence located at 1002 Persifer Street. The project site has an SFHD (Single-Family, High Density) General Plan designation and is within the R-1-M (Single Family, Small Lot District) Zoning District. The property is located in the Folsom Historic District within the Central Subarea of the Historic Residential Primary Area. The project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Nathan Stroud / Applicant: Allison Konwinski)**

**2. DRCL24-00181: 604 Sutter Street St., Commercial Patio Cover Project and Determination that the Project is Exempt from CEQA**

A public meeting to consider a Commercial Design Review application for the construction of an ~110-square-foot commercial patio cover over an existing rear balcony located at 604 Sutter Street. The project site has a HF (Historic Folsom) General Plan designation and is within the HD (Historic District) Zoning District. The property is located in the Folsom Historic District within the Sutter Street Subarea of the Historic Commercial Primary Area. The project is categorically exempt from environmental review under Section 15303 (New Construction or

**PLANNING MANAGER REPORT**

**HISTORIC DISTRICT COMMISSION COMMENTS**

**ADJOURNMENT**

The next regularly scheduled meeting is **October 2, 2024**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2<sup>nd</sup> Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6200 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6203, (916) 355-7274 (fax) or [ksanabria@folsom.ca.us](mailto:ksanabria@folsom.ca.us). Requests must be made as early as possible and at least two full business days before the start of the meeting.

**NOTICE REGARDING CHALLENGES TO DECISIONS**

**The appeal period for Historic District Commission Action:** Pursuant to Folsom Municipal Code Section 17.52.700, if a permit applicant, permittee, or other person whose property rights may be affected is dissatisfied with any determination made by the Historic District Commission, such person(s) may appeal to the City Council. Any such appeal shall be in writing, shall state the specific reason for the appeal and grounds asserted for relief, and shall be filed with the City Clerk not later than 10 calendar days after the date of the action being appealed. Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing.



**HISTORIC DISTRICT COMMISSION MINUTES**  
**August 7, 2024**  
**6:30 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:**

A regular meeting of the Historic District Commission was called to order at 6:32 p.m. with Chair Kathy Cole presiding.

**ROLL CALL:**

Commissioners Present:        John Lane, Vice Chair  
   Mark Dascallos, Commissioner  
   Ralph Peña, Commissioner  
   Jennifer Cabrera, Commissioner  
   Daniel West, Commissioner  
   Kathy Cole, Chair

Commissioners Absent:        John Felts, Commissioner

**PLEDGE OF ALLEGIANCE:**

The Pledge of Allegiance was recited.

**CITIZEN COMMUNICATION:**

NONE

**MINUTES:**

The minutes of the June 5, 2024, meeting were approved.

**NEW BUSINESS:**

**1. DRCL24-00102: 312 Figueroa St., Shed Demolition and New Custom Home Project and Determination that the Project is Exempt from CEQA**

A public meeting to request a Residential Design Review for the construction of an 1,810 square-foot new custom home and a 690 square-foot detached alleyway garage and approval of the demolition of an existing ~300-square-foot shed structure and located at 312 Figueroa Street. The project site has an SFHD (Single-Family, High Density) General Plan designation and is within the R-2 (Two Family Residence) Zoning District. The property is located in the Folsom Historic District within the Figueroa Subarea of the Historic Residential Primary Area. The project is categorically exempt under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) Guidelines. (Project Planner: Nathan Stroud / Applicant: Tina and Ron Edwards)

COMMISSIONER PEÑA MOVED TO APPROVE THE APPLICATION (DRCL24-00102) FOR A DEMOLITION PERMIT FOR THE DEMOLITION OF AN EXISTING SHED STRUCTURE, AS SHOWN AS ATTACHMENT 6, AND FOR THE DESIGN REVIEW OF A NEW CUSTOM HOME AND DETACHED ALLEYWAY GARAGE AT 312 FIGUEROA STREET, AS SHOWN ON ATTACHMENTS 8 AND 9, BASED ON THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-J) AND SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (CONDITIONS 1-28).

COMMISSIONER WEST SECONDED THE MOTION.

The Motion carried the following roll call vote:

AYES: LANE, DASCALLOS, PEÑA, CABRERA, WEST  
NOES: NONE  
RECUSED: COLE  
ABSENT: FELTS

MOTION PASSED

**2. DRCL24-00145: Habitat for Humanity Residences Design Review and Density Bonus and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Habitat for Humanity of Greater Sacramento, Inc. for approval of a Design Review and Density Bonus application for development of five 1,268-square-foot single-family residences and five 750-square-foot single-family residences located at 300-310 Persifer Street. The zoning district for the site is R-1-M (Single-Family Residential- Small Lot District) and the General Plan land-use designation is SFHD (Single-Family High Density). The property is located within the Persifer-Dean Subarea of the Historic Residential Primary Area of the Historic District. The project is categorically exempt under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) Guidelines. (Project Planner: Josh Kinkade / Applicant: Habitat for Humanity of Greater Sacramento, Inc.)

1. Troy Reitz addressed the Commission with concerns regarding parking in the alleys.

COMMISSIONER WEST MOVED TO APPROVE THE DESIGN REVIEW AND DENSITY BONUS APPLICATION (DRCL24-00145) FOR DEVELOPMENT OF FIVE 1,268 SQUARE FOOT SINGLE-FAMILY RESIDENCES AND FIVE 750 SQUARE FOOT COTTAGE RESIDENCES LOCATED AT 300-310 PERSIFER STREET, AS ILLUSTRATED ON ATTACHMENTS 6 THROUGH 8 FOR THE HABITAT FOR HUMANITY RESIDENCES PROJECT, BASED ON THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-Q) AND SUBJECT TO THE ATTACHED CONDITIONS OF APPROVAL (CONDITIONS 1-17) WITH A MODIFICATION TO MOVE CONDITION 3B TO CONDITION 3C AND ADD CONDITION 3B STATING THAT A SHADE TREE SHALL BE INCLUDED IN FRONT OF THE NON-WINDOWED WALLS OF THE FRONT ELEVATIONS OF THE COTTAGES TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DEPARTMENT.

COMMISSIONER DASCALLOS SECONDED THE MOTION.

The Motion carried the following roll call vote:

AYES: LANE, DASCALLOS, PEÑA, CABRERA, WEST, COLE  
NOES: NONE  
RECUSED: NONE  
ABSENT: FELTS

MOTION PASSED

**PLANNING MANAGER REPORT**

Planning Manager Desmond Parrington reported that the next Historic District Commission meeting is tentatively scheduled for September 4, 2024.



**Planning Manager Desmond Parrington provided an update on the following items:**

- The next meeting will be September 4, 2024 where the commission will be reviewing and making a recommendation on the River District Master Plan to the City Council. The River District Master Plan will go before the City Council in October 2024.
- The City Manager will be retiring in December 2024. Recruitment for that position will start soon.

There being no further business to come before the Folsom Historic District Commission, Chair Kathy Cole adjourned the meeting at 8:30 p.m.

RESPECTFULLY SUBMITTED,

---

Karen Sanabria, ADMINISTRATIVE ASSISTANT

**APPROVED:**

---

Kathy Cole, CHAIR



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 1**  
**Type: Public Meeting**  
**Date: September 4, 2024**

## **Historic District Commission Staff Report**

50 Natoma Street, Council Chambers  
Folsom, CA 95630

**Project:** 1002 Persifer St., Window Replacement Project and Determination that the Project is Exempt from CEQA  
**File #:** DRCL24-00192  
**Request:** Design Review, Commission-Level  
**Location:** 1002 Persifer Street; Central Subarea of Historic District  
**Parcel(s):** APN 070-0145-010  
**Staff Contact:** Nathan Stroud, Assistant Planner, (916) 461-6220  
[nstroud@folsom.ca.us](mailto:nstroud@folsom.ca.us)

### **Property Owner/Applicant**

Name: Allison Konwinski  
Address: 1002 Persifer Street  
Folsom, CA 95630

### **Project Summary**

The project includes the removal of an octagonal window on the interior side elevation and the installation of a horizontal sliding window of the same size, shape, color, and material as other existing windows on the residence at 1002 Persifer Street. The property is located in the Folsom Historic District within the Central Subarea of the Historic Residential Primary Area, and is not listed on the City of Folsom’s Cultural Resources Inventory.

### **Background**

Based on Sacramento County Assessor’s Office Records and Building Permits on file with the City of Folsom, the original primary residence was built in 1950 as a single-story, single-family residence with a detached two-car garage in the rear. In 1995, a 1,342-square-foot residential addition was added to the residence, including an attached one-car garage and a second story. In 2020, a 350-square-foot addition and 49-square-foot uncovered deck was approved by the Historic District Commission for Design Review (PN 20-215) and constructed in 2021.

Currently, the property consists of a single-family residence, a rear detached garage, and a rear patio cover. The subject property is located in the Central Subarea of the Historic Residential Primary Area of the Historic District, with an underlying zoning of R-1-M (Single Family Residential, Small Lot District).



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**Policy/Rule**

Folsom Municipal Code (FMC) Section 17.52.300 states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition, or demolition of existing structures within the Historic District. FMC Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

**Recommendation**

Conduct a public meeting and upon conclusion recommend approval of an application (DRCL24-00192) for Residential Design Review for the replacement of a single octagonal window with a horizontal sliding window of the same size, shape, color, and material as other existing windows on the residence, as shown in Attachment 5, based on the findings (Findings A-H) below and subject to the attached conditions of approval (Conditions 1-10).

**Table of Contents**

- 1 – Project Site Information
- 2 – Description/Analysis
- 3 – Proposed Conditions of Approval
- 4 – Vicinity Map
- 5 – Plan Set, Dated 7-5-24

Submitted,

---

PAM JOHNS  
Community Development Director

**ATTACHMENT 1  
PROJECT SITE INFORMATION**

<b>GENERAL PLAN DESIGNATION</b>	SFHD (Single-Family High Density)
<b>ZONING</b>	CEN/R-1-M (Central Subarea of the Historic Residential Primary Area / Single-Family, Small Lot District)
<b>ADJACENT LAND USES/ZONING</b>	North: Single Family Residence (CEN/R-1-M)  South: Single Family Residence (CEN/R-1-M)  East: Single Family Residence (CEN/R-1-M)  West: Single Family Residence (CEN/R-1-M)
<b>SITE CHARACTERISTICS</b>	The 7,000-square-foot (0.16-acre) project site contains an existing single-family residence and a rear detached garage.
<b>APPLICABLE CODES</b>	<u>FMC</u> Chapter 17.52, HD, Historic District <u>FMC</u> Section 17.52.300, Design Review <u>FMC</u> Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards Historic District Design and Development Guidelines (DDG's)
<b>PUBLIC NOTICING</b>	A notice was posted on the project site five days prior to the Historic District Commission meeting of September 4, 2024, that met the requirements of <u>FMC</u> Section 17.52.320.

## ATTACHMENT 2 DESCRIPTION/ANALYSIS

### Applicant's Proposal

The applicant, Allison Konwinski, is seeking Design Review approval for the replacement of a single octagonal window with a horizontal sliding window of the same size, shape, color, and material as other existing windows on the residence at 1002 Persifer Street. The property is located in the Central Subarea of the Historic residential Primary Area of the Historic District, and the residence, which was originally built in 1950, is not listed on the City of Folsom's Cultural Resources Inventory.

The existing window to be replaced is a small octagonal window located on the interior side-elevation; the window was previously used for a bathroom which once existed at that part of the residence prior to 1995. Currently, the window is located in the dining room of the residence. The existing window is multi-paned with beige-colored wood trim, as shown in Figure 1 below and in Attachment 5.



Figure 1 – Existing Octagonal Window

The proposed replacement window is to be of the same materials, size, color, and style as an existing horizontally sliding, vinyl framed, dual pane window adjacent to the octagonal window, an example of which is shown in Figure 2 below. The window is not proposed to have window trim, matching the other windows on the interior side elevation.



Figure 2 – Example of Proposed Replacement Window

Overall, the project seeks to bring consistency among the windows on the interior side elevation.

