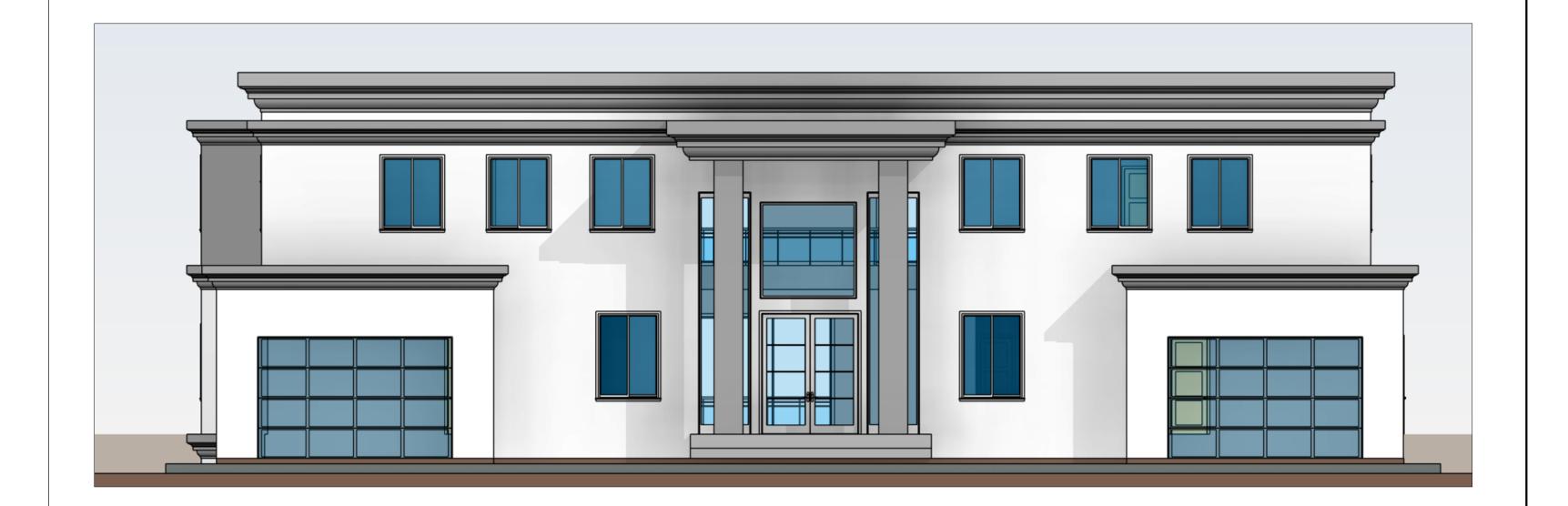
NEW RESIDENCE AT 451 TOBRURRY WAY FOLSOM, CA



PARCEL MAP

072

DRAWING INDEX

- **COVER SHEET AND GENERAL INFORMATION**
- GRADING PLAN
- PROFILE PLAN BASEMENT FLOOR PLAN
- MAIN FLOOR PLAN
- SECOND FLOOR PLAN
- **ELEVATION PLAN**
- **ELEVATION PLAN ROOF PLAN**
- BASEMENT AREA PLAN
- MAIN FLOOR AREA PLAN
- SECOND FLOOR AREA PLAN
- ELEVATIONS IN 3-D PLAN
- **ELEVATIONS IN 3-D PLAN**
- **ELEVATIONS IN 3-D PLAN**
- SITE PHOTOS

OWNER

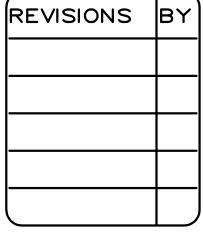
AMARJEET AND KULJIT SIDHU

451 TOBRURRY WAY FOLSOM, CA 95630

PROJECT ENGINEER

MOHAMMAD U SADIQ, P.E.

1000 BOURN DRIVE WOODLAND, CA, 95776 (530) 315-4907





VENTILATION CALCS

CALGREEN REQUIREMENTS

- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS
- 2. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)
- 3. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)
- 4. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)
- 5. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED
- 6. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3)
- 7. MINIMUM 80 % OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
- 8. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTÈMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. 4.504.5
- 9. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2)
- 10. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)

/NERS: ARJEET AND KULJIT SIDHU 451 TOBRURRY WAY FOLSOM, CA 95630

DATE JOB NO.

CONSTRUCT A SINGLE-FAMILY-DWELLING ON A VACANT LOT 2. GRADE THE LOT AS SHOWN ON SHEET C1

SCOPE OF WORK

LOCATION MAP

NATOMA

APPLICABLE CODES INCLUDES, BUT NOT LIMITED TO THE FOLLOWING:

CODES AND STANDARDS

2022 CALIFORNIA GREEN BUILDING STANDARDS 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE

2022 CALIFORNIA FIRE CODE WITH CITY AMENDMENTS TITLE 24, PART 6, CALIFORNIA ENERGY CODE

OF THE CALIFORNIA ADMINISTRATION CODE. SEE ATTACHED TITLE-24 CALCULATIONS

CONCURRENT APPROVALS

THERE ARE NO CONCURRENT APPROVALS

WRITTEN DIMENSIONS AND NOTES ON THIS SET OF PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF A DISCREPANCY IS FOUND, CONTACT THE ENGINEER BEFORE PROCEEDING WITH THE

BUILDING NOTES

SITE INFORMATION

R-1-ML (SP 95-1) - SINGLE FAMILY RESIDENTIAL -

SMALL LOT/SPECIFIC PLAN - BROADSTONE

LOT COVERAGE (%): (5,827+173+506+506+1587.5/23,898)*100 = 36.0%

DEFERRED APPROVALS

ASSESORS PARCEL NO.: 072-2740-011

FLOOR-TO-AREA RATIO (FAR):(10,130)/23,898=0.42

SITE AREA: 23,898 SF APPROX.

0.52 ACRE

THE BUILDING SHOWN ON THESE PLANS SUBSTANTIALLY CONFORM TO THE REQUIREMENTS OF THE TITLE 24 PART 2, CHAPTER 2-53, TITLE-24 SUMMARY

BUILDING INFORMATION

= 5,827 SF

= 5,303 SF

= 10,130 SF

= 173 SF

MAIN FLOOR CONDITIONED AREA

SECOND FLOOR CONDITIONED AREA

TOTAL CONDITIONED FLOOR AREA

MAIN FLOOR COVERED PORCH AREA

GARAGE 1 AREA = 506 SF GARAGE 2 AREA = 506 SF

PROPOSED NO. OF STORIES:

OCCUPANCY:

CONSTRUCTION TYPE:

MAIN FLOOR COVERED PATIO AREA = 1,587.5 SF

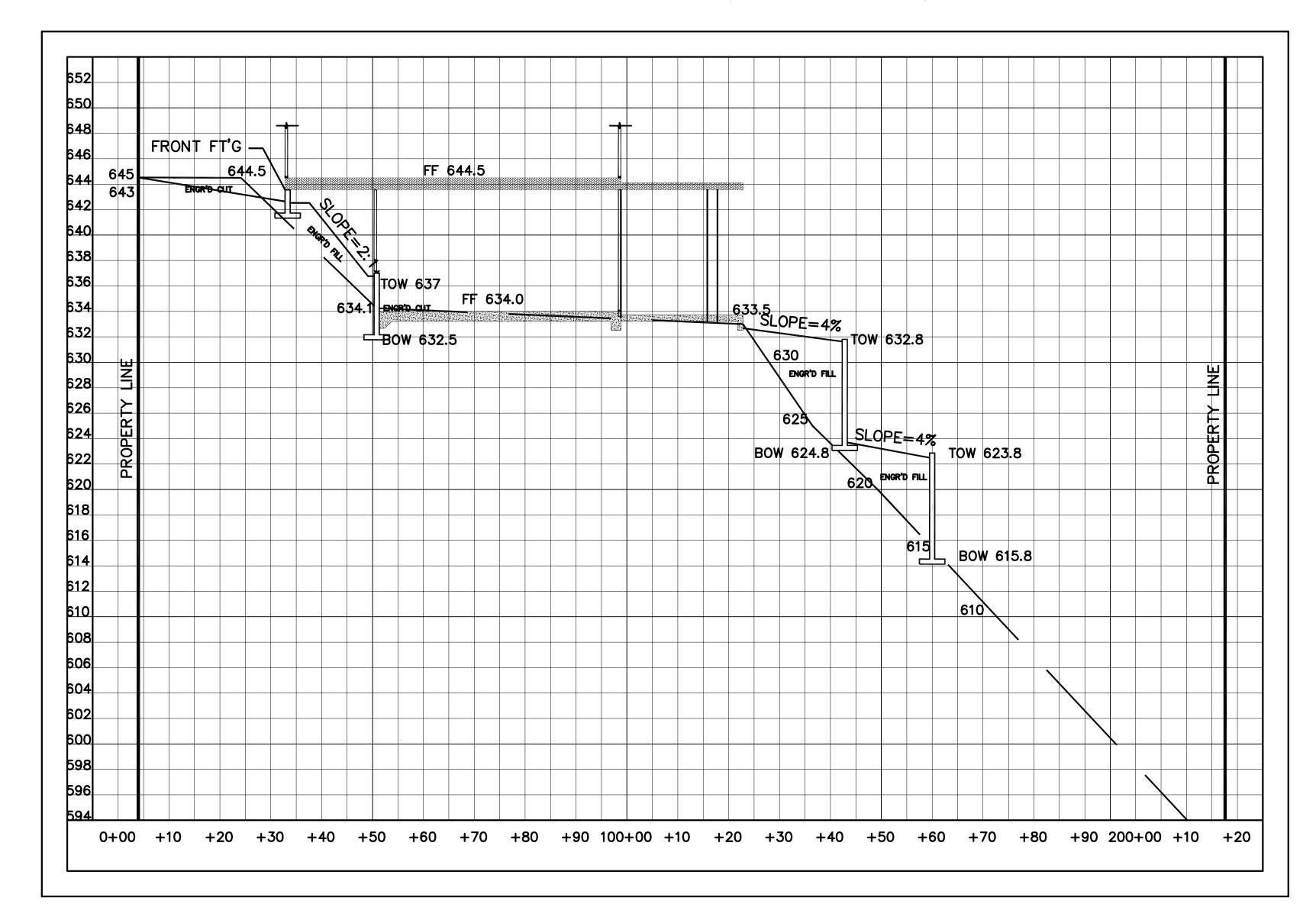
SECOND FLOOR UNCOVERED BALCONY AREA = 854 SF

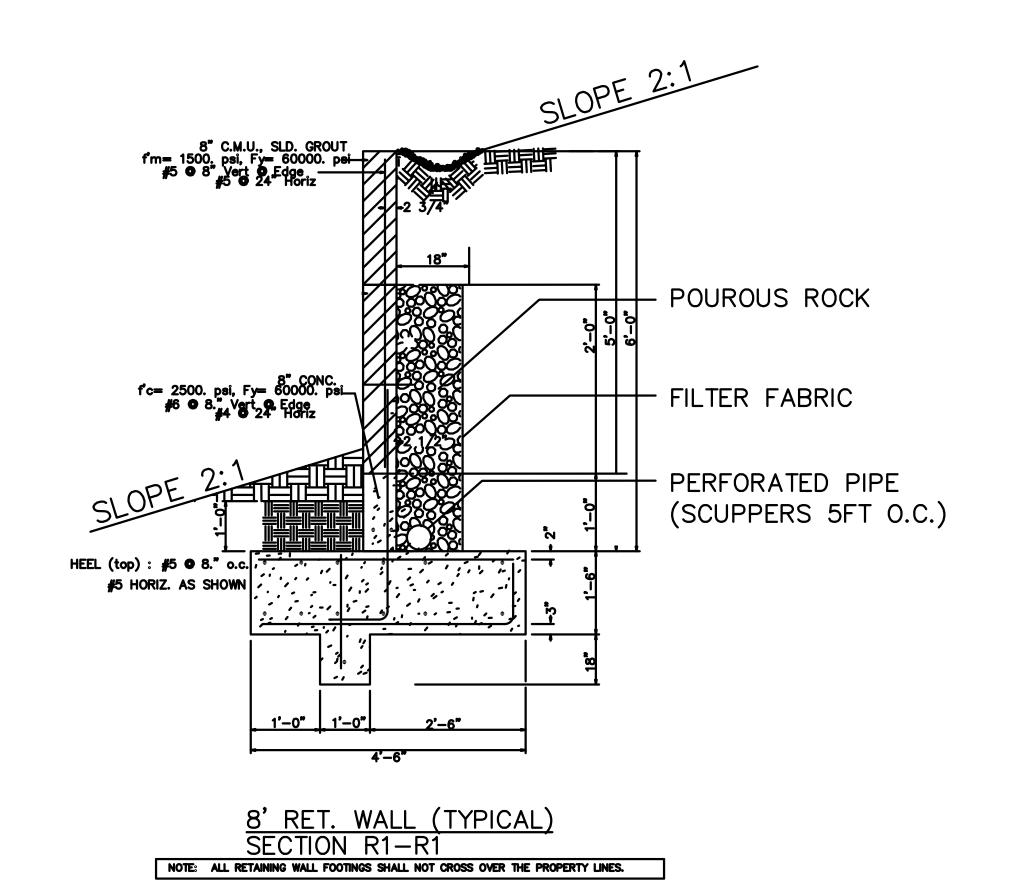
BASEMENT FLOOR COVERED PATIO AREA = 1,587.5 SF

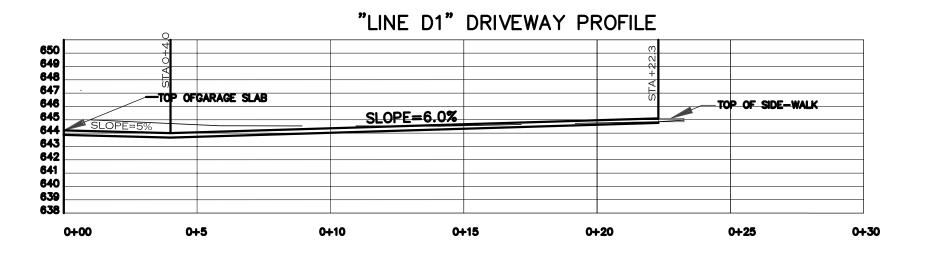
BASEMENT (UNCONDITIONED) FLOOR AREA = 2,868 SF {

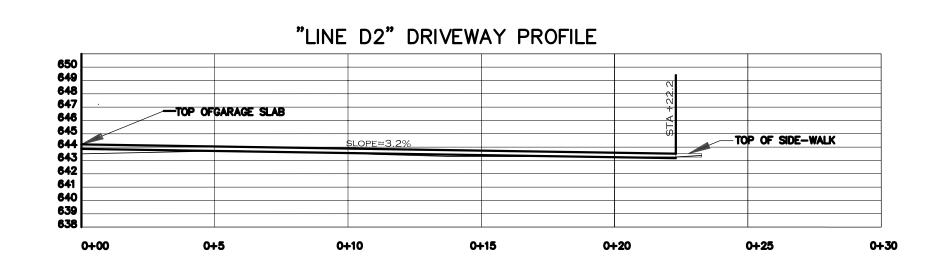
TOTAL UNCONDITIONED AREA = 4,202 SF

LOT PROFILE A-A (TYPICAL)









SCALE 1" = 10'

10 20 30 50

GRADING PLANS FOR 451 TROBRURRY WAY CITY OF FOLSOM, CAIFORNIA

FOR BENCHMARK ELEVATION:

CONTACT SACRAMENTO COUNTY

MDHAMMAD U. SADIQ, P.E.

