



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

PLANNING COMMISSION AGENDA
February 20, 2019
CITY COUNCIL CHAMBERS
6:30 p.m.
50 Natoma Street
Folsom, California 95630

CALL TO ORDER PLANNING COMMISSION: Kevin Mallory, Vice Chair Eileen Reynolds, Daniel West, Kevin Duewel, Barbara Leary, Jennifer Lane, Chair Justin Raithel

Any documents produced by the City and distributed to the Planning Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers. The meeting is available to view via webcast on the City's website the day after the meeting.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Planning Commission welcomes and encourages participation in City Planning Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of February 6, 2019 will be presented for approval.

CONTINUED ITEMS

1. PN 18-362, 170 Iron Point Road McDonald's Restaurant Remodel – Commercial Design Review and Determination that the Project is Exempt from CEQA

A Public Hearing to consider a request from Mike Yao for Commercial Design Review approval for an exterior remodel of an existing McDonald's restaurant located at 170 Iron Point Road. The zoning classification for the site is C-3 PD and the General Plan land-use designation is RCC. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Assistant Planner, Josh Kinkade / Applicant: Mike Yao)**

NEW BUSINESS

2. PN 19-016, Russell Ranch Phase 1, Villages 1 and 2 Residential Design Review

A Public Hearing to consider a request from The New Home Company for approval of a Residential Design Review Application for 77 single-family residential units located within Phase 1, Villages 1 and 2 of the previously approved Russell Ranch Subdivision project located within the Folsom Plan Area. The specific plan designation for the site is SP-SF PD and the General Plan land-use designation is SF. An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) and the CEQA Guidelines. **(Project Planner: Principal Planner, Steve Banks / Applicant: The New Home Company)**

3. PN 18-371, Folsom Glenn Car Wash Shade Structure Commercial Design Review and Determination that the Project is Exempt from CEQA

A Public Hearing to consider a request from Folsom Glenn Car Wash for approval of a Commercial Design Review Application for construction of a 3,850-square-foot shade structure at the Folsom Glenn Car Wash located at 414 Glenn Drive. The zoning classification for the site is C-2 and the General Plan land-use designation is CC. The project is categorically exempt under Section 15303 New Construction of Conversion of Smaller Structures of the California Environmental Quality Act (CEQA). **(Project Planner: Principal Planner, Steve Banks / Applicant: Folsom Glenn Car Wash)**

PRESENTATION

4. Folsom Plan Area Update Presented by Principal Planner, Desmond Parrington

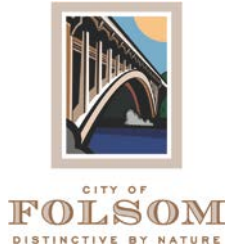
PLANNING COMMISSION / PLANNING MANAGER REPORT

The next Planning Commission meeting is scheduled for **March 20, 2019**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6203 and FAX number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6203, (916) 355-7274 (fax) or kmullett@folsom.ca.us. Requests must be made as early as possible and at least two-full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Planning Commission Action: Any appeal of a Planning Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081. Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and or California Public Resources Code Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, the public hearing



PLANNING COMMISSION MINUTES
February 6, 2019
CITY COUNCIL CHAMBERS
6:30 P.M.
50 Natoma Street
Folsom, CA 95630

CALL TO ORDER PLANNING COMMISSION: Vice Chair Eileen Reynolds, Daniel West, Kevin Duewel, Barbara Leary, Jennifer Lane, Kevin Mallory, Chair Justin Raithel

ABSENT: None

CITIZEN COMMUNICATION:

1. Will Kempton shared a presentation on the Folsom River District.

MINUTES: The minutes of December 5, 2018 were amended with modifications to Item 1. PN 18-347 Russell Ranch Clubhouse Design Review, Condition No. 15 to state "... the applicant shall require the Clubhouse operator/manager to work with any user or renter to prepare a parking plan for the event so to ensure adequate access and so it does not negatively impact the surrounding neighborhood."

COMMISSIONER DUEWEL MOVED TO APPROVE THE AMENDED MINUTES. COMMISSIONER LANE SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: REYNOLDS, WEST, DUEWEL, LEARY, LANE, MALLORY, RAITHEL
NOES: NONE
ABSTAIN: NONE
ABSENT: NONE

Oath of Office Administered to Eileen Reynolds, Daniel West, Kevin Duewel, Barbara Leary, and Justin Raithel

NEW BUSINESS

1. PN 18-362, 170 Iron Point Road McDonald's Restaurant Remodel – Commercial Design Review and Determination that the Project is Exempt from CEQA

A Public Hearing to consider a request from Mike Yao for Commercial Design Review approval for an exterior remodel of an existing McDonald's restaurant located at 170 Iron Point Road. The zoning classification for the site is C-3 PD and the General Plan land-use designation is RCC. The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality

Act (CEQA) Guidelines. **(Project Planner: Assistant Planner, Josh Kinkade / Applicant: Mike Yao)**

COMMISSIONER RAITHEL MOVED TO CONTINUE PN 18-362, COMMERCIAL DESIGN REVIEW FOR FAÇADE ALTERATIONS AND NEW EXTERIOR PAINT COLORS FOR THE EXISTING 4,190-SQUARE-FOOT MCDONALD'S RESTAURANT BUILDING LOCATED AT 170 IRON POINT ROAD, WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C – E, DESIGN REVIEW FINDINGS F-H, AND CONDITIONS OF APPROVAL NO. 1-17.