### **Building Design and Architecture**

The proposed project is subject to compliance with the DDGs Section 5.04.03(a), which establishes the design concepts for the Central Subarea, and provides property owners with broad discretion in choosing styles between the 1850 and 1950 time frame. Additionally, Section C of Appendix D of the DDGs establish the Historic Residential Design Criteria for residential structures in the Historic Residential Primary Area, and generally encourage consistency with neighboring development in setbacks, massing and scale; and compatibility with the design context of the building's style and with the period of the Subarea.

The existing residence was built in 1950, expanded in 1995, and subsequently expanded in 2021. The architectural style of the existing residence is that of a Minimal Traditional architectural style with Craftsman-esque elements. The Minimal Traditional style was prominent between 1935 and 1950, and is noted by a low to intermediate roof pitch, usually with small massing and a one-story form, and simplistic decoration sometimes with a small front porch extension. In this instance, the minimal decorative features are similar to those found on Craftsman styled residences, including the use of exposed wood structural elements, such as roof brackets; and the use of exterior siding accents, such as the use of masonry accents. The Minimal Traditional style and the Craftsman elements are consistent with the design concept prescribed for the Central Subarea, and are not proposed to change in this project.

The subsequent expansions of the residence in 1995 and 2021 imitated the exterior materials of the original residence. Notably, no window trim was placed on the windows for the 1995 addition, a mismatch from the windows on the original residence which have wood window trim. The octagonal window to be replaced existed prior to the 1995 renovations as a bathroom window; the bathroom has since been converted into a dining room area, where the octagonal window now resides.

The proposed replacement window for this project will imitate adjacent windows from the 1995 addition.

### **Windows**

The project proposes to use a horizontally oriented, slider window with dual panes, with white vinyl frames and no window trim.

Section C.3 (Historic Residential Design Criteria, Windows) of Appendix D of the DDGs states that wood frame double-hung or casement windows are preferred, and that vinyl clad windows may be used for less significant structures. Furthermore, Attachment 2 (Building Materials Palette) of Appendix D of the DDGs lists vinyl windows as an inappropriate material specifically for buildings on either the National Historic Register or

for Buildings of Local Substantial Integrity. As neither the property nor the residence at 1002 Persifer Street is listed on either the City's Cultural Resources Inventory or on the National Register, vinyl windows are considered an allowed material for the project.

Section C.3 of Appendix D of the DDGs also states that window proportions should be vertical rather than horizontal generally, and that the appropriate proportions and number of panes will vary depending on the style of the individual building and the context. Furthermore, Section C.3 states that “[i]rregular, polygonal, circular and trapezoidal window shapes are discouraged”. The existing window to be replaced is an octagonal shape which, according to Section C.3, would fall within the window shapes to be discouraged. The proposed window replacement, although not vertically oriented, would be consistent with existing windows on the primary residence; additionally, horizontally sliding windows were also an available window type at the time of the residence's construction in 1950, and have been used on other Minimal Traditional styled residences. As such, the proposed replacement window is considered consistent with the style and design context of the residence, in accordance with Section C.3 of Appendix D of the DDGs.

Staff has made the determination that the proposed replacement window is consistent with the design intent of Section C.3 of Appendix D of the DDGs, and with the Building Materials Palette of Appendix D of the DDGs.

### **Conclusion**

Staff has determined that the overall design, colors, materials, and size of the proposed window replacement can be successfully incorporated into quality residential design, is compatible with the existing residential character in the project vicinity, and is consistent with the DDGs for the Central Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the Folsom Municipal Code and the design guidelines in the Historic District Design and Development Guidelines.

### **Public Comments**

No public comments have been received.

### **Recommendation**

Staff recommends approval of the proposed project, subject to the attached conditions of approval.

### **Historic District Commission Action**

Move to approve the application (DRCL24-00192) for Design Review of a window replacement at 1002 Persifer Street, as shown on Attachment 7, based on the findings included in this report (Findings A-H) and subject to the attached conditions of approval (Conditions 1-10).

**GENERAL FINDINGS**

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

**CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

**DESIGN REVIEW FINDINGS**

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY THE CITY COUNCIL.



## **Attachment 3**

# **Proposed Conditions of Approval**

<b>CONDITIONS OF APPROVAL FOR 1002 PERSIFER ST., WINDOW REPLACEMENT PROJECT (DRCL24-00192)</b>				
<b>Cond. No.</b>	<b>Mitigation Measure</b>	<b>GENERAL REQUIREMENTS</b>	<b>When Required</b>	<b>Responsible Department</b>
1.		<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below, as modified by these conditions of approval:</p> <ul style="list-style-type: none"> <li>• Plan Set, dated 7-5-24 (Attachment 5)</li> </ul> <p>This project approval is for the 1002 Persifer St., Window Replacement Project which includes the replacement of an existing octagonal window with a horizontally sliding, vinyl framed window at 1002 Persifer Street. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.		<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney’s fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith.</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
4.		<p>The project approval granted under this staff report shall remain in effect for one year from final date of approval (<b>Expires September 4, 2025</b>). Failure to obtain the relevant building or</p>	B	CD (P)

		other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval. The owner/applicant may file an application with the Community Development Department for an extension not less than 60 days prior to the expiration date of the approval, along with appropriate fees and necessary submittal materials pursuant to Section 17.52.350 of the <u>Folsom Municipal Code</u> . If after approval of this project, a lawsuit is filed which seeks to invalidate any approval, entitlement, demolition permit, or other construction permit required in connection with any of the activities or construction authorized by the project approvals, or to enjoin the project contemplated herein, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the one year period for submitting a complete permit application referenced in <u>FMC</u> section 17.52.350(A) shall be tolled during the time that any litigation is pending, including any appeals.		
<b>DEVELOPMENT COSTS AND FEE REQUIREMENTS</b>				
5.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD(P)(E)
6.		If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD(E)
7.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD(P)(E)
8.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the improvement plans, or beginning inspection, whichever is applicable.	B	CD(P)(E)

**ARCHITECTURE DESIGN REQUIREMENTS**

9.		<p>The project shall comply with the following architecture and design requirements:</p> <p>a) This approval is for the 1002 Persifer St., Window Replacement Project which includes the replacement of an existing octagonal window with a horizontally sliding, vinyl framed window at 1002 Persifer Street. The applicant shall submit building plans that comply with this approval, and the attached Plan Set provided in Attachment 5.</p> <p>b) The design, materials, and colors of the proposed 1002 Persifer St., Window Replacement Project shall be consistent with the Plan Set provided in Attachment 5, to the satisfaction of the Community Development Department.</p> <p>c) All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings.</p>	OG	CD (P)
<b>NOISE REQUIREMENT</b>				
10.		<p>Compliance with the Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. In addition, construction equipment shall be muffled and shrouded to minimize noise levels.</p>	I, B	CD (P)(E)

<b>RESPONSIBLE DEPARTMENT</b>		<b>WHEN REQUIRED</b>	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

## **Attachment 4 Vicinity Map**



**Attachment 5**  
**Plan Set, Dated 7-5-24**



WINDOW CIRCA 1996 TO BE REMOVED AND REPLACED



WEST ELEVATION



WEST ELEVATION



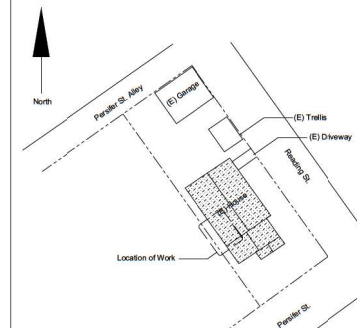
FRONT ELEVATION

WINDOW TO BE REMOVED LOCATED ON THIS SIDE

Vicinity Map



Site Map



PROJECT INFORMATION:

Project Address: 1002 Persifer St  
Folsom, CA  
R-3  
Occupancy: 2  
No. Stories: 2  
APN: 070-0145-010-0000  
Zone: R-1-M  
Construction Type: VB  
Lot Size: 7,000 sq ft.  
Fire Sprinklers: No

INDEX OF DRAWINGS:

A1.0 - COVER SHEET  
A1.1 - SITE PLAN  
A2.0 - FLOOR PLANS  
A3.0 - ELEVATIONS

DESCRIPTION OF WORK:

Residential remodel: Replace existing circa 1996 octagonal window with new sliding window to match existing window next to it.

FENESTRATION NOTES:  
Window Max. U-Factor: 0.30  
Window Min. SHGC: 0.23

PROJECT DIRECTORY:

Owner: Allison Konwinski 1002 Persifer St. Folsom, CA 95630	Structural Engineer: AK Engineering Allison Konwinski 1002 Persifer St. Folsom, CA 95630 208.789.5597	Designer: AK Engineering Allison Konwinski 1002 Persifer St. Folsom, CA 95630 208.789.5597
--	--	---