1000 BDURN DRIVE,

WDDDLAND, CA 95776

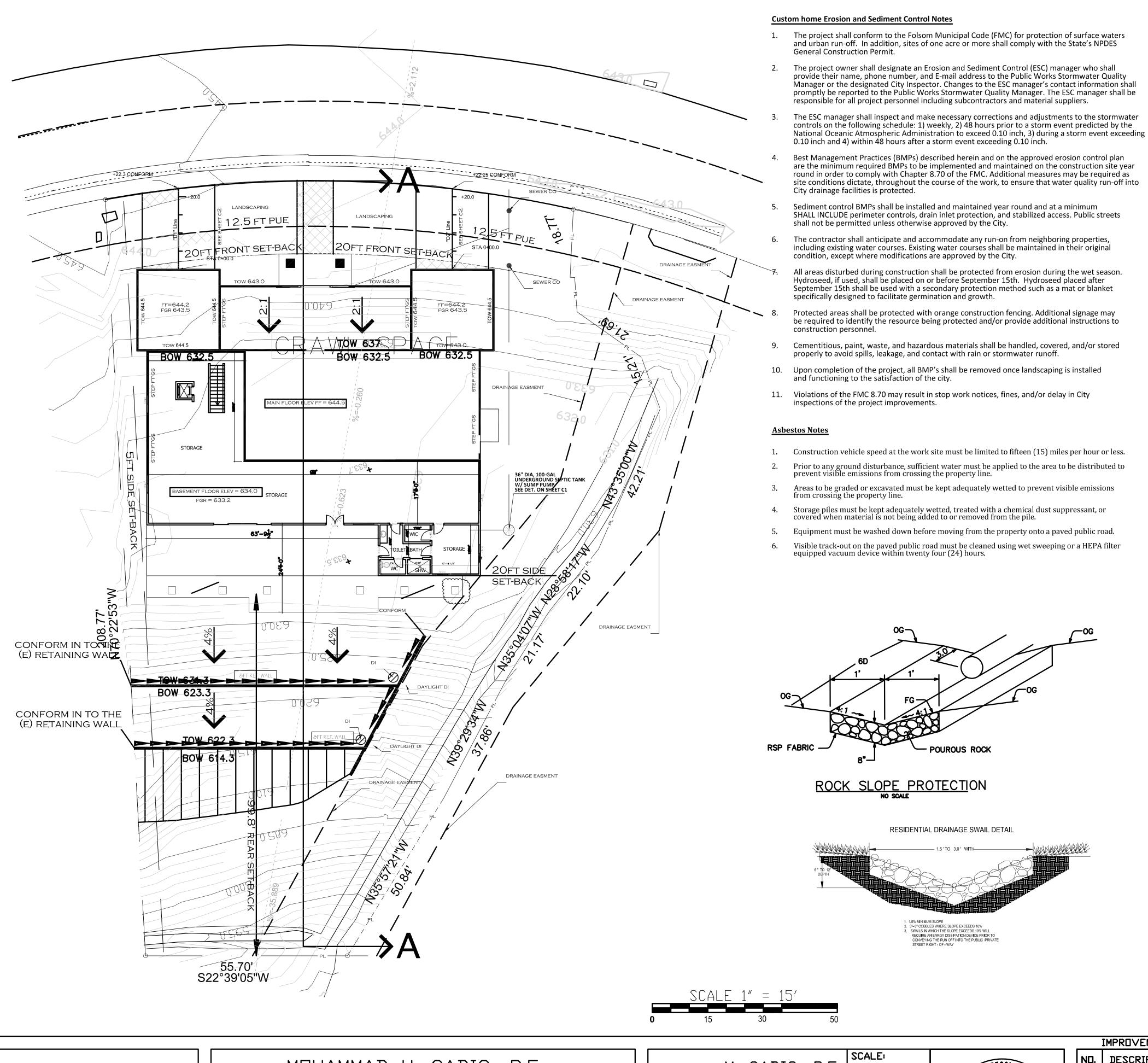
PHDNE (530) 315-4907

EMAIL: mohammad.u.sadiq@sbcglobal.net

| DESIGNED: | M. SADIQ, P.E. | SCALE | PROFESSIONAL |
|-----------|----------------|-------|---|
| DRAWN: | M. SADIQ, P.E. | SHDMN | COMMAD COMMAD COMMAND |
| CHECKED: | | | No. 67047 * Exp. 09-30-2026 * |
| SUBMITTED | R.C.E. | 67047 | OF CALIFORNIE |

| IMPROVEMENT PLAN REVISION BLOCK | | | | | | | | |
|---------------------------------|--|-----------------|-------------|--------------|-----------------|--|--|--|
| | | ND. | DESCRIPTION | ENGR INIT | COUNTY APPROVAL | | | |
| | | MD. DESCRIPTION | BY | | DATE | | | |
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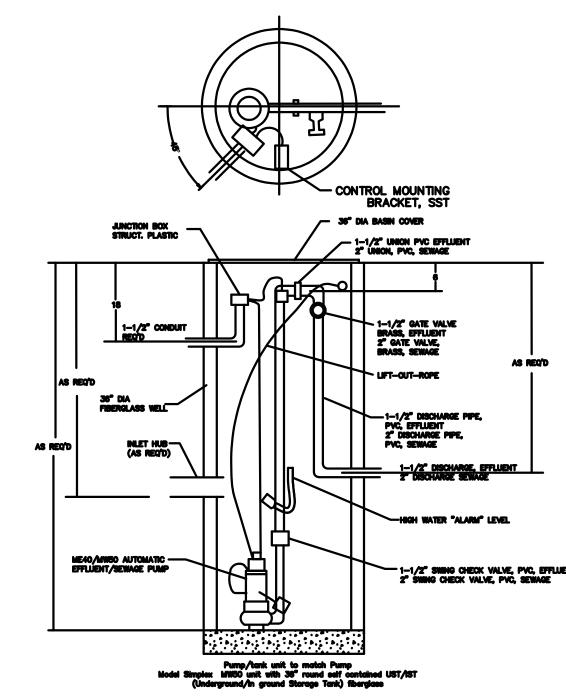
PROFILE C



An encroachment permit is required for all work to be done within public rights-of-way or easements, and for

- 2. Call Underground Service Alert (USA) at 811 or 800.642.2444, forty-eight (48) hours prior to any
- grading/excavation activity.
- The owner/contractor shall notify City of Folsom Construction Inspection Services at 916.355.7210, twentyfour (24) hours prior to commencement of any grading.
- 4. Contractor shall obtain an approved water meter from the City at the owner's expense.
- All references to "Standard Specifications" shall mean the latest edition of the City of Folsom Standard Construction Specifications and Design and Procedures Manual.
- 6. Drainage swales are to be constructed per City Standard Detail.
- 7. Clearing and grubbing shall conform to the provisions of Section 9.1 of the Standard Specifications.
- 8. All excavation, embankment, backfill, etc., shall conform to the provisions in Section 9.2, "Excavation," of the Standard Specifications.
- Custom homes and/or swimming pools shall be chalked out on the ground and all oak trees shall be fenced with high visibility fencing before the pre-site inspection is scheduled.
- 10. No work shall be done under or within the tree protection zone (TPZ) of any existing tree without a valid tree
- 11. Grading activities shall implement erosion and dust control measures at all times. Erosion control plans shall be submitted to the City of Folsom, Community Development Department for review and approval.
- There shall be no trespassing of any kind into public or private open space areas.

 All grading shall be done in accordance with the Soils Report Reference No. 89490.10 YOUNGDAHL CONSULTANTS ___, and dated ______3-14-06
- 14. All grading including compaction, excavation, placement of fill materials, etc., shall be done under the direction of a geotechnical engineer.
- 15. The owner/contractor shall provide a grading report consisting of the observations made during earthwork operations, signed and stamped by a licensed geotechnical engineer, prior to issuance of a building permit for the structure. Recommendations provided in the grading report shall be completed prior to any structural



EJECTOR PUMP DETAIL (NOT TO EXCEED 100 GAL)

EARTHWORK QUANTITIES

AGGREGATE BASE = 80 CY TOTAL FILL = 1527 CY

NOTE: ALL RETAINING WALL FOOTINGS SHALL NOT CROSS OVER THE PROPERTY LINES.