COMMISSIONER DUEWEL SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: REYNOLDS, WEST, DUEWEL, LEARY, LANE, MALLORY, RAITHEL
NOES: NONE
ABSTAIN: NONE
ABSENT: NONE

2. PN 19-002, Creekside Drive Surgery Center Entitlement Extension

A Public Hearing to consider a request from Katz Kirkpatrick Properties for approval of a Planned Development Permit Extension for development of the Creekside Drive Surgery Center on an undeveloped 1.91-acre parcel located at the southeast corner of the intersection of East Bidwell Street and Creekside Drive. The zoning classification for the site is BP PD and the General Plan land-use designation is PO. The project was previously determined to be categorically exempt from the California Environmental Quality Act (CEQA) under Section 15332 of the CEQA Guidelines, In-Fill Development Projects. **(Project Planner: Principal Planner, Steve Banks / Applicant: Katz Kirkpatrick Properties)**

COMMISSIONER LEARY MOVED TO APPROVE THE PLANNED DEVELOPMENT PERMIT EXTENSION FOR A PERIOD OF ONE YEAR (UNTIL JANUARY 18, 2020) FOR DEVELOPMENT OF THE CREEKSIDE DRIVE SURGERY CENTER PROJECT (PN 19-002) WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-G, PLANNED DEVELOPMENT PERMIT EXTENSION FINDINGS H-O, AND CONDITIONS OF APPROVAL NO. 1-54.

COMMISSIONER REYNOLDS SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: REYNOLDS, WEST, DUEWEL, LEARY, LANE, MALLORY, RAITHEL
NOES: NONE
ABSTAIN: NONE
ABSENT: NONE

3. PN 18-410, Iron Point Retirement Community Entitlement Extension

A Public Hearing to consider a request from TCG Development, LLC for approval of a Planned Development Permit Extension and Conditional Use Permit Extension for development of the Iron Point Retirement Community on an undeveloped 4.68 parcel located on the south side of Iron Point Road between Broadstone Parkway and Rowberry Drive. The zoning classification for the site is BP PD and the General Plan land-use designation is CC. A Mitigated Negative Declaration and Mitigation Monitoring Program were previously approved for the Iron Point Retirement Community Project (PN 15-139) project on January 26, 2016 in accordance with the California Environmental Quality Act (CEQA). **(Project Planner: Principal Planner, Steve Banks / Applicant: TCG Development, LLC)**

COMMISSIONER DUEWEL MOVED TO APPROVE THE PLANNED DEVELOPMENT PERMIT EXTENSION AND CONDITIONAL USE PERMIT EXTENSION FOR A PERIOD OF ONE YEAR (UNTIL JANUARY 26, 2020) FOR DEVELOPMENT OF THE IRON POINT RETIREMENT COMMUNITY PROJECT (PN 18-410) WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A

& B, CEQA FINDINGS C & D, PLANNED DEVELOPMENT PERMIT EXTENSION FINDINGS E-L, CONDITIONAL USE PERMIT EXTENSION FINDING M, AND CONDITIONS OF APPROVAL NO. 1-61.

COMMISSIONER REYNOLDS SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: REYNOLDS, WEST, DUEWEL, LEARY, LANE, MALLORY, RAITHEL
NOES: NONE
ABSTAIN: NONE
ABSENT: NONE

Election of Chair and Vice Chair

THE PLANNING COMMISSIONERS SUBMITTED THEIR BALLOTS FOR CHAIR AS FOLLOWS:

EILEEN REYNOLDS: JUSTIN RAITHEL
DANIEL WEST: JUSTIN RAITHEL
KEVIN DUEWEL: JUSTIN RAITHEL
BARBARA LEARY: JUSTIN RAITHEL
JENNIFER LANE: JUSTIN RAITHEL
KEVIN MALLORY: JUSTIN RAITHEL
JUSTIN RAITHEL: JUSTIN RAITHEL

COMMISSIONER RAITHEL WAS SELECTED TO SERVE AS CHAIR FOR 2019.

THE PLANNING COMMISSIONERS SUBMITTED THEIR BALLOTS FOR VICE CHAIR AS FOLLOWS:

EILEEN REYNOLDS: EILEEN REYNOLDS
DANIEL WEST: EILEEN REYNOLDS
KEVIN DUEWEL: EILEEN REYNOLDS
BARBARA LEARY: EILEEN REYNOLDS
JENNIFER LANE: KEVIN MALLORY
KEVIN MALLORY: KEVIN MALLORY
JUSTIN RAITHEL: EILEEN REYNOLDS

COMMISSIONER REYNOLDS WAS SELECTED TO SERVE AS CHAIR FOR 2019.

Nomination of Two Planning Commissioners to the Historic District Commission

THE PLANNING COMMISSIONERS SUBMITTED THEIR BALLOTS FOR RECOMMENDATION OF TWO PLANNING COMMISSIONERS TO SERVE ON THE HISTORIC DISTRICT COMMISSION AS FOLLOWS:

EILEEN REYNOLDS: KEVIN DUEWEL & DANIEL WEST
DANIEL WEST: KEVIN DUEWEL & DANIEL WEST
KEVIN DUEWEL: KEVIN DUEWEL & DANIEL WEST
BARBARA LEARY: KEVIN DUEWEL & BARBARA LEARY
JENNIFER LANE: JENNIFER LANE & KEVIN MALLORY
KEVIN MALLORY: JENNIFER LANE & DANIEL WEST
JUSTIN RAITHEL: KEVIN DUEWEL & DANIEL WEST

COMMISSIONER RAITHEL MOVED TO RECOMMEND COMMISSIONER DUEWEL AND COMMISSIONER WEST TO SERVE AS THE PLANNING COMMISSION REPRESENTATIVES ON THE HISTORIC DISTRICT COMMISSION. COMMISSIONER REYNOLDS SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: REYNOLDS, WEST, DUEWEL, LEARY, MALLORY, RAITHEL
NOES: NONE
ABSTAIN: LANE
ABSENT: NONE

PLANNING MANAGER REPORT

None

RESPECTFULLY SUBMITTED,

Kelly Mullett, SENIOR OFFICE ASSISTANT

APPROVED:

Justin Raithel, CHAIRMAN



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 1
Type: Public Hearing
Date: February 20, 2019

Planning Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: McDonald's Restaurant Remodel
File #: PN-18-362
Request: Commercial Design Review
Location: 170 Iron Point Road
Parcel(s): 072-0840-045
Staff Contact: Josh Kinkade, Assistant Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner

Name: Brian McCarthy (McDonald's Corp)
Address: 2999 Oak Road,
Walnut Creek, CA 94597

Applicant

Name: Mike Yao
Address: 4240 East Jurupa St.
Suite 402, Ontario, CA 91761

Recommendation: Conduct a public hearing and upon conclusion recommend approval of a Commercial Design Review application for a period of two years (until February 20, 2021) for a remodel of an existing McDonald's restaurant located at 170 Iron Point Road (PN 18-362) subject to the findings included in this report and the attached conditions.