Konwinski Residence  
Window Replacement  
1002 Persifer St.  
Folsom, Ca 95630

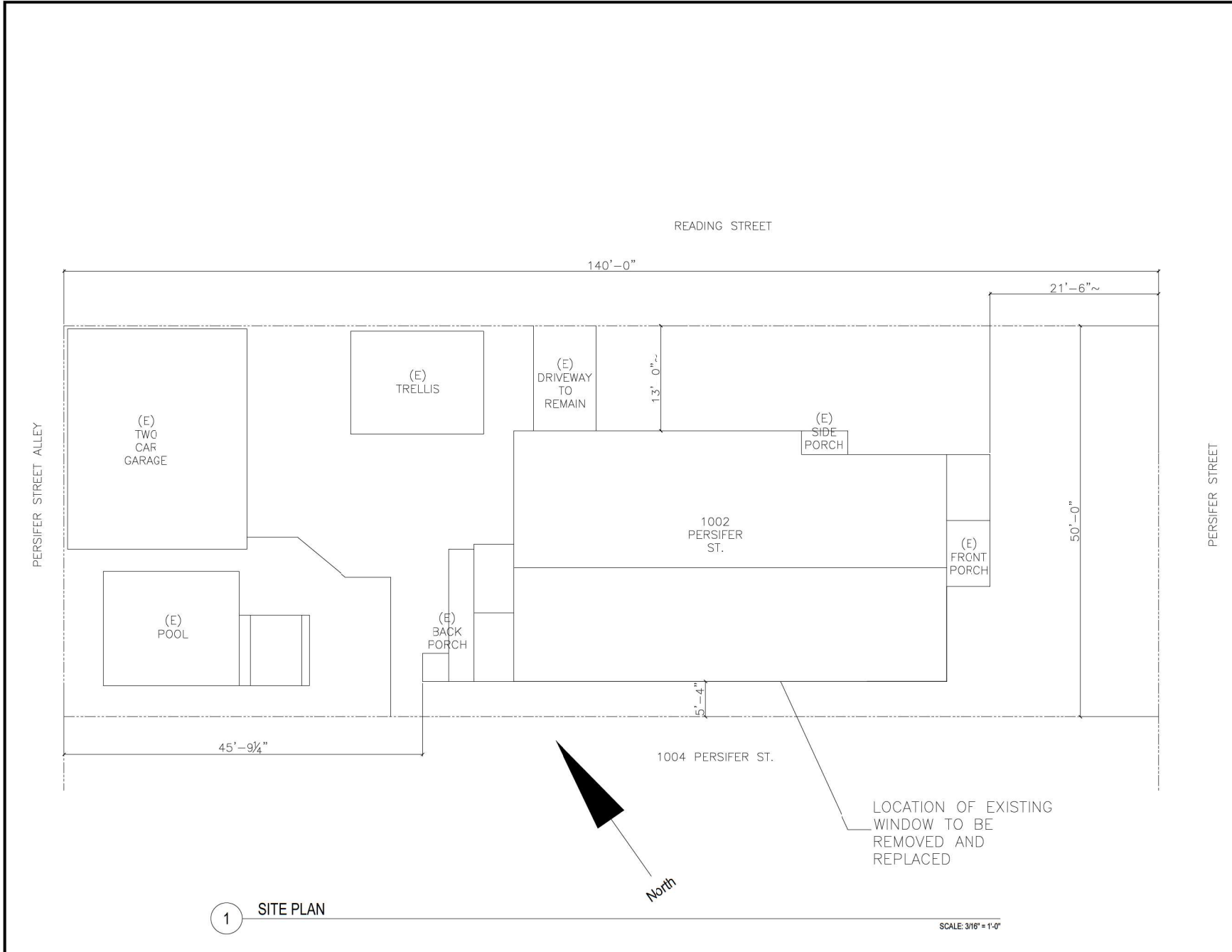


Design Review Submittal 07/05/2025

Cover Sheet

A1.0





1 SITE PLAN

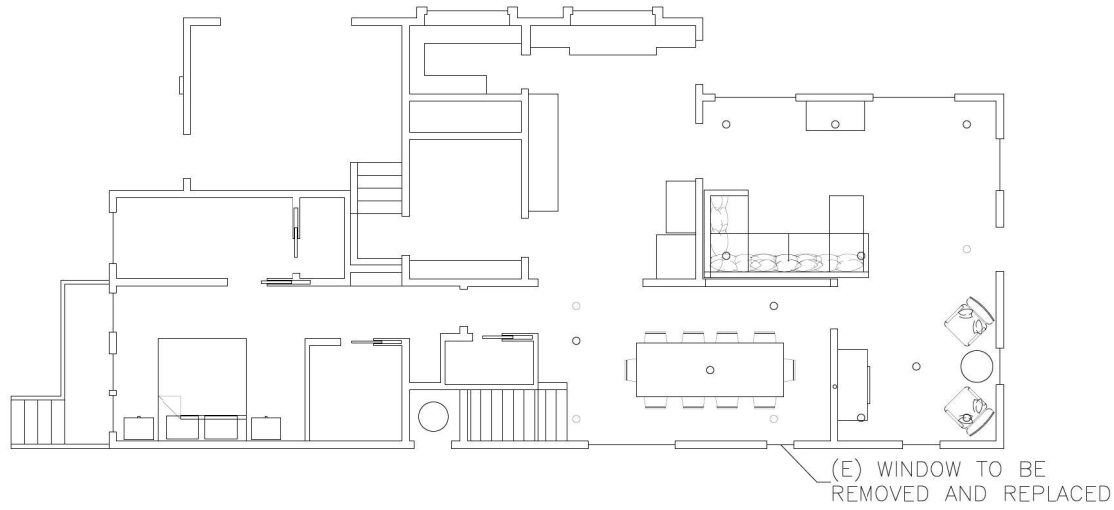
SCALE 3/16" = 1'-0"

Konwinski Residence  
Bedroom Addition  
1002 Persifer St.  
Folsom, Ca 95630

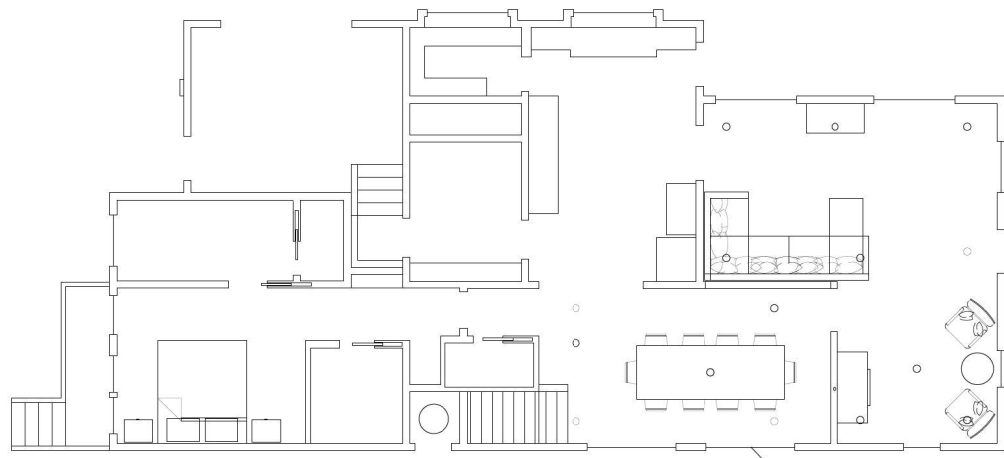
Design Review Submittal 07.05.2025

Site Plan

A1.1



1 EXISTING 1st FLOOR PLAN SCALE: 1/4" = 1'-0"



2 PROPOSED 1st FLOOR PLAN SCALE: 1/4" = 1'-0"

**LEGEND**

- (E) WALLS TO REMAIN
- - - (E) WALLS TO REMOVE
- (N) FOUNDATION
- - - (N) FOUNDATION BELOW
- (E) FOUNDATION
- - - (E) FOUNDATION BELOW
- (E) POST ABOVE AND BELOW
- (E) POST ABOVE
- (E) POST BELOW
- (E) POST ABOVE AND BELOW
- (E) POST ABOVE
- (E) POST BELOW
- REFERS TO NOTE ○
- SW TYPE, REFER TO SCHED. SW LENGTH (FT)
- SIMPSON HD, NOTED ON PLANS

**PLAN NOTES:**

- 1 A2.0: PROVIDE MIN. 1" GYP BOARD AT CRAWLSPACE WALL FOR DWELLING/GARAGE SEPARATION OF UNDERFLOOR GARAGE STORAGE TO BATHROOM
- 2 A2.0: PROVIDE MIN. 1/2" GYP BOARD AT BATHROOM/GARAGE WALL FOR DWELLING/GARAGE SEPARATION
- 3 A2.0: BELOW BATHROOM, PROVIDE MINIMUM 3/4" GYP BOARD BETWEEN GARAGE STORAGE AND BATHROOM FLOOR FOR DWELLING/GARAGE SEPARATION

S2.0: 4x6 SLOPED BEAM SITCH TO (E) STRINGER WITH 2 ROWS 5W5x3 @ 8" o.c. DRILL AND EPOXY HD ROD PER DET. 5/53.1

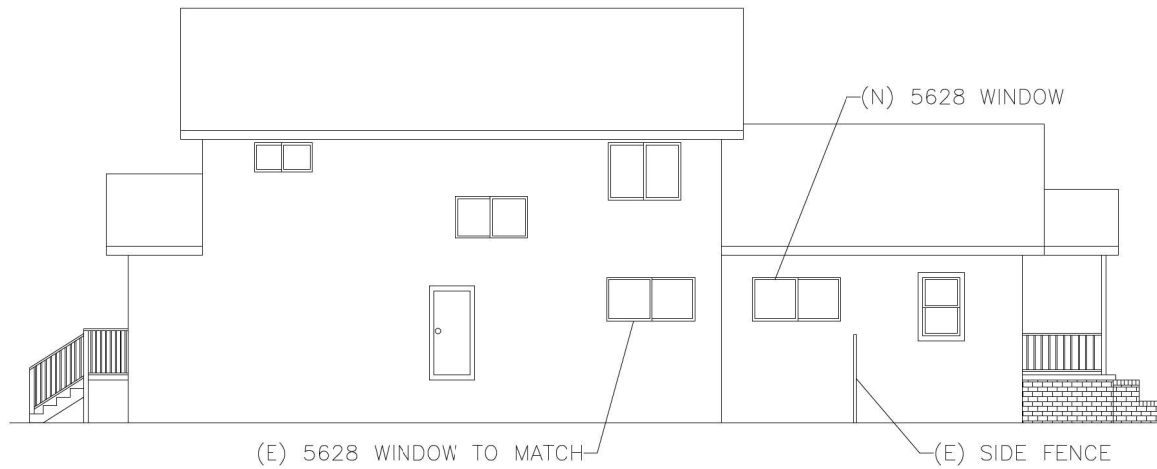
Konwinski Residence  
Bedroom Addition  
1002 Persifer St.  
Folsom, Ca 95630



Design Review Submittal 07.05.2025

Floorplans

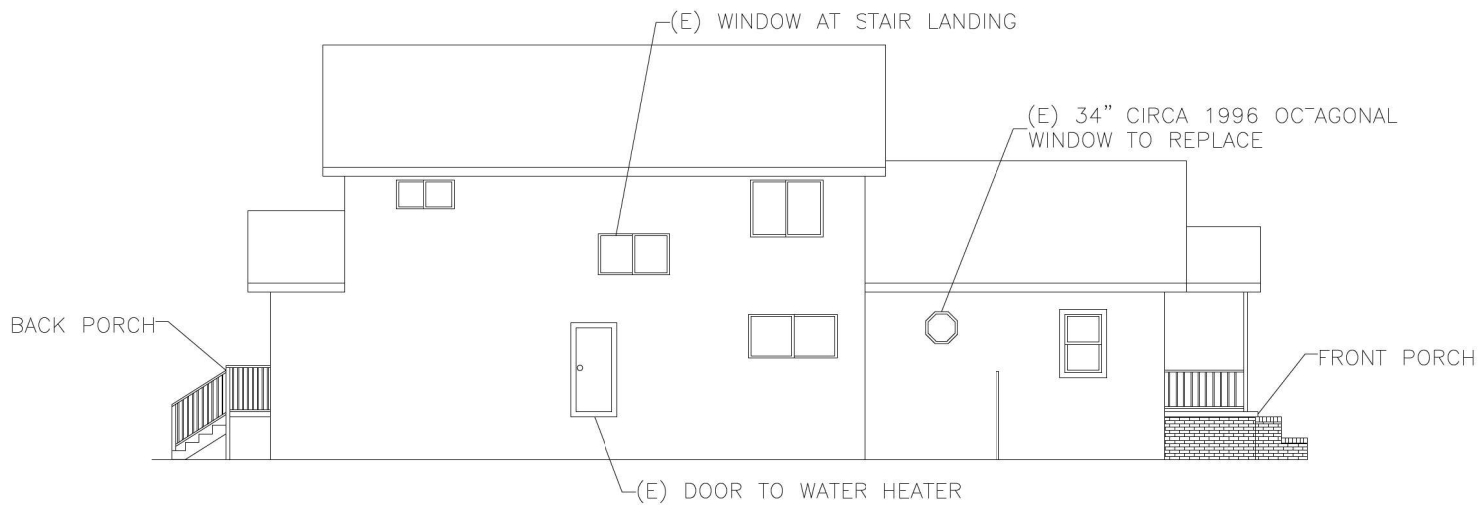
A2.0



- NOTES:  
 1. REPAIR STUCCO AND PAINT TO MATCH EXISTING  
 2. WINDOW TO MATCH EXISTING DUAL PANE WINDOW TO THE LEFT AND SLIDE THE SAME DIRECTION  
 3. EXTERIOR FRAME OF WINDOW TO MATCH EXISTING FRAME OF WINDOW NEXT TO IT

4 (N) WEST ELEVATION

SCALE: 1/4" = 1'-0"



4 (E) WEST ELEVATION

SCALE: 1/4" = 1'-0"

Konwinski Residence  
 Bedroom Addition  
 1002 Persifer St.  
 Folsom, Ca 95630



Design Review Submittal 07.05.2025

△

Elevations

A3.0



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 2**  
**Type: Public Meeting**  
**Date: September 4, 2024**

## **Historic District Commission Staff Report**

50 Natoma Street, Council Chambers  
Folsom, CA 95630

**Project:** 604 Sutter St., Commercial Patio Cover Project and Determination that the Project is Exempt from CEQA  
**File #:** DRCL24-00181  
**Request:** Design Review, Commission-Level  
**Location:** 604 Sutter Street; Sutter Street Subarea of Historic District  
**Parcel(s):** APN 070-0120-065  
**Staff Contact:** Nathan Stroud, Assistant Planner, (916) 461-6220  
[nstroud@folsom.ca.us](mailto:nstroud@folsom.ca.us)

### **Property Owner**

Name: Biddle Genesis Properties LLC  
Address: 6858 Oak Ave.  
Folsom, CA 95630

### **Applicant**

Name: Denny Wilson  
Address: 9469 Junewood Lane  
Loomis, CA 95650

### **Project Summary**

The project includes the construction of an approximately 110 square foot commercial patio cover over an existing rear balcony area located at 604 Sutter Street. The project proposes to match the colors, materials, and style of the existing building. The property is located in the Folsom Historic District within the Sutter Street Subarea of the Historic Commercial Primary Area, and is not listed on the City’s Cultural Resources Inventory.