GRADING PLANS FOR 451 TROBRURRY WAY CITY OF FOLSOM, CAIFORNIA

FOR BENCHMARK ELEVATION: CONTACT SACRAMENTO COUNTY

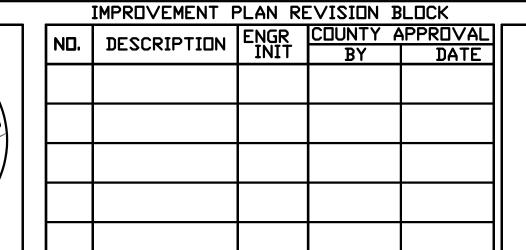
MDHAMMAD U. SADIQ, P.E. 1000 B□URN DRIVE, WOODLAND, CA 95776 PHONE (530) 315-4907 EMAIL: mohammad.u.sadiq@sbcglobal.net

DESIGNED: M. SADIQ, P.E. M. SADIQ, P.E. **DRAWN** CHECKED R.C.E. __67047

SUBMITTED:

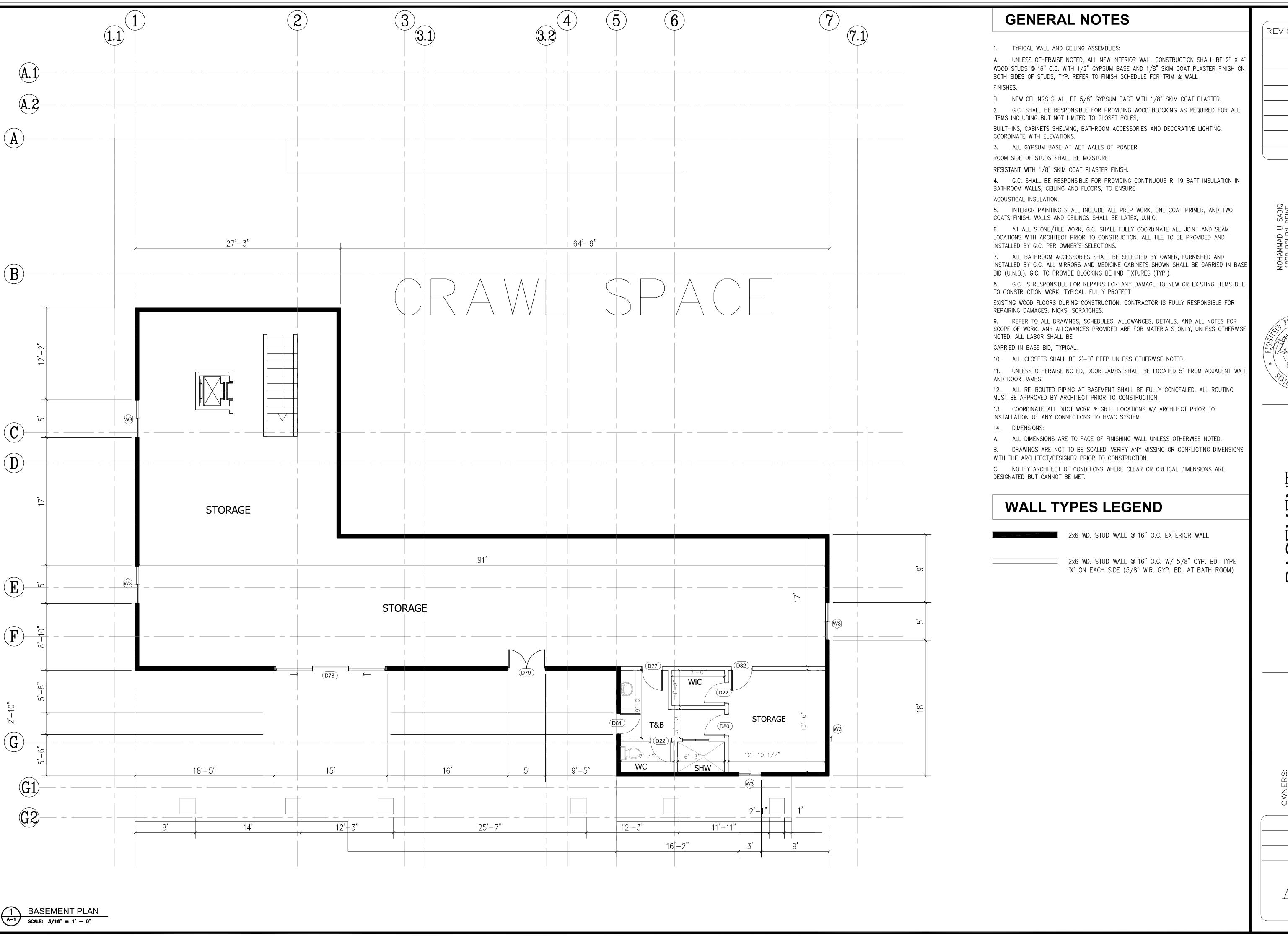


SHOWN



SITE/GRADING PLAN

SHEET



MODLAND O SADIQ 1000 BOURN DRIVE WOODLAND, CA 95776 CELL530—315—4907 - mohammad.sadiq@sbcqlobal.r

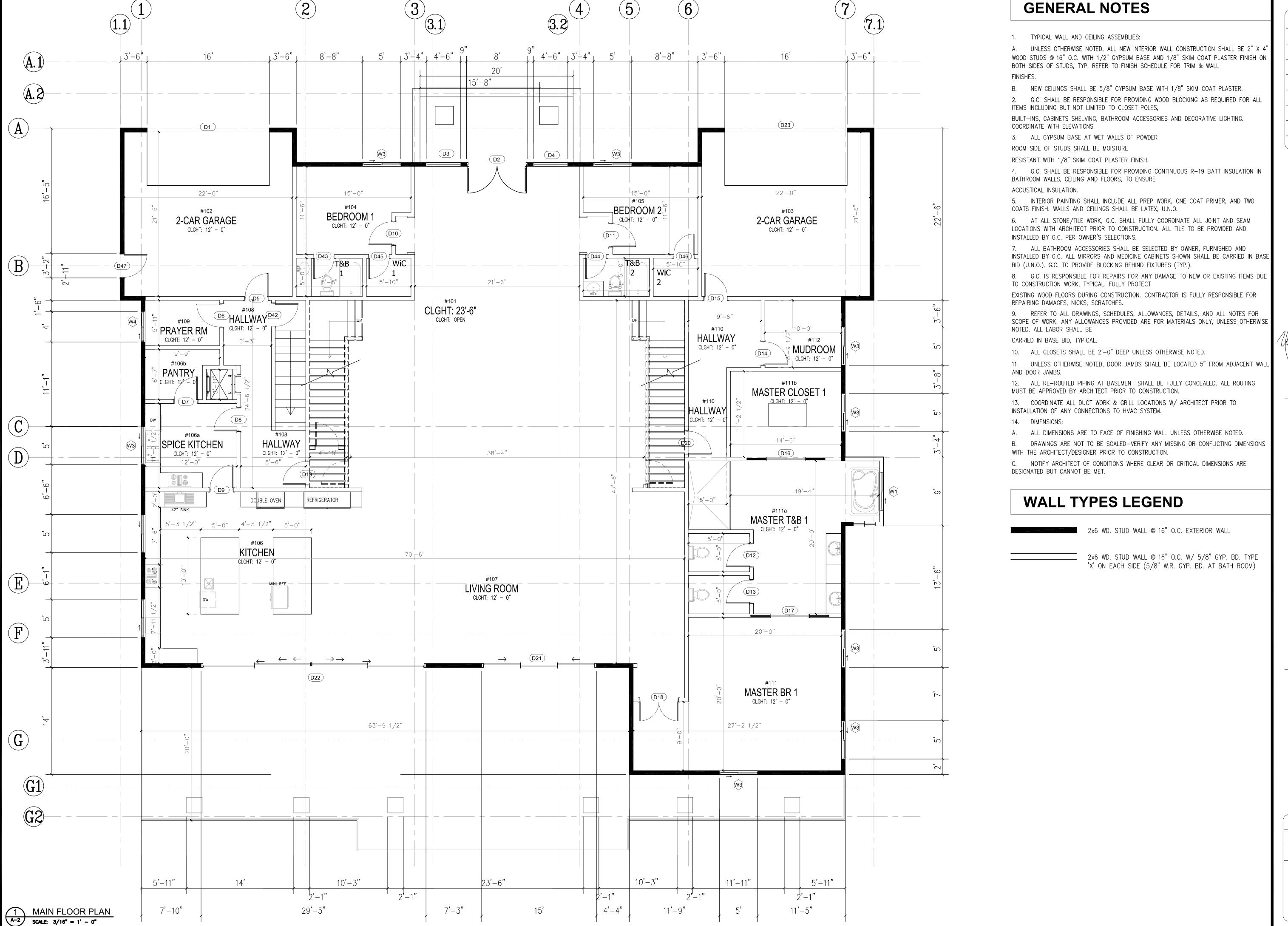
ROFESSIONAL ROFESSIONAL * No. 67047 Exp. 09-30-2026