Project Summary: The proposed project includes remodeling of the exterior façade, revisions to the roof parapet, removal and replacement of awnings, removal of an existing trellis, and a new paint scheme for an existing 4,190-square-foot McDonald's Restaurant building at 170 Iron Point Road. No site improvements, landscaping or additional building square footage are proposed as part of this project.

Table of Contents:

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Vicinity Map
- 5 - Site Plan and Floor Plan, dated August 28, 2018
- 6 - Existing and Proposed Elevations, dated August 28, 2018
- 7 - Color Elevations, Dated January 1, 2019
- 8 - Approved Building Elevations and Color Palette for the Folsom Premium Outlets
- 9 - Site Photographs



CITY OF
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AGENDA ITEM NO. 1
Type: Public Hearing
Date: February 6, 2019

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Mike Yao, is requesting Commercial Design Review approval for façade alterations to the existing 4,190-square-foot McDonald's Restaurant at 170 Iron Point Road (see Attachments 5 through 7). It is important to note that the façade modification is an exterior design change and that no additional interior square footage is being added. The proposed remodel includes:

- Removal of the existing pitched roof, cornice system, parapet, canopies and trellis system
- Painting the existing stucco three shades of beige, with dark grey accents
- Adding 2x2 aluminum battens on all four elevations, painted brown
- Adding a pre-finished aluminum canopy fascia system around the building, painted white and grey, with yellow accents
- Installation of new light fixtures and accent lighting.
- Painting the existing trash/recycling enclosure to match the proposed base color of the main building

POLICY/RULE

The Folsom Municipal Code (FMC) requires that Design Review applications for significant exterior modifications to existing office, industrial, and commercial structures be forwarded to the Planning Commission for final action. Application review for the Planning Commission is covered by Section 17.06.030 of the Folsom Municipal Code.

ANALYSIS

Architecture/Design

The McDonald's Restaurant building, which is a single-story 4,190-square-foot pad building, features a contemporary design and includes an enclosed children's playland. The existing building consists of stucco finish colored dark red and white, red ceramic tile wainscoting, red tile roofing, white cloth awnings and red trellis over the drive-thru lane. Existing elevations are shown in Attachment 6 and photographs of the existing building are shown in Attachment 9. As mentioned previously, the applicant is proposing to remove the existing pitched roof, cornice system, parapet, canopies and trellis system from the building, and creating a new flat roof system with a metal fascia, and adding 2x2 brown aluminum battens, a pre-finished aluminum canopy fascia and new lighting around the building. The building will also be re-painted three shades of beige

with dark grey accents. See Attachment 7 for proposed color elevations of the building.

In reviewing the applicant's proposed façade modifications and minor site improvements, staff took into consideration a variety of factors including; compliance with the Natoma Station Design Guidelines (NSDG), consistency with the approved building elevations and color palette for the Folsom Premium Outlets, and compatibility with the existing buildings in the Folsom Premium Outlets. The NSDG, which were approved by the Planning Commission in 1989, established development criteria at a project-wide level to ensure a unified and quality environment within the context of the Natoma Station Master Plan. The NSDG were written with the following general goals in mind:

- Achieve market appeal through a well-designed development
- Ensure economic feasibility and viability in the current market
- Establish a consistent, recognizable design theme

The NSDG are also intended to address the various type of building type/product design (multi-tenant retail, freestanding commercial, hotels and motels, etc.) that are expected to occur in the Natoma Station Planned Development area. In relation to the subject project, the NSDG established standards for architecture and design as well as for development of freestanding commercial buildings. Masonry is encouraged as the primary building material. Concrete and buildings forms should be of simple geometry with traditional rectangular forms. With respect to exterior building colors, the NSDG state that "bright colors should be limited to signs, doors, window trim, and other detailing related to pedestrian areas." It should be noted that the Design Guidelines also articulate that single tenant buildings may have more individual expression and that food establishments in particular may often be developed with a theme related to the corporate identity of the chain.

In reviewing the applicant's request within the context of consistency with the NSDG, the proposal complies with the requirements. The building modifications proposed include the use of concrete or stucco finishes and rectangular forms of simple geometry. The color palette proposed blends with the existing and previously approved earth tone colors of the Folsom Premium Outlets while allowing for individual corporate identity. Staff concluded that the proposal meets the relevant design requirements of the NSDG.

As mentioned previously within this report, the Folsom Premium Outlets project (which was approved in various phases from 1989 to 1996), included approved building elevations and an approved color palette (see Attachment 8). The approved building elevations and color palette comprise a variety of colors that are fairly muted in tone including: mustard-brown, terra-cotta, yellow, green, and grey. Staff has determined that the primary building colors and proposed architectural design of the McDonald's Restaurant building is consistent with the approved color palette and elevations of the

existing Folsom Premium Outlets Shopping Center.

Trash/Recycling Enclosure

The proposed project includes utilization of an existing trash/recycling enclosure which is located on the northeast side of the existing restaurant building. The applicant proposes to paint the enclosure to match the proposed base color of the main building. Staff supports this proposal.

Signage

The applicant is not proposing any modifications to or additional signage in conjunction with this particular Commercial Design Review application. All future signs for the project will be required to comply with the Folsom Municipal Code. Condition No. 11 is included to reflect this requirement.

Landscaping

Existing site landscaping includes a combination of trees, shrubs, and groundcover located in a landscape buffers adjacent to Iron Point Road and within landscape planters situated throughout the parking lot area. The applicant is not proposing to install any new landscaping with this project. All existing site landscaping will remain.