### **Background**

In 2005, a lot merger (PN 05-481) was processed to administratively merge two vacant Theodore Judah lots to create one 14,000-square-foot parcel at 604 Sutter Street for the development of a mixed-used building. On November 16, 2005, the Historic District Commission approved a height variance, a parking variance, and a Design Review application for the development of a three-story mixed-use commercial building with a two-level parking garage below. The building was designed with consideration to the architectural style of the Folsom Powerhouse building and the Enterprise Hotel, a historic hotel which once resided near the property to the west. The building was constructed with a standing seam metal roof, a brick exterior, and balconies with black-colored wrought-iron railings and edges. Other architectural features, such as wall-mounted light fixtures, also included black wrought-iron elements.

The applicant, on behalf of the property owner, is seeking Design Review (DRCL24-00181) to construct a commercial patio cover over an existing rear 1<sup>st</sup> floor balcony that will match the color scheme and materials of the existing building, as described in Attachment 2 and as shown on Attachments 5 and 6.



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**Policy/Rule**

Folsom Municipal Code (FMC) Section 17.52.300 states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition, or demolition of existing structures within the Historic District. FMC Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

**Recommendation**

Move to approve an application (DRCL24-00181) for Design Review for the construction of an approximately 110-square-foot commercial patio cover over an existing balcony, as illustrated on Attachments 5 and 6, located at 604 Sutter Street based on the findings included in the report (Findings A-H) and subject to the attached conditions of approval (Conditions 1-6).

**Table of Contents**

- 1 – Project Site Information
- 2 – Description/Analysis
- 3 – Proposed Conditions of Approval
- 4 – Vicinity Map
- 5 – Plan Set, Dated 8-14-24
- 6 – Colors and Materials Board
- 7 – Site Photographs

Submitted,

---

PAM JOHNS  
Community Development Director

**ATTACHMENT 1  
PROJECT SITE INFORMATION**

<b>GENERAL PLAN DESIGNATION</b>	HF (Historic Folsom)
<b>ZONING</b>	SUT/HD (Sutter Street Subarea of the Historic Commercial Primary Area / Historic District)
<b>ADJACENT LAND USES/ZONING</b>	North: Public Parking Lot (SUT/HD) with Riley Street and Scott Street Beyond  South: Vacant Lot (SUT/HD)  East: Fraternal Order of Eagles Lodge (SUT/HD)  West: Commercial Development (SUT/HD)
<b>SITE CHARACTERISTICS</b>	The 14,000-square-foot (0.32-acre) project site contains a 31,324-square-foot mixed-use building.
<b>APPLICABLE CODES</b>	<u>FMC</u> Chapter 17.52, HD, Historic District <u>FMC</u> Section 17.52.300, Design Review <u>FMC</u> Section 17.52.420, Architectural Features <u>FMC</u> Section 17.52.510, Sutter Street Subarea Special Use and Design Standards Historic District Design and Development Guidelines (DDG's)
<b>PUBLIC NOTICING</b>	A notice was posted on the project site five days prior to the Historic District Commission meeting of September 4, 2024, that met the requirements of <u>FMC</u> Section 17.52.320.

## ATTACHMENT 2 DESCRIPTION/ANALYSIS

### **Applicant's Proposal**

The applicant, Denny Wilson, is seeking approval of a Design Review application for an approximately 110-square-foot patio cover for a commercial building located at 604 Sutter Street, also known as the Sutter Street Steakhouse building. The proposed patio cover is intended to be complimentary to the design, materials, and colors of the existing building's balconies and decks, and is proposed to be placed over the rear 1<sup>st</sup> floor balcony, as shown on Sheet A2.01 in Attachment 5. The property and building are not listed on the City's Cultural Resources Inventory.

The 110-square-foot commercial patio cover includes the following features:

- Roof: Standing seam metal roof with a black powder coat to match existing balcony colors;
- Frame: 4-inch rectangular tube steel framing material with a black powder coat to match existing balcony colors; and
- Other Features: Concealed motorized screen hidden behind patio cover fascia, ceiling fans, and suspended gas heaters to replace existing wall-mounted heaters.

Overall, the proposed commercial patio cover is consistent in design with the existing building, and consists of commercial grade materials in accordance with the Historic District Design and Development Guidelines (DDGs). The proposed style is compatible with the design concept for the Sutter Street Subarea of the Historic Commercial Primary Area of the Historic District, where the property is located.

### **General Plan and Zoning Consistency**

The project, which is located within the Sutter Street Subarea of the Historic Commercial Primary Area, has an underlying zoning designation of HD (Historic District), and is designated as HF (Historic Folsom) in the General Plan.

The property is subject to the standards established for architectural features in FMC 17.52.420, which applies to “[f]ireplaces, bay windows, attached porches and decks and patios higher than 30 inches above grade”. The design guidelines established in the DDGs also apply to this project. The project does not involve or affect a historic or cultural resource.

The following table show how the project relates to the FMC zoning requirements:

**Standards Applicable to the Project**

FMC 17.52.420 (Architectural Features)		
	Required	Proposed
<b>Setback Encroachment</b>	May extend into required setback area a maximum of 2 feet	No encroachment into required setback
FMC 17.52.510 (Sutter Street Subarea Standards)		
	Required	Proposed
<b>Setbacks</b>	Contiguous shops on Sutter Street frontage shall maintain continuity of facades along public sidewalk; no setback requirement	No change on front-elevation; no setback requirement

The project is consistent with all applicable development standards for the Sutter Street Subarea.

**Building Design and Architecture**

The proposed project is subject to compliance with the DDGs Section 5.02.01(c), which establishes the design concepts for the Sutter Street Subarea and encourages pre-1900s architectural styles for new construction, but allows for post-1900s styles that are of an outstanding design that represents a structure or use which formerly existed in Historic Folsom.

The existing building was approved by the Historic District Commission in 2005 with a design that was influenced by the design of the Folsom Powerhouse and the former Enterprise Hotel. The design of the proposed commercial patio cover imitates the colors, materials, and style of elements of the existing building, including the use of a standing seam metal roof and black wrought-iron framing. As such, the project has been determined to be consistent with the overall design of the existing building, and thus consistent with the design concept of the Sutter Street Subarea.

Pursuant to Resolution HDC23-001, standing seam metal roofs with a dark tone, earth tone or natural metallic color are considered appropriate roofing materials in the Historic District for new structures constructed after 1950 not listed on the City’s Cultural Resources Inventory. Neither the property nor the proposed structure is listed on the City’s Cultural Resources Inventory, and the building was constructed after 1950. As such, the proposed black-colored standing seam metal roof is consistent with Resolution HDC23-001.

**Public Comments**

No public comments have been received.



### **Conclusion**

Staff has determined that the overall design, colors, materials, and layout of the proposed patio cover can be successfully incorporated into quality commercial design and are compatible with the existing commercial character in the project vicinity and is generally consistent with the Design and Development Guidelines for the Sutter Street Subarea of the Historic Commercial Primary Area. Staff has concluded that the applicant has met the design standards identified in the Folsom Municipal Code and the design guidelines in the Historic District Design and Development Guidelines as well as the recent Commission resolutions on standing seam metal roofs.

### **Recommendation**

Staff recommends approval of the proposed project, based on the following findings and subject to the attached conditions of approval.

### **Recommended Commission Action**

Move to approve an application (DRCL24-00181) for Design Review for the construction of an approximately 110-square-foot commercial patio cover over an existing balcony, as illustrated on Attachments 5 and 6, located at 604 Sutter Street based on the findings included in the report (Findings A-H) and subject to the attached conditions of approval (Conditions 1-6).

### **GENERAL FINDINGS**

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

### **CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

### **DESIGN REVIEW FINDINGS**

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY THE CITY COUNCIL.

## **Attachment 3**

# **Proposed Conditions of Approval**

CONDITIONS OF APPROVAL FOR 604 SUTTER ST., COMMERCIAL PATIO COVER PROJECT (DRCL24-00181)				
Cond. No.	Mitigation Measure	GENERAL REQUIREMENTS	When Required	Responsible Department
1.		<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below, as modified by these conditions of approval:</p> <ul style="list-style-type: none"> <li>• Plan Set, Dated 8-14-24 (Attachment 5)</li> <li>• Color and Materials Board (Attachment 6)</li> </ul> <p>This project approval is for the 604 Sutter St., Commercial Patio Cover Project, which includes the construction of a 110-square-foot commercial patio cover located on the rear balcony of the mixed-use commercial building at 604 Sutter Street. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.		<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney’s fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith.</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
4.		<p>The project approval granted under this staff report shall remain in effect for one year from final date of approval (<b>Expires September 4, 2025</b>). Failure to obtain the relevant building or</p>	B	CD (P)

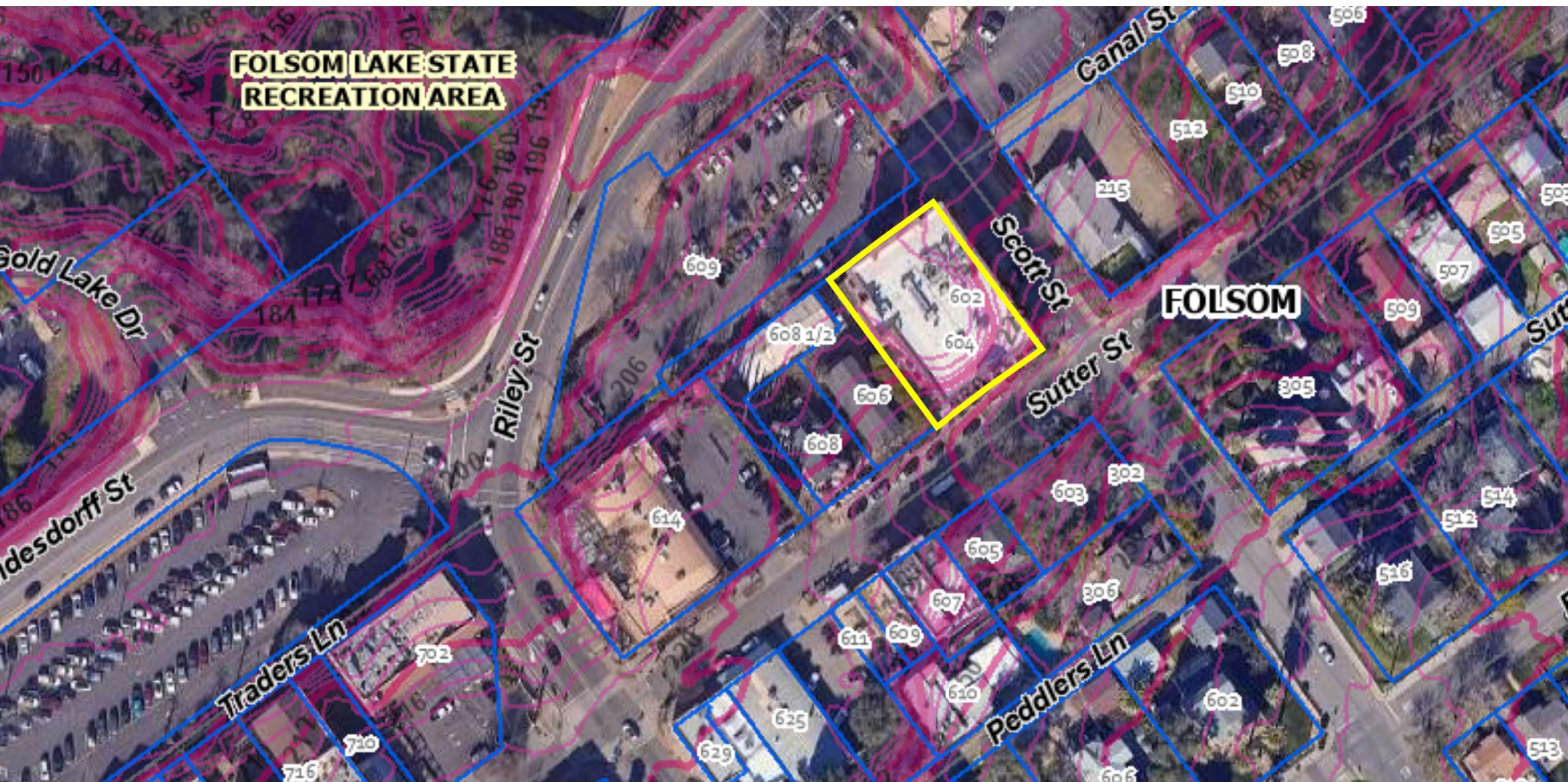
		<p>other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval. The owner/applicant may file an application with the Community Development Department for an extension not less than 60 days prior to the expiration date of the approval, along with appropriate fees and necessary submittal materials pursuant to Section 17.52.350 of the <u>Folsom Municipal Code</u>. If after approval of this project, a lawsuit is filed which seeks to invalidate any approval, entitlement, demolition permit, or other construction permit required in connection with any of the activities or construction authorized by the project approvals, or to enjoin the project contemplated herein, or to challenge the issuance by any governmental agency of any environmental document or exemption determination, the one year period for submitting a complete permit application referenced in <u>FMC</u> section 17.52.350(A) shall be tolled during the time that any litigation is pending, including any appeals.</p>		
<b>ARCHITECTURE DESIGN REQUIREMENTS</b>				
5.		<p>The project shall comply with the following architecture and design requirements:</p> <ul style="list-style-type: none"> <li>a. This project approval is for the construction of an approximately 110 square foot commercial patio cover for the 604 Sutter St., Commercial Patio Cover Project located at 604 Sutter Street. The applicant shall submit building plans that comply with this approval, and the attached plan set provided in Attachment 5 as modified by the conditions of this Staff Report (DRCL24-00181).</li> <li>b. The patio cover structure shall be painted to match the colors of the existing railings and balcony of the building located at 604 Sutter Street, to the satisfaction of the Community Development Department.</li> <li>c. The final design, materials, and colors of the proposed 604 Sutter St., Commercial Patio Cover Project shall be consistent with the submitted exterior elevations, material samples, and color scheme as modified by these conditions to the satisfaction of the Community Development Department. The final design shall be subject to review and approval by the Community Development Department.</li> <li>d. All Conditions of Approval as outlined herein shall be made as a note or separate sheet on the Construction Drawings.</li> </ul>	OG	CD (P)