* CIVIL

> BASEMENT FLOOR PLAN

> > OWNERS:
> > AMARJEET AND KULJIT SIDHU
> > 451 TOBRURRY WAY
> > FOLSOM, CA 95630

DATE



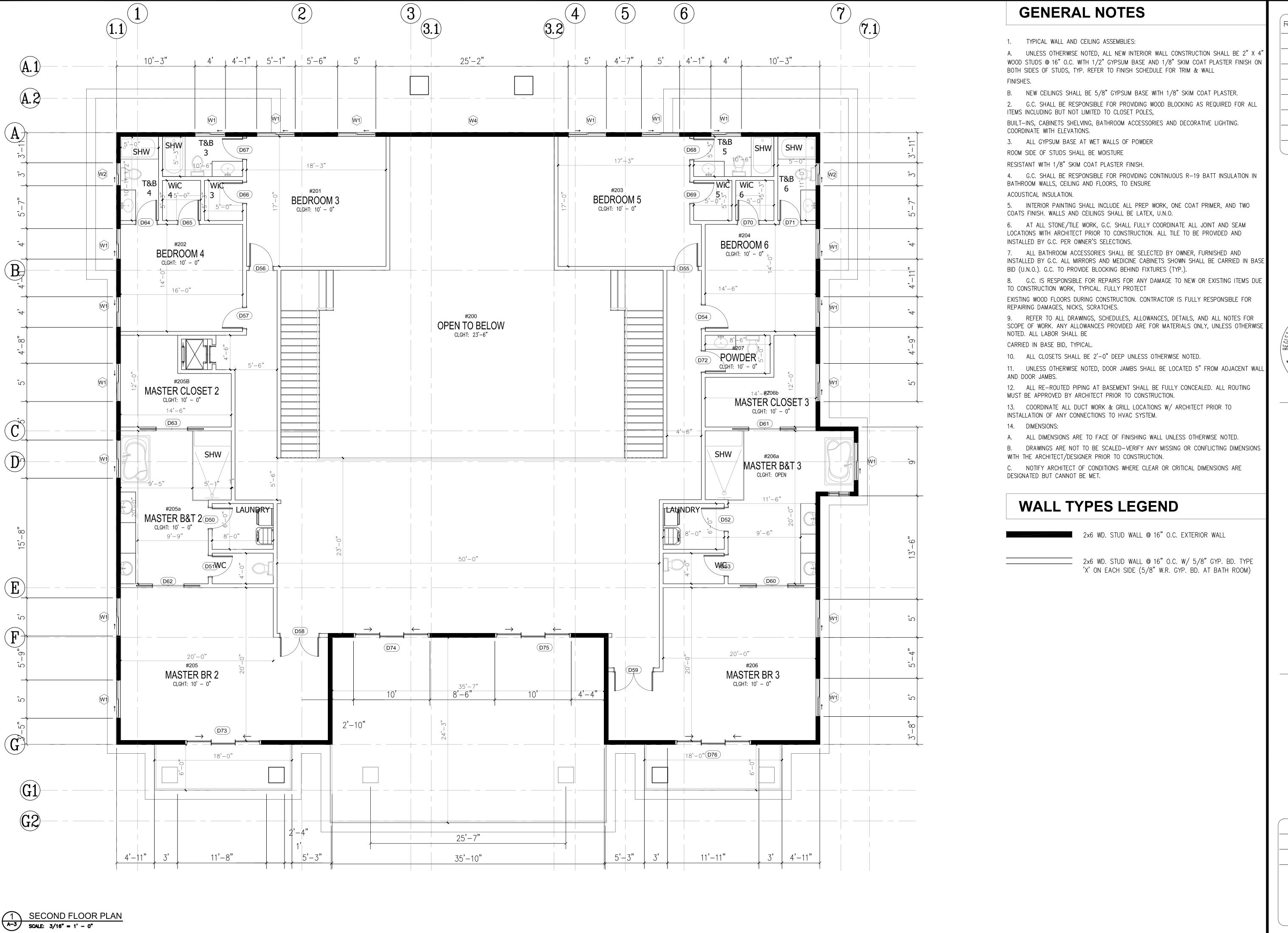
1000 BOURN DRIVE
WOODLAND, CA 95776
CELL530—315—4907



MAIN FLOOR

OWNERS: AMARJEET AND KULJIT SIDHU 451 TOBRURRY WAY FOLSOM, CA 95630

DATE



MOHAMMAD U SADIQ 1000 BOURN DRIVE WOODLAND, CA 95776 CELL530-315-4907



2ND FLOOR PIAN

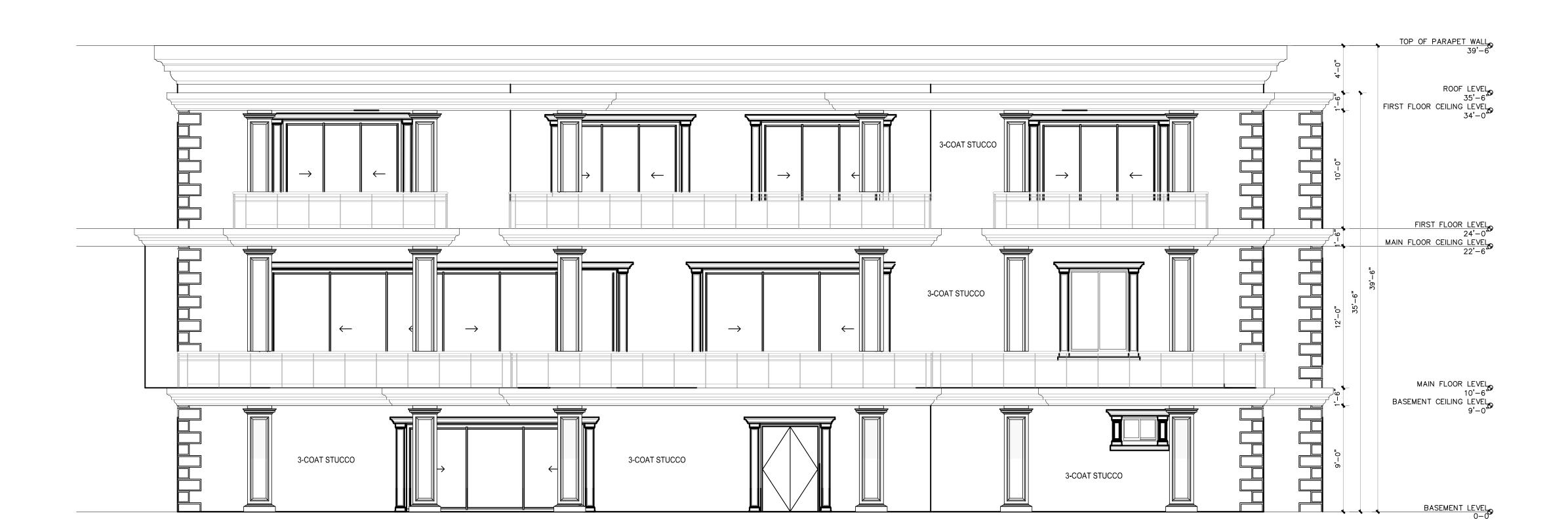
> AMARJEET AND KULJIT SIDHU 451 TOBRURRY WAY FOLSOM, CA 95630





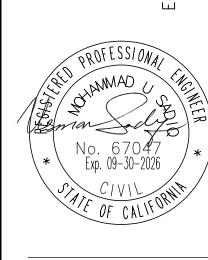
1 FRONT ELEVATION

A-4 SCALE: 3/16" = 1' - 0"



2 BACK ELEVATION
SCALE: 3/16" = 1' - 0"

REVISIONS BY



AMARJEET AND KULJIT 3 451 TOBRURRY WAY FOLSOM, CA 95630 OWNERS:

DATE JOB NO.