Lighting and Energy Conservation

The applicant is subject to the California Energy Standards as stated in Title 24 of the Uniform Building Code. The exterior building lighting will be required to achieve energy-efficient standards and the lighting will also need to be equipped with a timer or photo condenser. Condition No. 12 is included to reflect this requirement. Condition No. 12 also mandates that all exterior lighting be directed downward.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA). Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

RECOMMENDATION/PLANNING COMMISSION ACTION

Move to approve Commercial Design Review for façade alterations and new exterior paint colors for the existing 4,190-square-foot McDonald's restaurant building located at 170 Iron Point Road, as illustrated on Attachments 5 through 7, with the below findings and the conditions of approval included as Attachment 3 to this report.

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 EXISTING FACILITIES OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.

DESIGN REVIEW FINDINGS

- F. THE PROPOSED PROJECT COMPLIES WITH THE INTENT AND PURPOSES OF THE GENERAL PLAN, CHAPTER 17.38 (PLANNED DEVELOPMENT DISTRICT) OF THE FOLSOM MUNICIPAL CODE, AND ALL APPLICABLE ORDINANCES OF THE CITY.
- G. THE PROPOSED PROJECT CONFORMS WITH THE NATOMA STATION PLANNED DEVELOPMENT PERMIT AND THE NATOMA STATION DESIGN GUIDELINES.
- H. THE PROPOSED PROJECT IS COMPATIBLE WITH BUILDING MATERIALS, TEXTURES, AND COLORS OF SURROUNDING DEVELOPMENT AND PROVIDES CONSISTENCY WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

ATTACHMENT 2 BACKGROUND

BACKGROUND

On April 24, 1989, the Planning Commission approved a Planned Development Permit for Phase I of the Folsom Premium Outlets project, which included development of 106,790 square feet of retail-commercial tenant space. On January 22, 1990, the Planning Commission approved a Planned Development Permit for Phase II of the Folsom Premium Outlets project, which included development of an additional 102,290 square-feet of retail-commercial tenant space and a 4,000-square-foot pad on Natoma Station Drive. On June 5, 1996, the Planning Commission approved a Planned Development Permit for Phase III of the Folsom Premium Outlets project, which included development of another 111,880 square feet of retail-commercial tenant space and relocation of a previously approved pad site from Natoma Station Drive to Iron Point Road.

On August 21, 1996, the Planning Commission approved a Planned Development Permit for development of a 4,190-square-foot McDonald's Restaurant with drive-through on the Pad 1 location off Iron Point Road within the Folsom Premium Outlets Shopping Center. The proposal included a 2,873-square-foot restaurant and an additional 1,317-square-foot, fully enclosed indoor playland. The McDonald's Restaurant was subsequently constructed and received final building department inspection and approval on April 23, 1999.

On May 1, 2013 the Planning Commission approved a Design Review for façade alterations, exterior paint colors, and concrete sidewalk upgrades to the restaurant, which were constructed later that year.

GENERAL PLAN DESIGNATION	RCC (Regional Commercial Center)
ZONING	C-3 PD (General Commercial, Planned Development District)
ADJACENT LAND USES/ZONING	North: Folsom Premium Outlets (C-3 PD with Natoma Station Drive Beyond South: Iron Point Road (C-3 PD) with U.S. Highway 50 Beyond East: Folsom Premium Outlets (C-3 PD) with Ingersoll Way Beyond West: Folsom Boulevard with Open Space (OSC) Beyond

SITE CHARACTERISTICS

The project site is fully developed with a 4,190-square-foot commercial building (McDonald's Restaurant) and associated site improvements including a trash enclosure, parking, lighting and landscaping

APPLICABLE CODES

FMC 17.06, Design Review
FMC 17.22, Commercial Land Uses
Natoma Station Design Guidelines

Attachment 3

Proposed Conditions of Approval

CONDITIONS OF APPROVAL FOR MCDONALD'S COMMERCIAL DESIGN REVIEW (PN 18-362)				
170 IRON POINT ROAD				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.		<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Site Plan, dated August 28, 2018 • Floor Plans, dated August 28, 2018 • Elevations, dated August 28, 2018 • Color Renderings, dated January 1, 2019 <p>This project approval is for a McDonald's Restaurant Commercial Design Review, which includes façade alterations and new exterior paint colors to an existing 4,190-square-foot building at 170 Iron Point Rd., as shown on the above-referenced plans. Modifications may be made to the above-referenced plans to respond to site-specific conditions of approval as set forth herein.</p>	B	CD (P)(E)
2.		<p>Building plans and any required civil engineering plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.		<p>The project approval granted under this staff report shall remain in effect for two years from final date of approval (February 20, 2021). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

CONDITIONS OF APPROVAL FOR MCDONALD'S COMMERCIAL DESIGN REVIEW (PN 18-362)				
170 IRON POINT ROAD				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
4.		<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
DEVELOPMENT COSTS AND FEE REQUIREMENTS				
5.		The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.		The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P) (E)
7.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)