NOISE REQUIREMENT				
6.		Compliance with the Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. In addition, construction equipment shall be muffled and shrouded to minimize noise levels.	I, B	CD (P)(E)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

## **Attachment 4 Vicinity Map**







**Attachment 5**  
**Plan Set, Dated 8-14-24**

# SUTTER STREET STEAKHOUSE PATIO

## 604 SUTTER STREET



### SUTTER STREET STEAKHOUSE PATIO COVER

604 SUTTER STREET  
FOLSOM, CA 95630

### COVER SHEET

### ABBREVIATIONS

A.C.	ASPHALT CONCRETE	MAX	MATERIAL
ACQS	ACRYLIC	MAB	MARBLE
ADJ	ADJUNCT	MEB	MELTED BURDET
AFF	ABOVE FINISH FLOOR	MED	MEDIA
ALUMN	ALUMINUM	MEZ	MEZZANINE
ANOD	ANODIZED	MGR	MANAGER
APPROX	APPROXIMATE	MNM	MINIMUM
ARCL	ARCHITECTURAL	MSC	MODULAR/STANDARD
BOARD	WOOD/CLADDING	MWB	WOODBRAINING
BDRF	BROOKLYN	MYP	METAL
BIDS	BUILDING	NA	NOT APPLICABLE
BLDG	BLOCKING	NAT	NATURAL
BM	BENCH MARK	NCT	NOT IN CONTRACT
B.O.F.	BOTTOM OF FRAMING	NO	NUMBER
BOF	BOTTOM	NLS	NOT TO SCALE
BULSUP	BULB SUPPLY	QJ	QUARTER
CAB	CABINET	OC	ON CENTER
CAR	CARPET	OF	OFF CENTER
CAR.B	CARPET BASE	OFD	OVERFLOW DRAIN
C.B.	CATED BRUSH	OPEN	OPENING
C.B.C	CALIFORNIA BUILDING CODE	OPP	OPPOSITE
CER.	CERAMIC	PJ	PISTON
CL.	CAST IRON	PJF	POWER DRIVE FASTENER
CL.	CONTROL JOINT	PL	PLASTER
CLG	CEILING	PLA	PLASTER
CLK	CLIP	PLYW	PLYWOOD
CLL	CONCRETE MASONRY UNIT	PR	PAINT
COL	COLUMN	PTL	PRELUBRICATED
CONC	CONCRETE	PRN	PARTITION
CONL	CONNECTION	PO2	PO2 Y PHTL CHLORIDE
CONC	CONCRETE	QT	QUARTER
CONTR	CONTRACTOR	R	RISER
C.S.V	COVER SHEET VINY	RCR	RADIUS
DBL	DOUBLE	RAD	RADIUS
DEPT	DEPARTMENT	R.C.T	RUBBER CARPET TILE
DETA	DETAIL	R.D	ROUGH OPENING
DF	DOUGLASS FIR	RD	ROUGH OPENING
DI	DIMENSIONS	RE	REFERENCE
DIAG	DIAGONAL	REF	REFERENCE
DM	DIMENSION	REFS	REFERENCE
DISP	DISPENSER	REQD	REQUIRED
DR	DRY	RFP	REFERENCED PART
DRS	DOWNSPUT	RES	RESILIENT
DWG	DRAWING	RESL	RESILIENT
DWR	DRYER	ROM	ROOM
DWB	DOUBLE BULKHEAD AND DOUBLE POLE	R.O.	ROUGH OPENING
E	EACH	R.O.S	RUBBER TREAD & RISER RWD, REDWOOD
EA	ERKASIT FAN	R.R.	RANKING RACKS
EJ	EMERSON JOINT	R.L	RAISED
ELEC	ELECTRICAL	R.T	RELIEF TIE
ELEV	ELEVATION	S	SEE ARCHITECTURAL DRAWINGS
EMER	EMERGENCY	S.A.T	SUSPENDED ACoustical TILE
EQU	EQUIPMENT	S.C.	SOLID CORE
EQ	EQUIPMENT	S.C.S	SCHEDULE
E.W.C	ELECTRIC WATER COOLER	S.E.C.D	SEE ELECTRICAL DRAWINGS
E.W.H	ELECTRIC WATER HEATER	S.G	SEMI-GLOSS
E.X.T	EXTENDING	S.H	SHEET
EXP	EXPANSION	SHS	SHIELDING
EXPR	EXPANDED	SK	SIMILAR
EXT	EXTERIOR	S.M.	SEE INTERIOR DRAWINGS
FA	FIRE ALARM	S.D	SEE INTERIOR DRAWINGS
FAC	FACTORY FINISH	S.L	SEE LANS/CAP/DRAWINGS
FAS	FLOOR FINISH	S.LG	SEE LIGHTING DRAWINGS
FF	FINISH FLOOR	S.M.D	SEE MECHANICAL DRAWINGS
F.F	FLIGHT CLASH	S.N	SEE SANITARY PLUMBING DRAWINGS
F.D	FLOOR DRAIN	S.P	SEE PLUMBING DRAWINGS
FE	FIRE EXTINGUISHER	S.P.C.S	SEE PLUMBING DRAWINGS
FIN	FINISH	SG	SQUARE
FK	FURRING	S.S	SEE STRUCTURAL DRAWINGS
FL	FLOOR	S.SK	SEE STRUCTURAL DRAWINGS
FLA	FLASHING	ST	STIFF
FLD	FLOOR DRAIN	STD	STANDARD
FLDR	FLOOR DRAIN	STL	STEEL
FLU	FLUORESCENT	STRT	STRUCTURAL
FO	FACE OF JOIST	SUSP	SUSPENDED
F0B	FACE OF BLOCK	S.V	SHEET VENTS
F0F	FACE OF FINISH	S.W.P	SHIELD AND POLE
F0S	FACE OF STUD	T	TREAD
F0W	FACE OF WALL	TC	TOP OF CURB
FRAG	FRAMING	TEL	TELEPHONE
FRXC	FIBROCEMENT PANEL	TEMP	TEMPERED
FS	FLOOR FINISH	TEMPD	TEMPERED GLASS
FSL	FIRE SPRINKLER RISER	TAG	TONGUE & GROOVE
FT	FOOT	TH	THICK
FEL	FLOOR ELEVATION	T.O.	TOP OF
FURK	FURRING	T.O.P	TOP OF MASONRY
GA.	GAUGE	T.O.S	TOP OF SHEATHING
GAL	GALLON	T.O.S	TOP OF SHEATHING
GAV	GAUZHANZED	T.P	TOILET PAPER DISPENSER
GB	GRAIN BASK	TP	TOP OF PLATE
GL	GLASS	TR	TRANSOM
GULLAM	GULF LAMINATED BEAM	TS	TOP SET RUBBER BASE
GR	GRASS	TS.S	TOP OF SHEATHING
G.B.M	GALVANIZED SHEET METAL GRAVITY	TS.S	TOP OF SHEATHING
GV	VENT	TS.S	TOP OF SHEATHING
G.W.B.	Gypsum WALL BOARD	TOW	TOP OF WALL
GYP	GYP	TYF	TYPE
H.	HARDENER	UG	UNDERGROUND
H.B	HOUSE BUB	UN.O	UNLESS NOTED OTHERWISE
H.B.P	HARDWOOD FINISH	VAK	VANES
H.C	HOLLOW CORE	VANS	VANISH
HOF	HEAD OF FINISH	V.C.T	VINYL COMPOSITION TILE
HOR	HEADER	VER	VERTICAL
HORR	HOLLOW METAL	V.G.	VERTICAL DRAIN
H.M	HOLLOW METAL	V.H	VENT THROUGH ROOF
HORIZ	HORIZONTAL	V.I.F	VENT THROUGH ROOF
H	HEIGHT	V.I.F	VENT THROUGH ROOF
IBC	INTERNATIONAL BUILDING CODE	V.W.C	VINYL WALL COVERING
ID	INDEX DIMENSION	W	WITH
INFO	INFORMATION	W.C	WATER CLOSET
INFG	INFORMATION	WO	WOOD
INSL	INSULATION	WH	WATER HEATER
INT	INTERIOR	WR	WATERPROOF
INV	INVERT	WR	WATERPROOF
JNT	JOINT	WT	WEIGHT
JST	JOIST	WWF	WELDED WIRE FABRIC
LAC	LACQUER		
LAM	LAMINATE		
LAW	LAWN		
LAG	LARGE		