MOHAMMAD U SADIQ 1000 BOURN DRIVE WOODLAND, CA 95776 CELL530-315-4907

* No. 67047 Exp. 09-30-2026

> ELEVATION PI AN

OWNERS:
AMARJEET AND KULJIT SIDHU
451 TOBRURRY WAY
FOLSOM, CA 95630

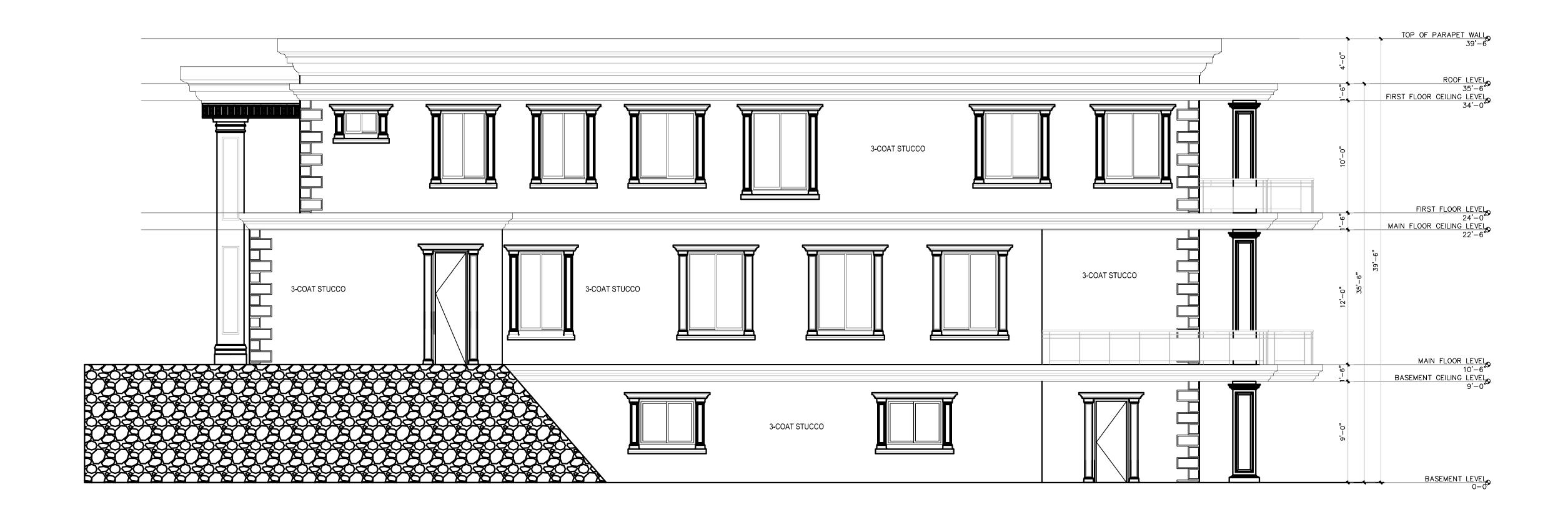
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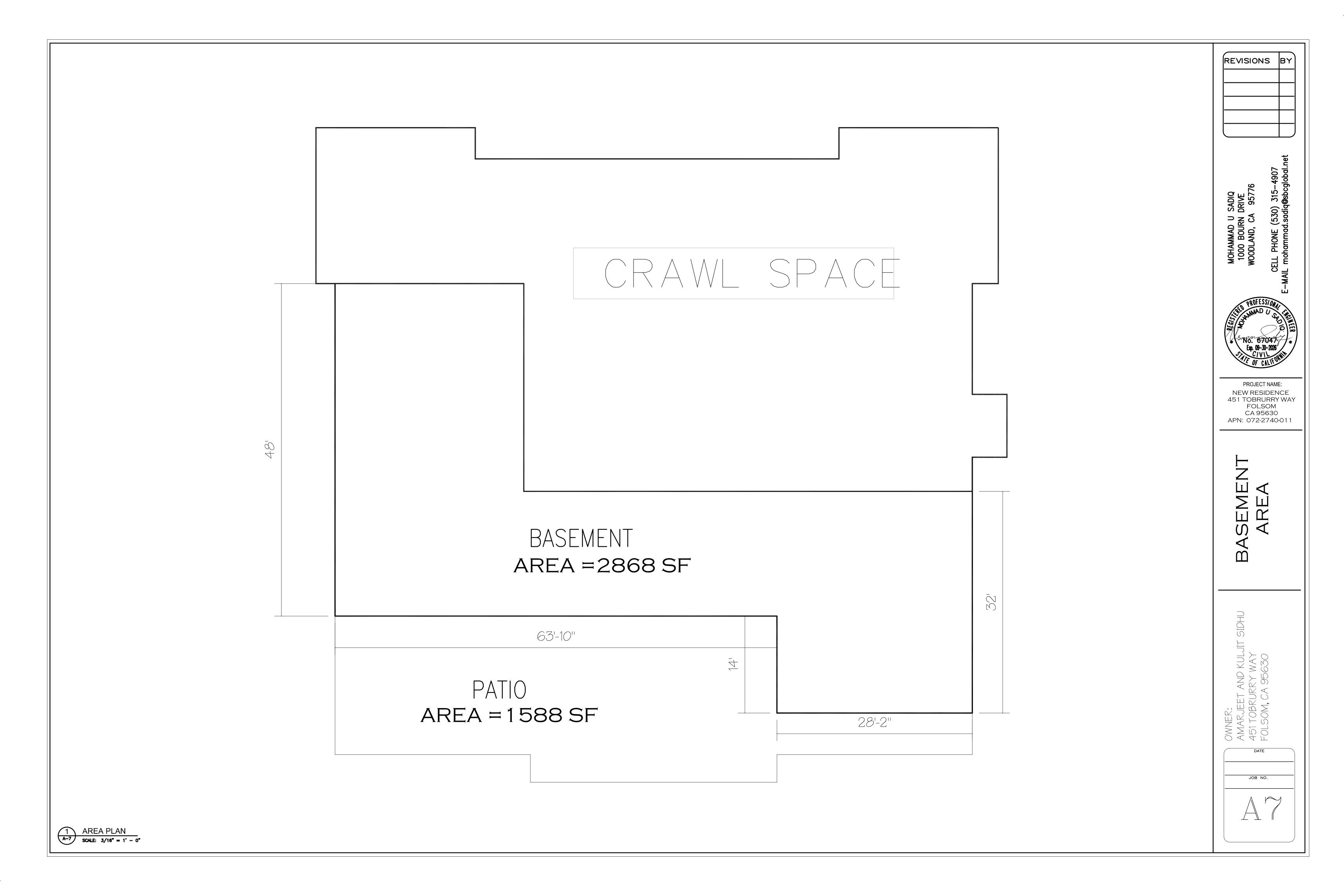
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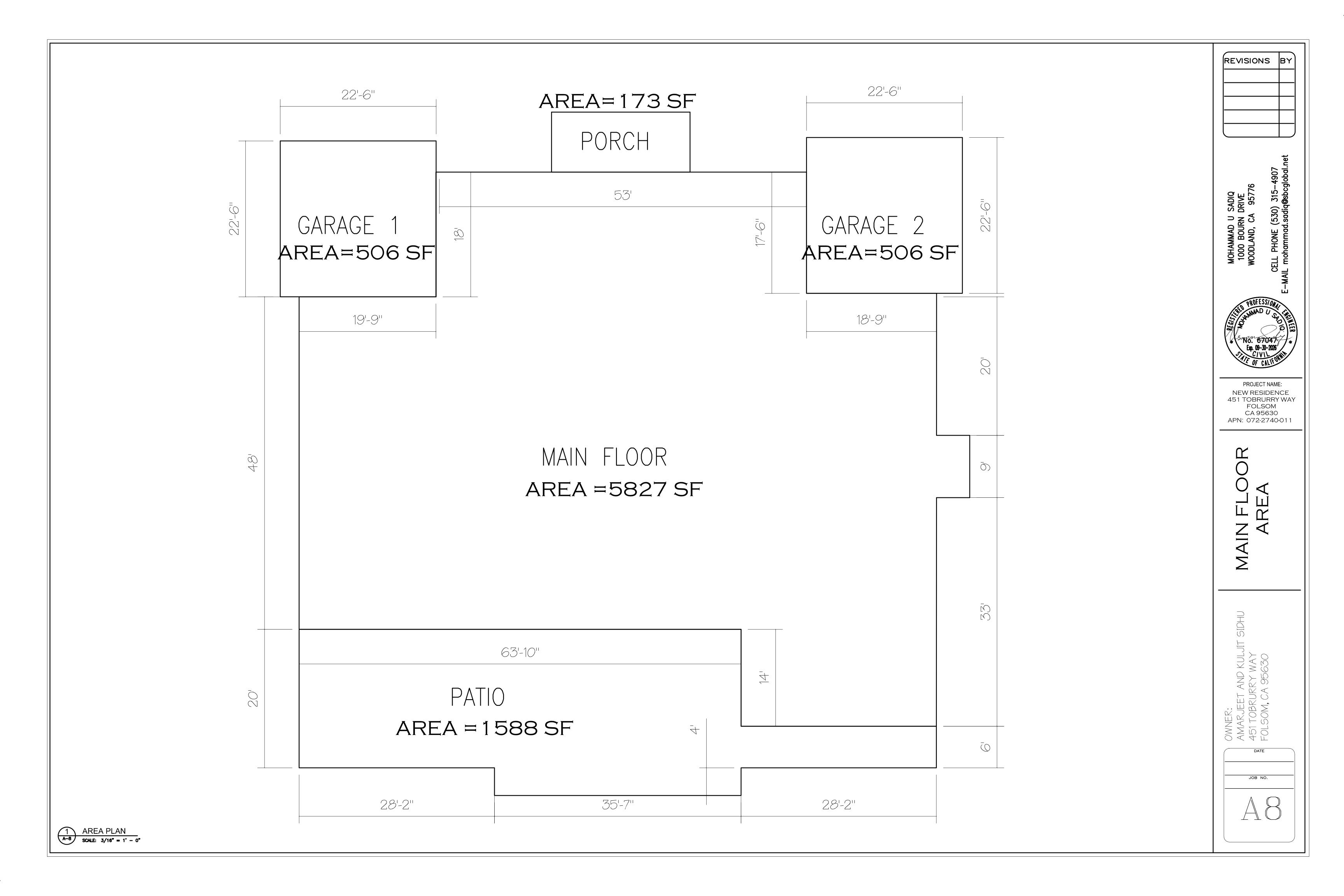
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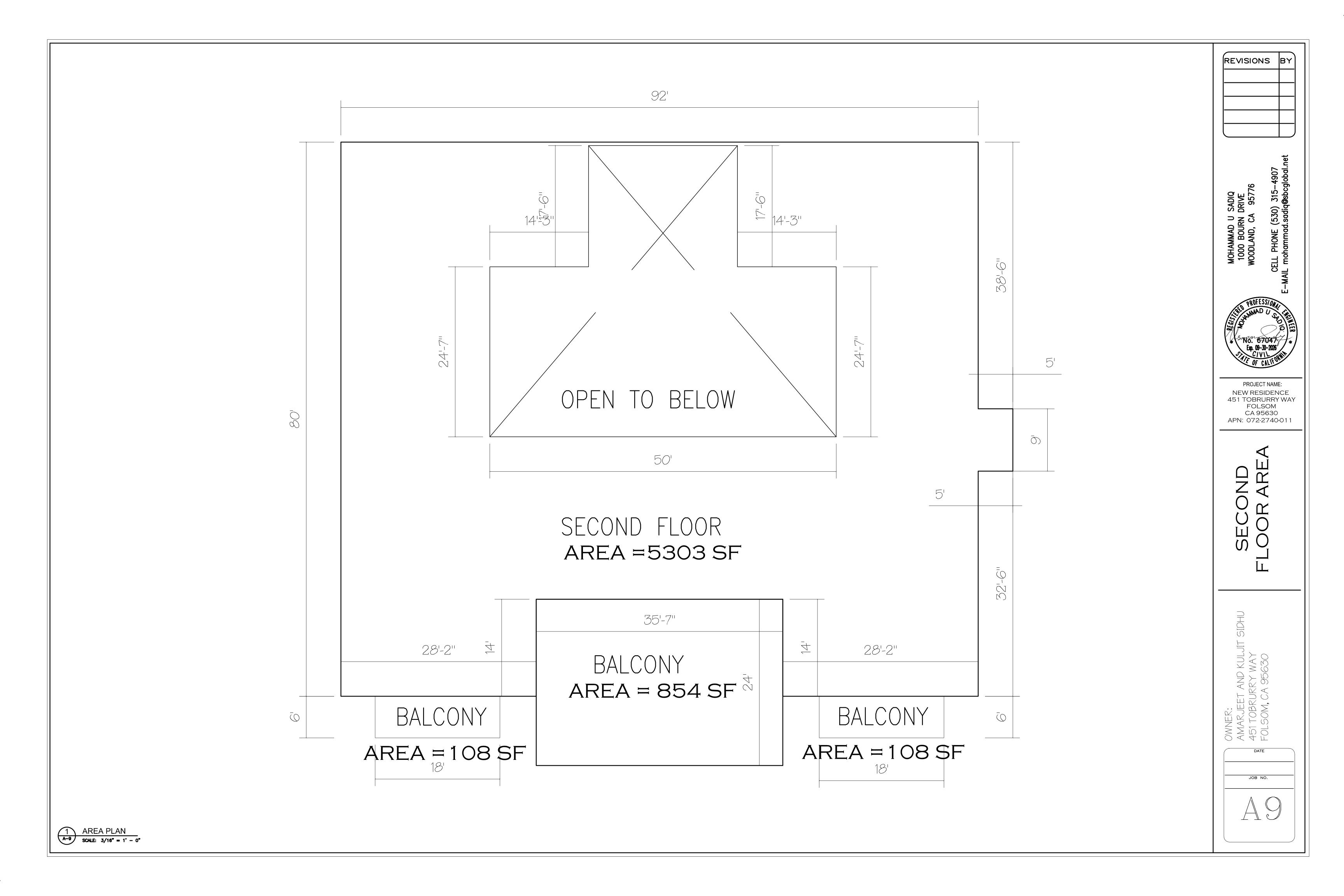
RIGHT SIDE ELEVATION