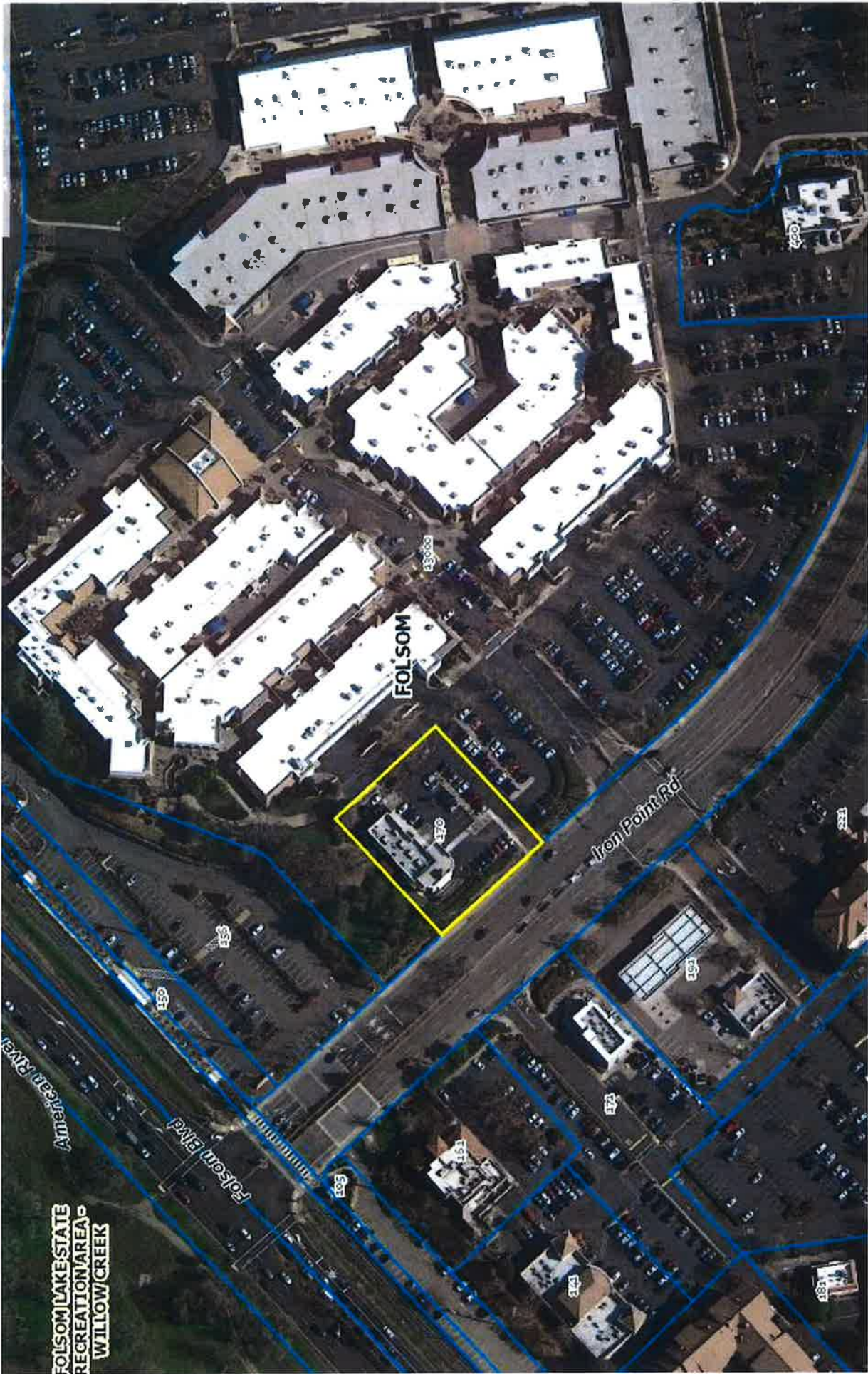
CONDITIONS OF APPROVAL FOR MCDONALD'S COMMERCIAL DESIGN REVIEW (PN 18-362)				
170 IRON POINT ROAD				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
8.		This project shall be subject to all applicable City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all applicable City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Quimby, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations, or other exactions imposed on this project has begun. The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
9.		If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
10.		The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)
SITE DEVELOPMENT REQUIREMENTS				
11.		All signs for the project shall comply with the sign regulations established by Section 17.59 of the <u>Folsom Municipal Code</u> .	B	CD (P)
12.		The exterior lighting shall be limited to downward-facing lighting attached to the building. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. Lighting shall be equipped with a timer or photo condenser.	B	CD (P)
ARCHITECTURE/DESIGN REQUIREMENTS				
13.		Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features to the satisfaction of the Community Development Director.	B	CD (P)

CONDITIONS OF APPROVAL FOR MCDONALD'S COMMERCIAL DESIGN REVIEW (PN 18-362)				
170 IRON POINT ROAD				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
14.		The owner/applicant shall obtain an encroachment permit for any work conducted in the public right-of-way prior to issuance of a Building Permit.	B	CD (E)
NOISE REQUIREMENT				
15.		Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. Construction equipment shall be muffled and shrouded to minimize noise levels.	B	CD (P)(E)
FIRE DEPARTMENT REQUIREMENTS				
16.		Approved building address numbers shall be placed near the main entrance on the building in such a position as to be plainly visible and legible from the street fronting the property. Numbers shall be either externally or internally-illuminated on a lighting circuit powered dusk to dawn and the color shall contrast with their background. The size of the address numbers shall be a minimum of 10 inches.	B	FD
17.		Plans and specifications must be submitted and approved by the City of Folsom Fire Department prior to the start of construction.	B	FD

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
(P)		M	Prior to approval of Final Map
(E)		B	Prior to issuance of first Building Permit
(B)		O	Prior to approval of Occupancy Permit
(F)		G	Prior to issuance of Grading Permit
PW		Public Works Department	DC
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