### GENERAL NOTES

- CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY AND FOR COMPLIANCE WITH OSHA SAFETY STANDARDS. ARO HEIGHTS AND THEIR CONSULTANTS, JOB SITE OBSERVERS AND ARE NOT INTENDING TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES.
- CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL SPECIFIED PRODUCTS RELATING TO THEIR WORK. THEY ARE TO SUBMIT WITH DIRECTIONS PRIOR TO BIDDING. IF THE CONTRACTOR HAS AN OBJECTION TO ANY PRODUCT AND/OR DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. THE ARCHITECT AND THE DEVELOPER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND/OF ALL WORK THAT AREA UNTIL SUCH DISCREPANCIES ARE RESOLVED.
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE INTERNATIONAL CONFERENCE OF BUILDING CODES, INTERNATIONAL CONFERENCE OF PLUMBING CODES, NATIONAL ELECTRICAL CODE AND ALL OTHER APPLICABLE STATE, LOCAL, AND REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSIDERED AS TO PREVENT WORK WHICH IS NOT CONFORMANT TO THE PROVISIONS OF THIS CODE.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION.
- THE DISCHARGE OF WASTE WATER GENERATED DURING CONSTRUCTION TO THE STORM DRAIN IS PROHIBITED. THIS INCLUDES WASTEWATER FROM PAINTING, SAW CUTTING CONCRETE WORK, ETC. THE CONTRACTOR MUST MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM. IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT APPLICABLE LOCAL ORDINANCES FOR UTILITY SERVICES.
- DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF FRAMING OR CONCRETE.
- ALL OPEN JOINTS ON THE EXTERIOR OF THE BUILDING MUST BE SEALED, CALKED, GASKETED OR WEATHER STOPPED TO LIMIT AIR LEAKAGE.
- AUTOMATIC TEMPERATURE CONTROL DEVICES FOR REGULATION OF SPACE TEMPERATURE SHALL BE CAPABLE OF BEING SET FROM 1 TO 37.5°C AND HAVE THE ABILITY TO OPERATE IN HEATING AND COOLING AND RANGE 1°F TO 10°F BETWEEN FULL COOLING AND HAVE THE CAPABILITY OF TEMPERING ALL HEATING AT A TEMPERATURE NO MORE THAN 7°F, AND COOLING TEMPERATURE NOT LESS THAN 72°F.
- ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER STRIPPED TYPE.
- INSULATION FLAME SPREAD RATING SHALL NOT EXCEED 25. SMOKE DENSITY SHALL NOT EXCEED 450.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND ARCHITECTS ATTENTION IMMEDIATELY.
- ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO BEING USED FOR BUILDING PERMIT.
- ALL OR EQUIVALENT SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.
- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.
- STREET ADDRESS AND NUMBER SHALL BE POSTED PRIOR TO THE FIRST INSPECTION. ADDRESS NUMBERS SHALL BE A MINIMUM OF 8 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/8 INCHES PER CBC 501.12.
- PROVIDE TEMPORARY STREET SIGNAGE. LARGE BOLD TYPE NOTE THAT TEMPORARY STREET SIGNS ARE REQUIRED TO BE INSTALLED PRIOR TO CALLING FOR AN INSPECTION. NOTE THAT THE SIGN BACKING MATERIAL IS REQUIRED TO BE 1/2" HIGH WITH REFLECTED MATERIAL. THE STREET NAME SHALL BE IN BLACK LETTERS 4" IN HEIGHT AND THE BLOCK NUMBERING SHALL BE 2" IN HEIGHT IN BLACK. THE BOTTOM OF THE STREET SIGN SHALL BE 9' 4" MIN FROM GRADE. VERIFY WITH LOCAL JURISDICTION STANDARDS.
- A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION (CBC 3 209.1)
- PROJECTS LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR ELEVATION OF NOT LESS THAN 1" ABOVE THE 100 YEAR FLOOD LEVEL PER GOVERNING JURISDICTION.
- CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS HAVE BEEN AMENDED BY THE DESIGNER AND SUBMITTED TO THE REQUIRED JURISDICTION FOR REVIEW AND APPROVAL.

### PROJECT DESCRIPTION

THIS PROJECT PROPOSES A ROOF COVERING TO THE EXISTING PATIO CURRENTLY OCCUPIED BY SUTTER STREET STEAKHOUSE. THIS COVERING WILL ALLOW THE SPACE TO BE OCCUPIED MORE OFTEN THROUGHOUT THE YEAR. PROVIDE SHADE FOR THE WASHMACHINE AND CHAIRS FROM THE RAIN DURING WET MONTHS. THIS IS NO PROPOSED CHANGE TO THE BUILDING SQUARE FOOTAGE, OCCUPANCY CLASSIFICATION, NUMBER OF OCCUPANTS OR EXITING.

### BUILDING DATA

LEGAL JURISDICTION:	CITY OF FOLSOM, CALIFORNIA
ACCESSORS PARCEL #:	070-0081-015
GOVERNING CODES:	CALIFORNIA BUILDING CODE 2022 OMC CALIFORNIA MECHANICAL CODE 2022 OMC CALIFORNIA ELECTRICAL CODE 2022 DEC CALIFORNIA PLUMBING CODE 2022 OMC CALIFORNIA FIRE CODE 2022 OMC CALIFORNIA GREEN BUILDING STANDARDS 2022 OMBRC CALIFORNIA ENERGY CODE 2022 OMC ALL APPLICABLE STATE AND LOCAL CODES
CHAPTER 5 OCCUPANCY GROUPS:	2-STORES OF OFFICE (B) OVER HISTORY OF RETAIL (M) AND RESTAURANT (A-3) OVER 2-STORES OF PARKING GARAGE (P-3)
CHAPTER 5 BUILDING HEIGHT:	49 FEET
CHAPTER 5 BUILDING STORIES:	4 STORES WITH BASMENT
CHAPTER 5 BUILDING AREA:	58,321 SF.
CHAPTER 5 OCCUPANCY SEPARATION:	3-HOUR FIRE SEPARATION BETWEEN 5-A & 3 OCCUPANCIES.
CHAPTER 6 TYPE OF CONSTRUCTION:	BELOW 5-HOUR FIRE SEPARATION TYPE I ABOVE 5-HOUR FIRE SEPARATION TYPE I-A
CHAPTER 6 SPRINKLER SYSTEM:	NFPA 13 AUTOMATIC SPRINKLERS THROUGHOUT

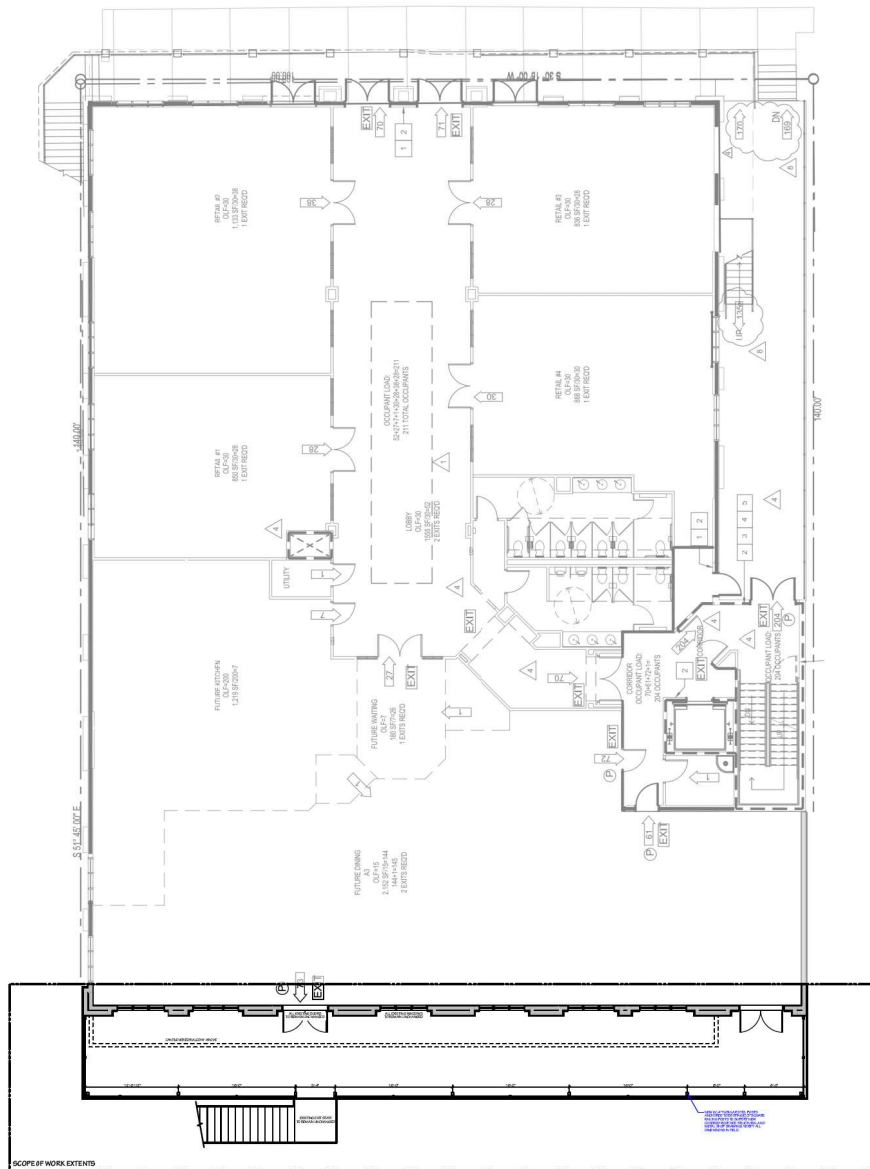
\* INFORMATION BASED FROM PREVIOUSLY APPROVED DRAWINGS AND COINCIDENT WITH THE CITY.

### VICINITY MAP



### SYMBOL LEGEND

- KEY NOTE SYMBOL
- KEY NOTE SYMBOL, (CLOUD KEY NOTE)
- BUILDING SECTION: SECTION IDENTIFICATION SHEET WHERE SECTION OCCURS
- DETAIL IDENTIFICATION SHEET WHERE DETAIL OCCURS
- GRID LINE
- BUILDING ELEVATION
- WINDOW TAG
- DOOR TAG DOOR NUMBER
- ROOM TAG ROOM NAME ROOM NUMBER
- LEVEL TAG LEVEL NAME LEVEL HEIGHT ABOVE SLAB
- WALL TYPE TAG



**EXISTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"



4944 WINDPLAY DRIVE, #116  
EL SOBOCO HILLS, CA 95762  
PH: 916.343.3737

©2022 Studio 01 International, Inc.

JOB NAME:

**SUTTER STREET  
STEAKHOUSE  
PATIO COVER**  
604 SUTTER STREET  
FOLSOM, CA 95630

SHEET CONTENT:  
**EXISTING FLOOR  
PLAN**

SCALE: PER DRAWING

DATE: MAY 14, 2024

REVISIONS:

FILE: SUTTER STEAKHOUSE

SHEET NO.:

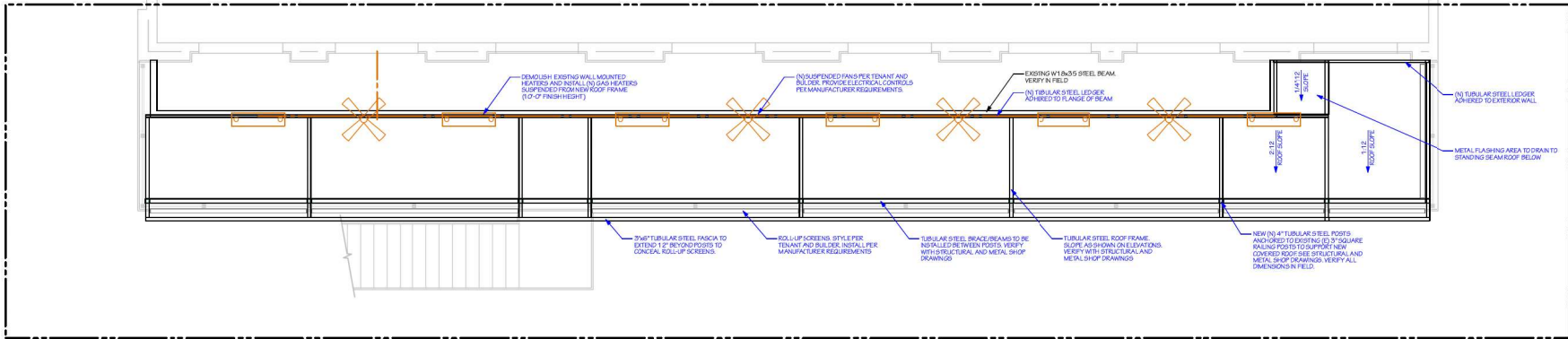
**A1.01**



4844 WINDPLAY DRIVE, #116  
EL DORADO HILLS, CA 95762  
PH: 916.343.3737

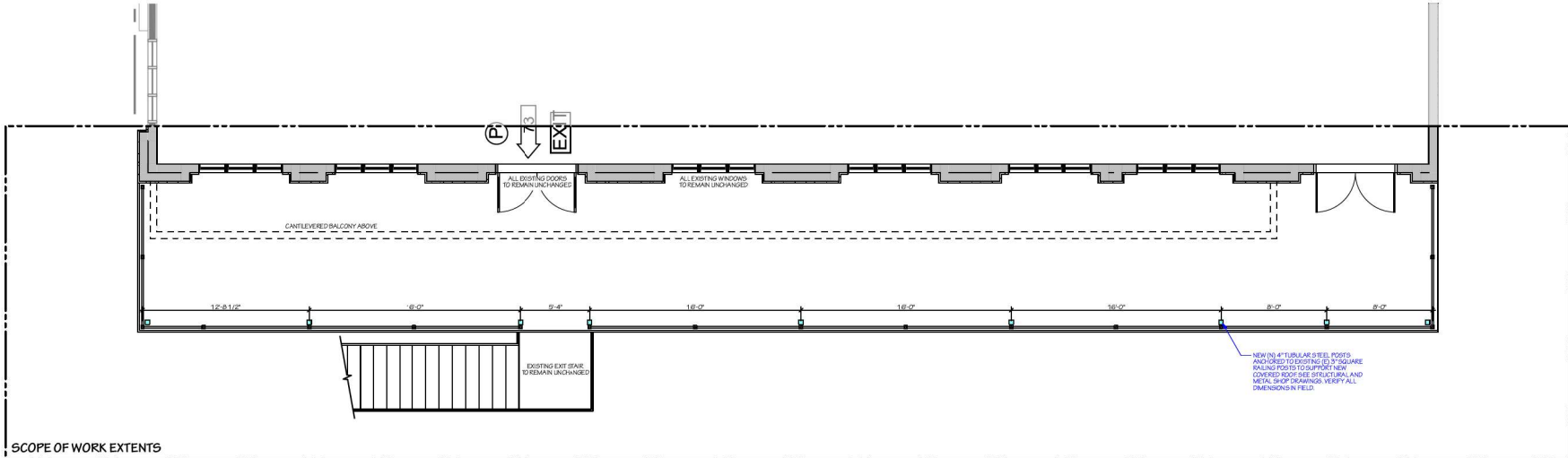
©2022 Studio 01 International, Inc.