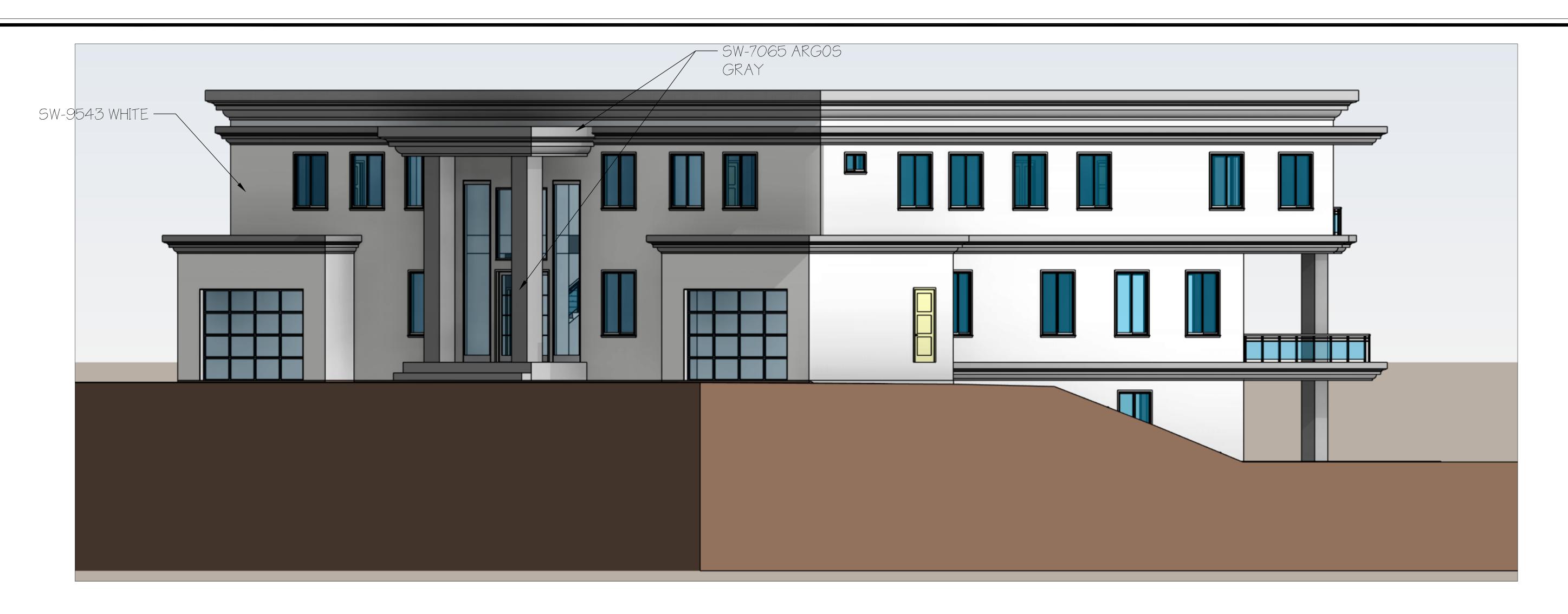
A-5 SCALE: 3/16" = 1' - 0"