Planning Commission
McDonald's Restaurant Remodel (PN 18-362)
February 20, 2019

Attachment 4 Vicinity Map



FOLSOM LAKE STATE
RECREATION AREA
WILLOW CREEK

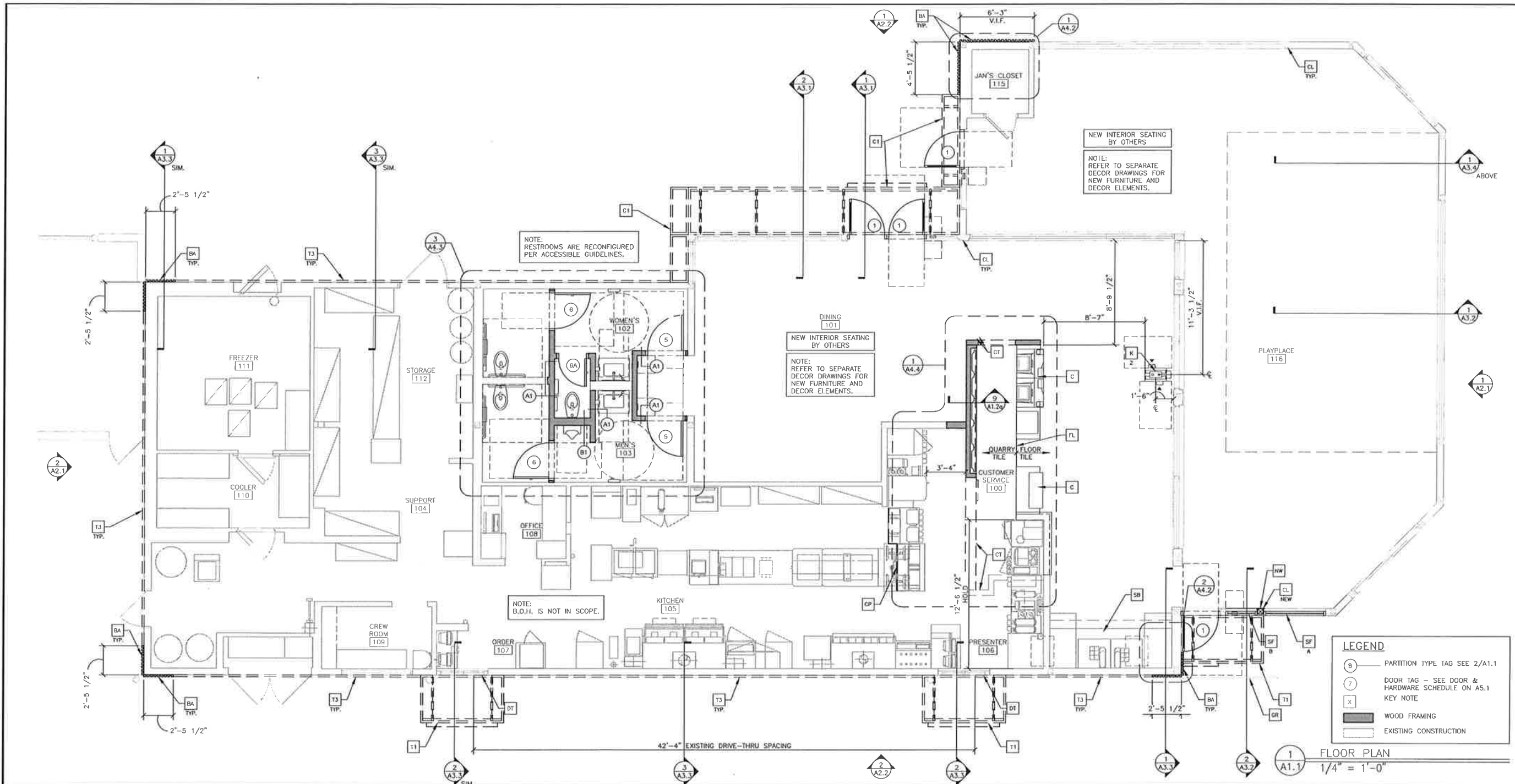
FOLSOM

Iron Point Rd

Folsom Blvd

Planning Commission
McDonald's Restaurant Remodel (PN 18-362)
February 20, 2019

Attachment 5
Site Plan and Floor Plan, dated August 28, 2018



GENERAL NOTES

- ALL DIMENSIONS ARE TO OUTSIDE FACE OF SUBSTRATE OR MASONRY UNLESS OTHERWISE NOTED (FIN = FINISHED DIMENSION). INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY:
FORREST PERMA-SIGN
9292 1ST STREET, BOX 588
NEW ROCHELLE, NY 10802
WWW.FORRESTPERMASIGNS.COM
(800)214-8765
- MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
- ALL FRAMING LUMBER (SILL PLATES) IN CONTACT WITH CONCRETE SLAB SHALL BE PRESSURE TREATED IN ACCORDANCE WITH IBC.
- ADJUST ALL PEDESTRIAN ENTRY/EXIT DOOR CLOSERS TO A MAXIMUM OF 5lbs. OPENING/CLOSING FORCE. IN ADDITION, ADJUST CLOSERS TO ACHIEVE A CLOSING TIME OF 5 SECONDS FROM 90 DEGREES TO 12 DEGREES. IF NOT ACHIEVABLE, REPLACE DOOR CLOSER.
- GC TO COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVES, ETC. FOR PROPER INSTALLATION HEIGHTS.
- ALL KITCHEN EQUIPMENT IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL HAND SINKS, VEGETABLE AND 3 COMP SINK ARE EXISTING TO REMAIN U.N.O.
- GC TO COORDINATE THE REMOVAL AND RELOCATION OF THE KITCHEN EQUIPMENT WITH THE KES AND ACM.
- REFERENCE THE KITCHEN PLANS FOR FINAL LOCATION OF THE KITCHEN EQUIPMENT.
- GC TO COORDINATE ALL FINISHES WITH THE ACM.
- PREPARE ALL EXPOSED SURFACES AND STRUCTURE FOR APPLICATION OF FINISH SUBSTRATE.
- REMOVE ALL DEBRIS FROM BUILDING & SITE DISPOSE OF IN ACCORDANCE W/ STATE & LOCAL CODES.
- PROVIDE TEMPORARY SUPPORT & BRACING AT ALL WALLS DURING DEMOLITION.
- ALL NEW HAND SINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
- COORDINATE EXISTING AND NEW POWER PANEL LOCATIONS WITH ELECTRICAL DRAWINGS AND ACM.
- ALL PLYWOOD SHALL BE FIRE RETARDANT TREATED.
- CONTRACTOR TO COORDINATE WITH ACM, OWNER/OPERATOR AND KES REGARDING FINAL LOCATION OF RELOCATED AND NEW KITCHEN EQUIPMENT.