JOB NAME:  
**SUTTER STREET STEAKHOUSE PATIO COVER**  
604 SUTTER STREET  
FOLSOM, CA 95630



**REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"



**PROPOSED FLOOR PLAN**

SCALE: 1/4" = 1'-0"

SHEET CONTENT:

**PROPOSED FLOOR PLAN**

SCALE: PER DRAWING

DATE: MAY 14, 2024

REVISIONS:

FILE: SUTTER STEAKHOUSE

SHEET NO.:

**A1.02**



4944 WINDPLAY DRIVE, #116  
EL DORADO HILLS, CA 95762  
PH: 916.343.3737

©2022 Studio 01 International, Inc.

JOB NAME:

**SUTTER STREET  
STEAKHOUSE  
PATIO COVER**  
604 SUTTER STREET  
FOLSOM, CA 95630

SHEET CONTENT:  
**EXTERIOR  
ELEVATIONS**

SCALE: PER DRAWING

DATE: MAY 14, 2024

REVISIONS:

FILE: SUTTER STEAKHOUSE

SHEET NO.:

**A2.01**



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"





4944 WINDPLAY DRIVE, #116  
EL DORADO HILLS, CA 95762  
PH: 916.343.3737

©2022 Studio 01 International, Inc.

JOB NAME:  
**SUTTER STREET STEAKHOUSE PATIO COVER**  
604 SUTTER STREET  
FOLSOM, CA 95630

SHEET CONTENT:  
**EXTERIOR ELEVATIONS & DETAILS**

SCALE: PER DRAWING

DATE: MAY 14, 2024

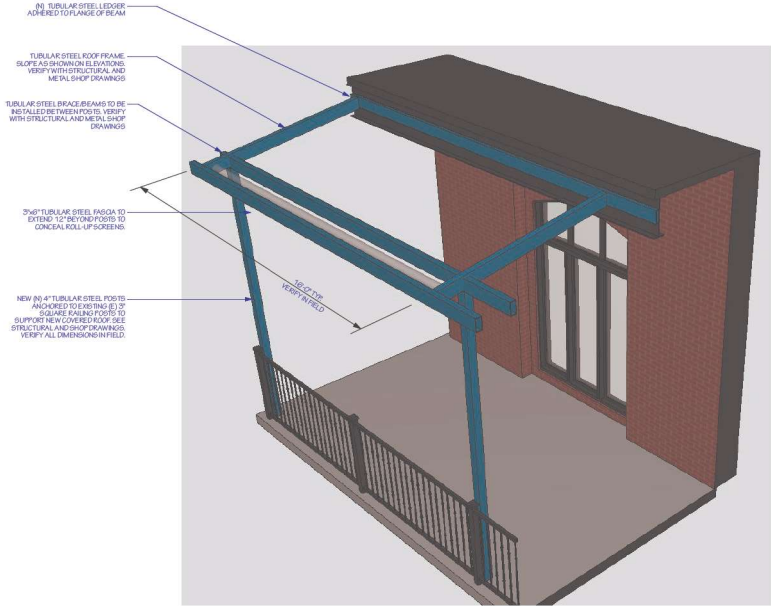
REVISIONS:

FILE: SUTTER STEAKHOUSE

SHEET NO.:

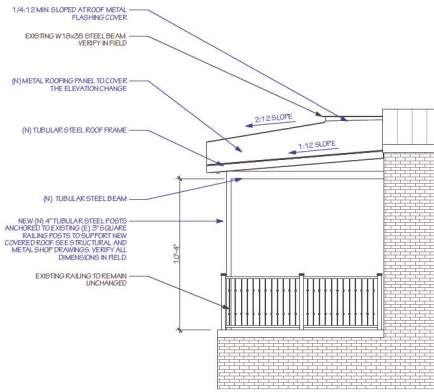
**A2.02**

NOTE: BLUE ELEMENT IN DRAWING REPRESENT NEW (N) CONSTRUCTION ELEMENTS ALL FINISHED TO BE POWDER COATED BLACK TO MATCH EXISTING



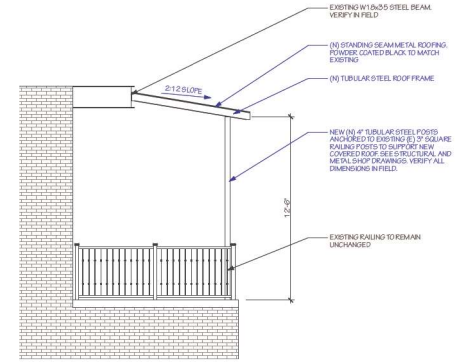
- (N) TUBULAR STEEL LEDGER ADHERED TO FLANGE OF BEAM
- TUBULAR STEEL ROOF FRAME SLOPE AS SHOWN ON ELEVATIONS. VERIFY WITH STRUCTURAL AND METAL SHOP DRAWINGS
- TUBULAR STEEL BRACE BEAMS TO BE INSTALLED BETWEEN POSTS. VERIFY WITH STRUCTURAL AND METAL SHOP DRAWINGS
- 3"x6" TUBULAR STEEL FASCOA TO EXTEND 12" BEYOND POSTS TO CONCEAL ROLL-UP SCREENS
- NEW (N) 4" TUBULAR STEEL POSTS ANCHORED TO EXISTING (E) 3" SQUARE RAILING POSTS TO SUPPORT NEW COVERED ROOF. SEE STRUCTURAL AND SHOP DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD.

**TYPICAL ISOMETRIC**



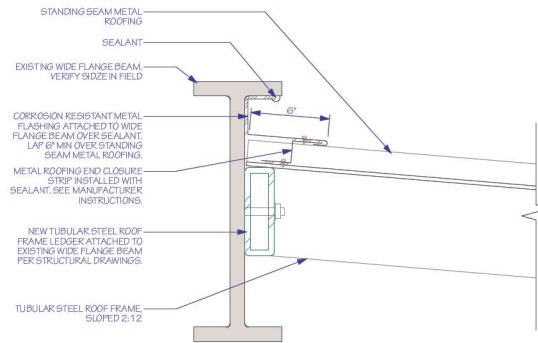
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

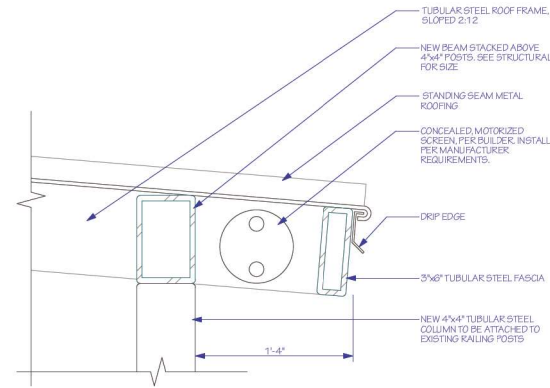


**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**ATTACHMENT & FLASHING DETAIL**



**ROOF EDGE DETAIL**

**ENGINEERING AND LOADING DATA**

<b>Roof Material Weights (D)</b>		<b>Floor Material Weights (D)</b>		<b>Wind Loads ASCE 7-16</b>	
Roofing	= 3.0 psf	Sheathing	= 2.5 psf	Basic Wind Speed	= 95 mph (V ultimate)
Sheathing	= 0.0 psf	Framing	= 3.0 psf	Exposure Category	= C
Framing	= 5.0 psf	Insulation	= 3.5 psf	Risk Category	= II
Insulation	= 0.0 psf	Ceiling	= 3.5 psf	$\lambda$	= 1.21
Ceiling	= 0.0 psf	Decking Material	= 2.0 psf	$K_r$	= 1.00
PV Panels	= 0.0 psf	Deck Soffit	= 0.0 psf		
Misc.	= 1.0 psf	Misc.	= 2.5 psf	$P_s = \lambda K_r P_{s0}$	(28.5-1)
Wall (Seismic only)	= 5.0 psf	Wall (Seismic only)	= 10.0 psf		
<b>Soil information</b>					
2022 CBC Code Minimum					
<b>Roof Loading (psf)</b>		<b>Floor Loading (psf)</b>		<b>Report Number</b>	
Roof Live Load (L <sub>r</sub> )	= 20.0 psf	Floor Live Load (L)	= 40.0 psf	Date	
Roof Snow Load (S)	= 0.0 psf	Floor Dead Load (D)	= 10.0 psf		
Roof Dead Load (D)	= 9.0 psf	Floor Ceiling Dead Load (D)	= 5.0 psf		
Ceiling Live Load (L)	= 0.0 psf	<b>Deck Loading (psf)</b>			
Ceiling Dead Load (D)	= 0.0 psf	Deck Live Load (L)	= 60.0 psf	Footing Depth	= 12 in
<i>Ceiling live load non-concurrent with roof live loads</i>		Deck Dead Load (D)	= 10.0 psf	Footing Width	= 12 in
Deck Soffit Dead Load (D)	= 0.0 psf				
<b>Snow Loading (psf)</b>		<b>Seismic Dead Load Roofs</b>		<b>Soil Bearing Pressure Fig</b> 1500 psf	
Ground Snow Load	= 0 psf	Roof Level Seismic (D)	= 14.0 psf		
Flat Roof Snow Load	= 0 psf	<b>Seismic Dead Load Floors</b>			
Sloped Roof Snow Load	= 0 psf	Floor Level Seismic (D) = 25.0 psf			
Exposure Factor	= 1.00				
Thermal Factor	= 1.10				
Importance Factor	= 1.00				
Roof Slope Factor	= 1.00				
<b>Seismic Loads ASCE 7-16</b>					
Site Classification	= D	ASCE 7-16 Section 11.4.3			
Risk Category	= II	ASCE 7-16 Table 1.5-1			
Seismic Design Category	= C	ASCE 7-16 Section 11.6			
Importance Factor	= 1	ASCE 7-16 Section 11.5			
Response Modification Factor	R = 3.500	ASCE 7-16 Table 12.2-1 Bearing wall System #15			
System Overstrength Factor	$\Omega_o$ = 2.500	ASCE 7-16 Table 12.2-1 Bearing wall System #15			
Deflection Amplification Factor	$C_d$ = 4.000	ASCE 7-16 Table 12.2-1 Bearing wall System #15			
Rho Factor ( $\rho$ )	$\rho$ = 1.000	ASCE 7-16 Section 12.3.4 Reliability Redundancy Factor			
Spectral Response Short Period	$S_s$ = 0.415	ASCE 7-16 Chapter 22 ASCE 7 Hazard Report			
Spectral Response Long Period	$S_L$ = 0.213	ASCE 7-16 Chapter 22 ASCE 7 Hazard Report			
Approximate Fundamental Period (T = T <sub>a</sub> )	T <sub>a</sub> = 0.152	ASCE 7-16 Section 11.4.6			
Long Period	T <sub>L</sub> = 12.000	ASCE 7-16 Figure 22-14 to 22-17 ASCE 7 Hazard Report			
T <sub>0</sub> = 0.20 (S <sub>01</sub> / S <sub>05</sub> )	T <sub>0</sub> = 0.152	ASCE 7-16 Section 11.4.6			
T <sub>s</sub> = (S <sub>01</sub> / S <sub>05</sub> )	T <sub>s</sub> = 0.760	ASCE 7-16 Section 11.4.6			
Spectral Response Accelerations Short	S <sub>MS</sub> = 0.609	ASCE 7-16 Section 11.4.4 Site Coefficients M <sub>Ct</sub>			
Spectral Response Accelerations Long	S <sub>ML</sub> = 0.463	ASCE 7-16 Section 11.4.4 Site Coefficients M <sub>Ct</sub>			
Spectral Response Short Period	S <sub>05</sub> = 0.406	ASCE 7-16 Section 11.4.5 Design Spectral Acceleration			
Spectral Response Long Period	S <sub>01</sub> = 0.309	ASCE 7-16 Section 11.4.5 Design Spectral Acceleration			
Seismic Response Coefficient	C <sub>s</sub> = 0.116	ASCE 7-16 Eq. 12.8-2 Seismic Response Coefficient			
Maximum Seismic Response Coefficient	C <sub>s,max</sub> = 0.579	ASCE 7-16 Eq. 12.8-3 Maximum			
Minimum Seismic Response Coefficient	C <sub>s,min</sub> = 0.018	ASCE 7-16 Eq. 12.8-5 or 12.8-6 Minimum			