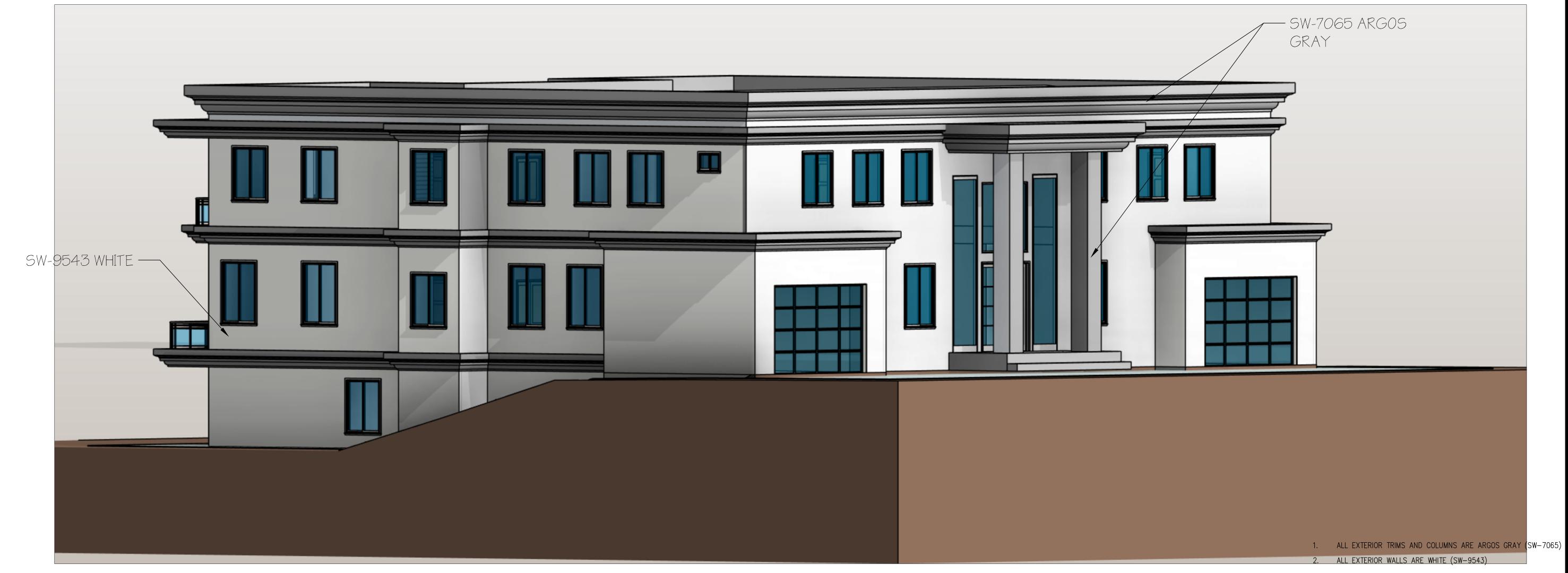












MOHAMMAD U SADIQ 1000 BOURN DRIVE WOODLAND, CA 95776 CELL530-315-4907



3D ELEVATIONS

OWNERS:

AMARJEET AND KULJIT SIDHU
451 TOBRURRY WAY
FOLSOM, CA 95630

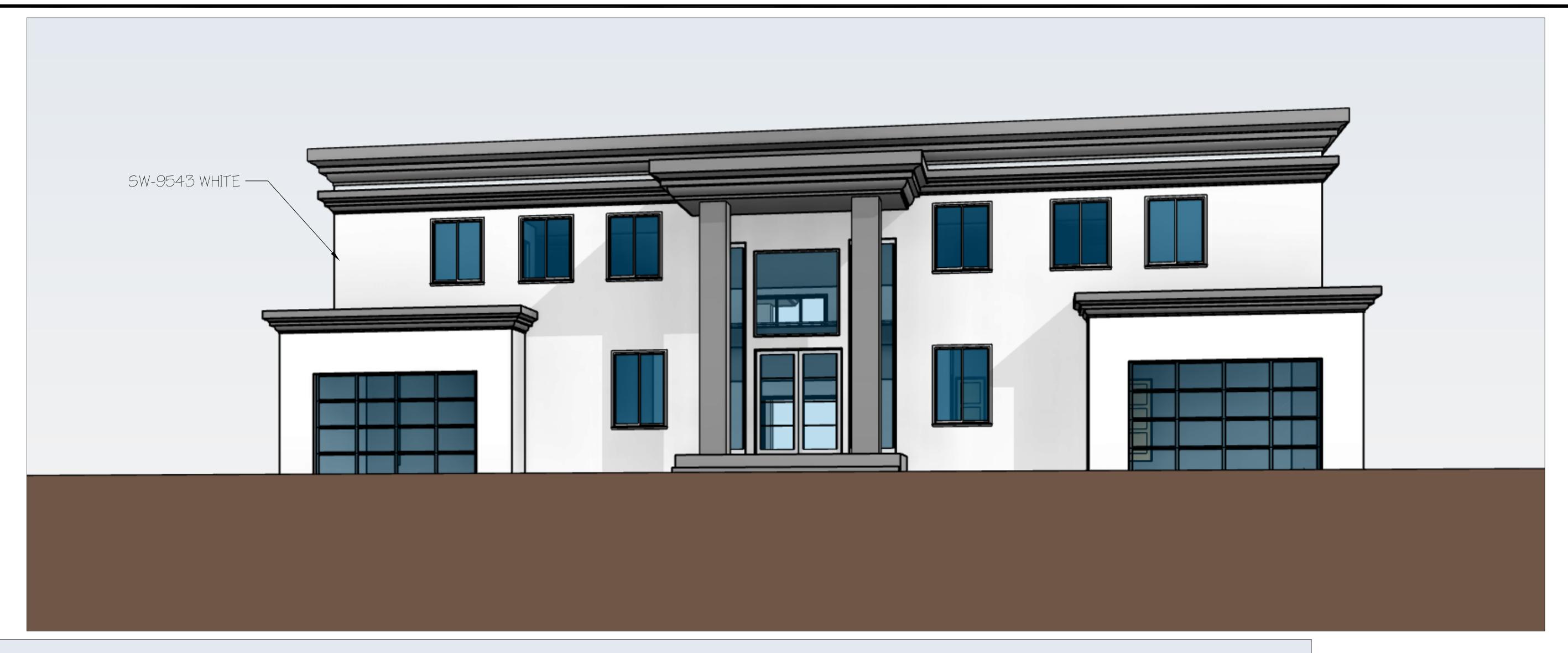
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DATE

JOB NO.

REVISIONS BY









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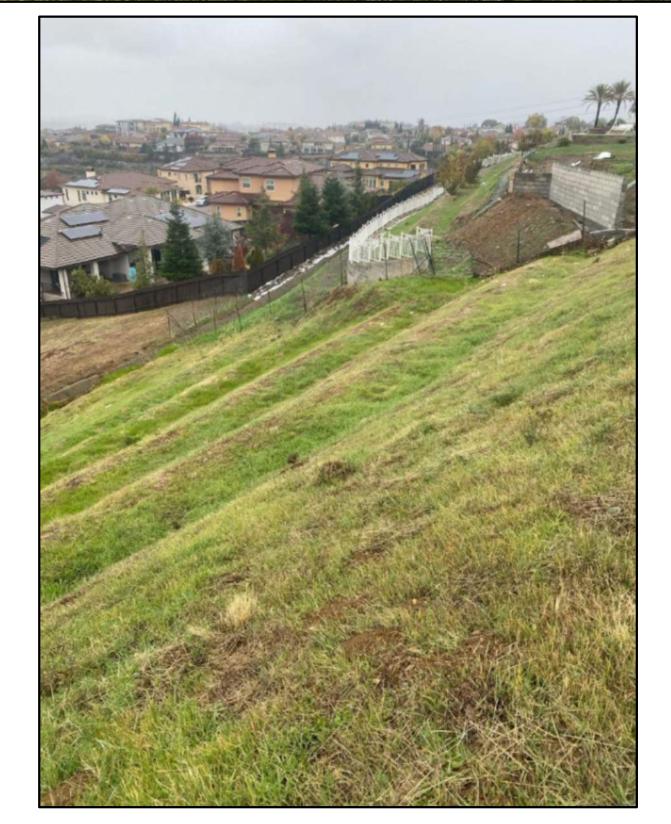
OWNERS: AMARJEET AND KULJIT S 451 TOBRURRY WAY FOLSOM, CA 95630 DATE













OHAMMAD U SADIQ OOO BOURN DRIVE ODLAND, CA 95776



SITE 40TOS

OWNER:
AMARJEET AND KULJIT SIDHI
451 TOBRURRY WAY

JOB NO.

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