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- BA ALUMINUM BATTENS BY B+N INDUSTRIES. SEE ELEVATIONS AND SECTIONS FOR REFERENCE.
- C NEW MODULAR FRONT COUNTER BY OTHERS.
- CI ALUMINUM CANOPY BY OTHERS, SEE A2 & A3 SERIES.
- CT WALL TILE. COORDINATE WITH THE MCDONALD'S AREA CONSTRUCTION MANAGER FOR FINISHES.
- CL EXISTING STRUCTURAL COLUMN TO REMAIN.
- CP CURATED WALL PANEL.
- DT EXISTING DRIVE-THRU WINDOW TO REMAIN.
- FL FLOOR LINE - CHANGE IN MATERIAL.
- GR EXISTING GUARDRAIL TO REMAIN; PAINT TO MATCH BUILDING BASE COLOR.
- X ORDERING KIOSK COORDINATE THE EXACT LOCATION WITH THE MCDONALD'S AREA CONSTRUCTION MANAGER. REFERENCE THE KIOSK AND PUCK GUIDELINES ON SHEET GN1.0.
- 2 DENOTES NUMBER OF KIOSKS.
- NW NEW GYPSUM WALL BOARD (OR CEMENT BOARD) TO WRAP OVER COLUMN. PROVIDE CEMENT BOARD IF WALL TILE IS PROPOSED ON DECOR DRAWINGS.
- SB EXISTING SELF SERVE BEVERAGE BAR TO REMAIN.
- SF STOREFRONT SYSTEM TO MATCH EXISTING; SEE A2 SERIES FOR EXTERIOR ELEVATIONS & A5.1 FOR WINDOW TYPES.
- TI ALUMINUM TRELLIS SYSTEM ABOVE - SEE ROOF PLAN.
- TJ ALUMINUM TRELLIS 2X8 WALL FASCIA ABOVE - SEE ROOF PLAN.



GENERAL NOTES

- ALL DIMENSIONS ARE TO OUTSIDE FACE OF SUBSTRATE OR MASONRY UNLESS OTHERWISE NOTED (FIN = FINISHED DIMENSION). INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
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- CONTRACTOR TO COORDINATE WITH ACM, OWNER/OPERATOR AND KES REGARDING FINAL LOCATION OF RELOCATED AND NEW KITCHEN EQUIPMENT.

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- BA ALUMINUM BATTENS BY B+N INDUSTRIES. SEE ELEVATIONS AND SECTIONS FOR REFERENCE.
- C NEW MODULAR FRONT COUNTER BY OTHERS.
- CI ALUMINUM CANOPY BY OTHERS, SEE A2 & A3 SERIES.
- CT WALL TILE. COORDINATE WITH THE MCDONALD'S AREA CONSTRUCTION MANAGER FOR FINISHES.
- CL EXISTING STRUCTURAL COLUMN TO REMAIN.
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- DT EXISTING DRIVE-THRU WINDOW TO REMAIN.
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- X ORDERING KIOSK COORDINATE THE EXACT LOCATION WITH THE MCDONALD'S AREA CONSTRUCTION MANAGER. REFERENCE THE KIOSK AND PUCK GUIDELINES ON SHEET GN1.0.
- 2 DENOTES NUMBER OF KIOSKS.
- NW NEW GYPSUM WALL BOARD (OR CEMENT BOARD) TO WRAP OVER COLUMN. PROVIDE CEMENT BOARD IF WALL TILE IS PROPOSED ON DECOR DRAWINGS.
- SB EXISTING SELF SERVE BEVERAGE BAR TO REMAIN.
- SF STOREFRONT SYSTEM TO MATCH EXISTING; SEE A2 SERIES FOR EXTERIOR ELEVATIONS & A5.1 FOR WINDOW TYPES.
- TI ALUMINUM TRELLIS SYSTEM ABOVE - SEE ROOF PLAN.
- TJ ALUMINUM TRELLIS 2X8 WALL FASCIA ABOVE - SEE ROOF PLAN.

LEGEND

- (B) PARTITION TYPE TAG SEE 2/A1.1
- (7) DOOR TAG - SEE DOOR & HARDWARE SCHEDULE ON A5.1
- (X) KEY NOTE
- WOOD FRAMING
- EXISTING CONSTRUCTION

FLOOR PLAN
1/4" = 1'-0"

INTERIOR PARTITION
3/4" = 1'-0"
WOOD FRAMING

WOOD STUD PARTITION TYPE:
ALL PARTITIONS TYPE 'A' UNLESS NOTED OTHERWISE

- "A" = 2x4
- "A1" = 2x4 W/BATT INS.
- "B" = 2x6
- "B1" = 2x6 W/BATT INS.
- "C" = 2x8
- "C1" = 2x8 W/BATT INS.

STUD SPACING: 16" O.C.

PREPARED BY: **McDonald's USA, LLC**
 2016 McDonald's Corporation
 99000 McDonald's Drive, Chicago, IL 60626
 © 2016 McDonald's Corporation

DESIGNED BY: **CORE STATES ARCHITECTS, INC.**
 170 IRON POINT ROAD, FOLSOM, CA 95630
 (916) 977-0275
 www.corestates.com