**V = 0.116 W**

**SPECIAL INSPECTION AND STRUCTURAL OBSERVATION PROGRAM 2022 CBC CHAPTER**

- STRUCTURAL STEEL**
- STEEL WORK SHALL BE NEW AND CONFORM TO THE AISC SPECIFICATION FOR STRUCTURAL STEEL. ALL ALLOWABLE STRESS DESIGN AND LOAD AND RESISTANCE FACTOR DESIGN AS PUBLISHED IN THE AISC STEEL CONSTRUCTION MANUAL.
  - MATERIAL SHALL CONFORM TO THE FOLLOWING, EXCEPT AS NOTED:  
 WIPR PL, ANGLE SHAPES, CHANNELS, SHEETS AND PLATES: AISC 360 KSI or ASTM A572 GRADE 50  
 STRUCTURAL BOLTS: ASTM A325  
 HIGH STRENGTH BOLTS: ASTM A325  
 HIGH STRENGTH NUTS: ASTM A325  
 HIGH STRENGTH WASHERS: ASTM A325  
 ANCHOR BOLTS: ASTM A325 OR 305-305 KSI  
 GALVANIZED STEEL ANCHORS: ASTM A108 (60-60 KSI)  
 FAST OFF-TENSION CONTROL BOLTS: ASTM A108  
 CONCRECTIONS:  
 A. FOR ALL SHALL BE HIGH-STRENGTH BEARING TYPE TIGHTEN BY THE AISC APPROVED METHOD.  
 B. WELDED ELECTRODES SHALL BE PER AWS D1.1. RETURN FILLET WELDS FOR FRAMED CONNECTIONS IS AT EACH END.  
 C. ALL STRUCTURAL STEEL EXPOSED TO EXTERIOR CONDITIONS SHALL BE HOT DIPPED GALVANIZED PER ASTM A153 AND ALL FASTENERS AND HARDWARE SHALL BE HOT DIPPED GALVANIZED PER ASTM A153.

- WELDING**
- WELDING SHALL BE DONE BY WELDERS WITH CURRENT CERTIFICATION IN ACCORDANCE WITH AWS D1.1.
  - WELDS SHOWN ON STRUCTURAL DRAWINGS ARE MINIMUM DESIGN REQUIREMENTS. THE FABRICATOR'S SHOP DRAWINGS SHALL REFLECT WELDS IN ACCORDANCE WITH AWS REQUIREMENTS.
  - JOBS OF COMPLETE JOINT PENETRATION WELDS (AKA FULL PENETRATION WELDS) SHALL BE INSPECTED BY ULTRASONIC TESTING. 25% OF THE WELDS SHALL BE INSPECTED AT RANDOM UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL GROOVE WELDS SHALL BE COMPLETE JOINT PENETRATION WELDS (AKA FULL PENETRATION WELDS).
  - PROVIDE FILLET WELDS AT CONTACT POINTS BETWEEN STEEL MEMBERS SUFFICIENT TO DEVELOP THE ALLOWABLE TENSILE STRENGTH OF THE SMALLER MEMBER AT THE JOINT UNLESS NOTED OTHERWISE ON THE DRAWINGS. THE MINIMUM FILLET WELD SIZE IS 1/8" UNLESS OTHERWISE NOTED.

2022 CBC AISC/AIA  
**N**orman  
**S**cheel  
**S**tructural  
**E**ngineer  
**Sacramento Office**  
 6222 Sunrise Blvd.  
 Fair Oaks, CA 95628  
 (916) 536-9585  
 info@nsse.com  
 35  
 Norman Scheel  
 Structural Engineer  
 Professional Engineer

**COVERED ROOF / OUTDOOR DINING**  
 604 SUTTER STREET  
 FOLSOM, CA 95630  
**SUTTER STREET STEAK HOUSE**  
 604 SUTTER STREET  
 FOLSOM, CA 95630

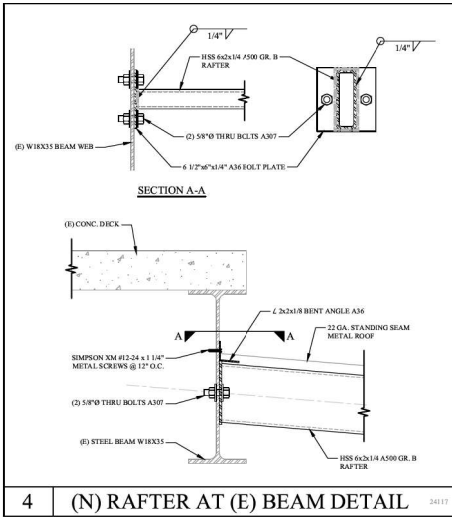
PROJ MGR.: RC  
 ENGINEER: NS  
 DRAWN BY: KT  
 CHECKED BY: RC

ISSUE DATE: 4/11/2024

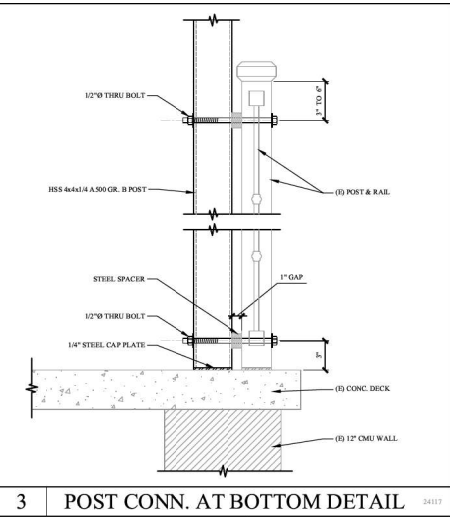
**REVISIONS:**



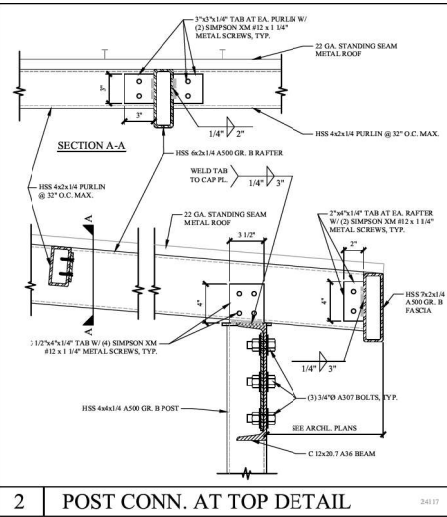

5/14/2024  
 SHEET  
**SC-1**  
 COVER SHEET  
 JOB NO. 24117



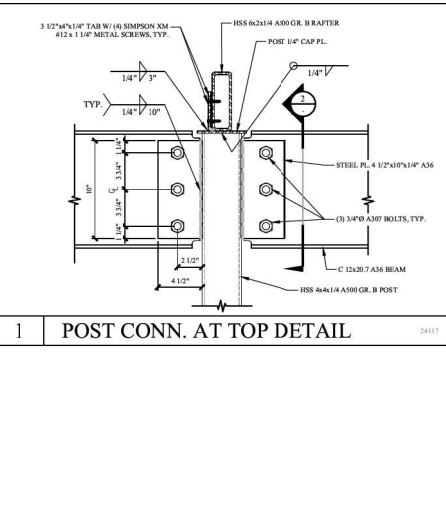
4 (N) RAFTER AT (E) BEAM DETAIL 24117



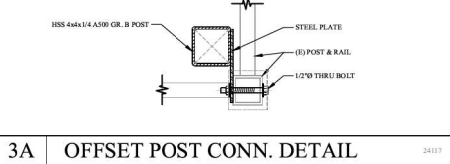
3 POST CONN. AT BOTTOM DETAIL 24117



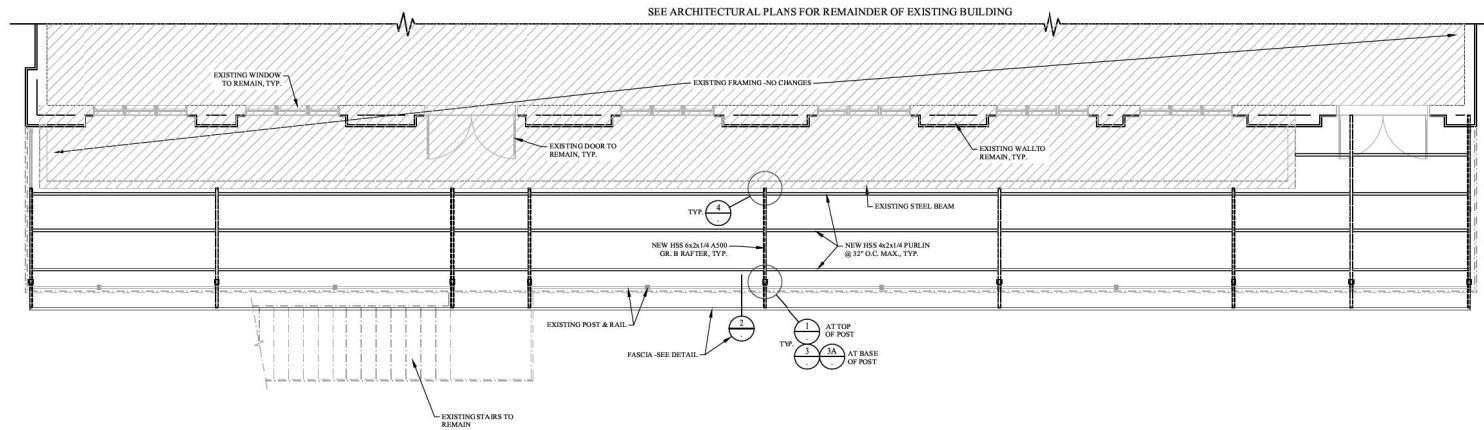
2 POST CONN. AT TOP DETAIL 24117



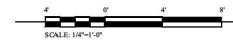
1 POST CONN. AT TOP DETAIL 24117



3A OFFSET POST CONN. DETAIL 24117



PARTIAL ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



2022 CRC AutoCAD  
Norman  
Steel  
Structural  
Engineer  
Sacramento Office  
5022 Sunrise Blvd.  
Fair Oaks, CA 95628  
(916) 536-9585  
info@nsse.com  
35  
Years of  
Experience

COVERED ROOF / OUTDOOR DINING  
604 SUTTER STREET  
FOLSOM, CA 95630  
SUTTER STREET STEAK HOUSE  
604 SUTTER STREET  
FOLSOM, CA 95630

PROJ MGR.: RC  
ENGINEER: NS  
DRAWN BY: KT  
CHECKED BY: RC  
ISSUE DATE: 4/11/2024

REVISIONS:




5/14/2024  
SHEET  
S4

JOB NO. 24117



## **Attachment 6**

# **Color and Materials Board**



Roof material to be tanding seam metal. Finish will be black powervcoat. Location of materials are called out on sheet A2.01.



Tube steel frame material. To be powder coated black.

## **Attachment 7 Site Photographs**