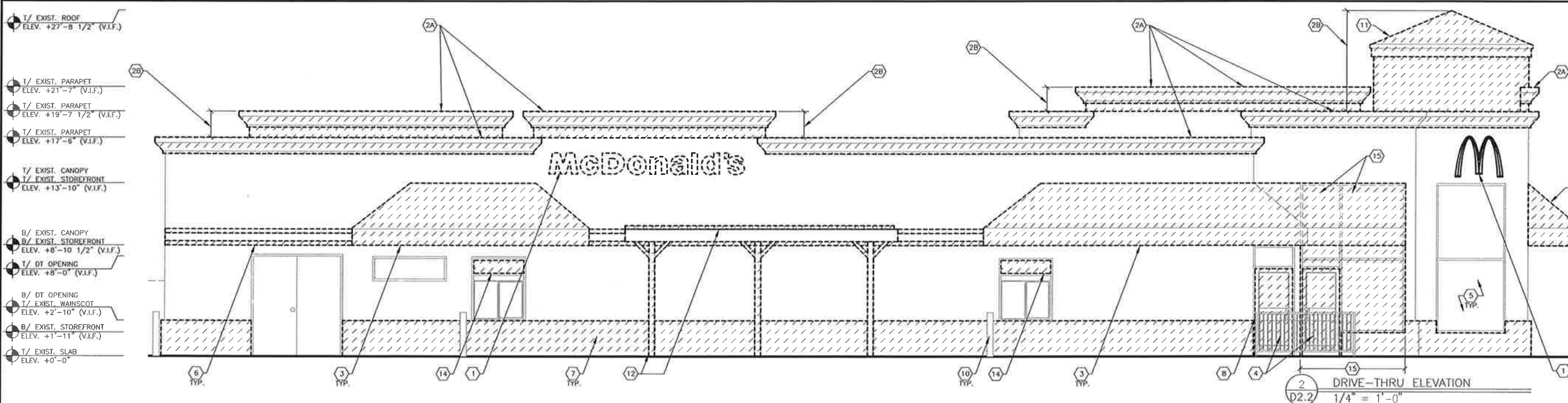
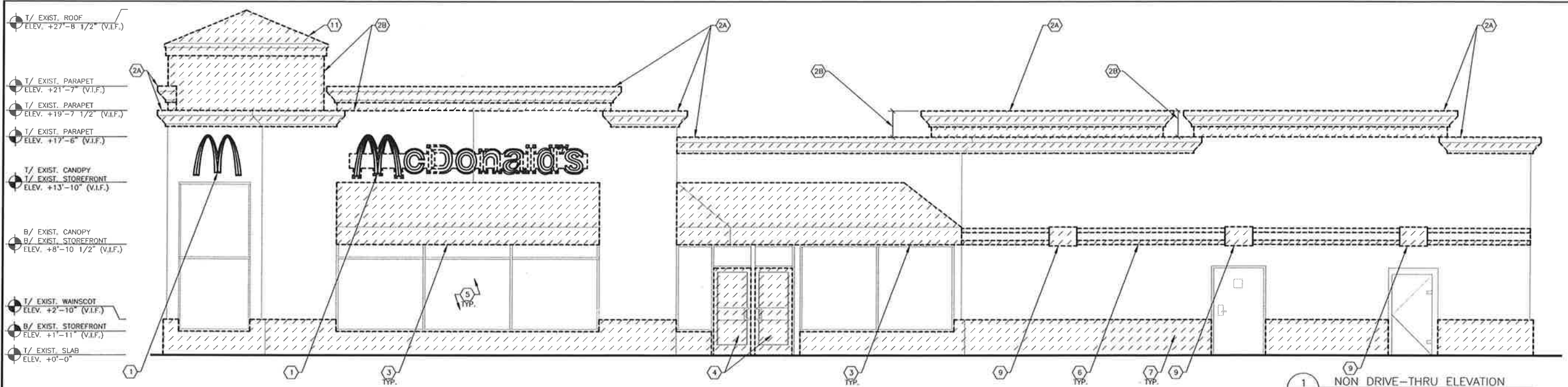
DATE: 08/28/18
 REV: 1
 BY: []

DESCRIPTION: **MRP - LOW VOLUME PROGRAM**
 B200 VERSION
 EXISTING WOOD WALL CONSTRUCTION
 EXISTING WOOD ROOF TRUSSES

SHEET NO: **A1.1**
 FLOOR PLAN

Planning Commission
McDonald's Restaurant Remodel (PN 18-362)
February 20, 2019

Attachment 6
Existing and Proposed Elevations dated
August 28, 2018



DEMOLITION KEYNOTES

- 1 REMOVE EXISTING SIGNAGE
- 2A REMOVE EXISTING CORNICE SYSTEM BACK TO EXISTING SUBSTRATE. PATCH/REPAIR EXISTING SUBSTRATE DAMAGED FROM DEMOLITION IN KIND. REFER TO WALL SECTIONS FOR EXTENT OF REMOVAL.
- 2B REMOVE PORTION OF EXISTING PARAPET, ALIGN REMOVAL WITH PROPOSED PARAPET HEIGHT. SEE A2 AND A3 SERIES FOR MORE INFORMATION
- 3 REMOVE EXISTING CANOPY AND ALL ASSOCIATED HARDWARE. PATCH/REPAIR EXISTING STUCCO DAMAGED FROM DEMOLITION IN KIND
- 4 REMOVE EXISTING DOOR AND ALL ASSOCIATED HARDWARE
- 5 REMOVE ALL LOGO STICKERS AND DECALS FROM ALL WINDOW, WALLS AND DOORS
- 6 REMOVE EXISTING TRIM BOARD BACK TO EXISTING SUBSTRATE. PATCH/REPAIR EXISTING SUBSTRATE DAMAGED FROM DEMOLITION IN KIND
- 7 REMOVE EXISTING TILE WAINSCOT BACK TO EXISTING SUBSTRATE. PATCH/REPAIR EXISTING SUBSTRATE DAMAGED FROM DEMOLITION IN KIND
- 8 EXISTING GUARDRAIL TO REMAIN, PAINT TO MATCH BUILDING BASE COLOR
- 9 REMOVE EXISTING LIGHT FIXTURE. EXISTING CIRCUITRY TO REMAIN FOR NEW USE
- 10 EXISTING BOLLARD GUARD TO REMAIN
- 11 REMOVE EXISTING PENETRATION
- 12 REMOVE EXISTING EXTERIOR TRELLIS SYSTEM DOWN TO TOP OF SLAB. GRIND SMOOTH AND PATCH/REPAIR ADJACENT FLOOR AND WALL IN KIND
- 13 EXISTING ROOF DRAIN OVERFLOW OPENING TO REMAIN
- 14 REMOVE EXISTING GLAZING PANEL. EXISTING DT WINDOW FRAMING TO REMAIN
- 15 REMOVE EXISTING GLAZING PANEL AND STOREFRONT FRAMING

LEGEND

[Hatched Pattern]	EXISTING CONSTRUCTION TO BE REMOVED
[Diagonal Lines]	EXTENT OF EXISTING CONSTRUCTION TO BE REMOVED
[Solid Line]	EXISTING CONSTRUCTION TO REMAIN

LICENSED ARCHITECT
 ALEXANDER J. BATES
 C-30021
 2-4 2-31-19
 STATE OF CALIFORNIA
 9-11-18

CORE STATES GROUP
 CONSULTING INC.
 1425 East Beach Blvd
 Suite 402
 San Jose, CA 95128
 www.corestates.com

PREPARED FOR: **McDonald's USA, LLC**
 PREPARED BY: **McDonald's Corporation**

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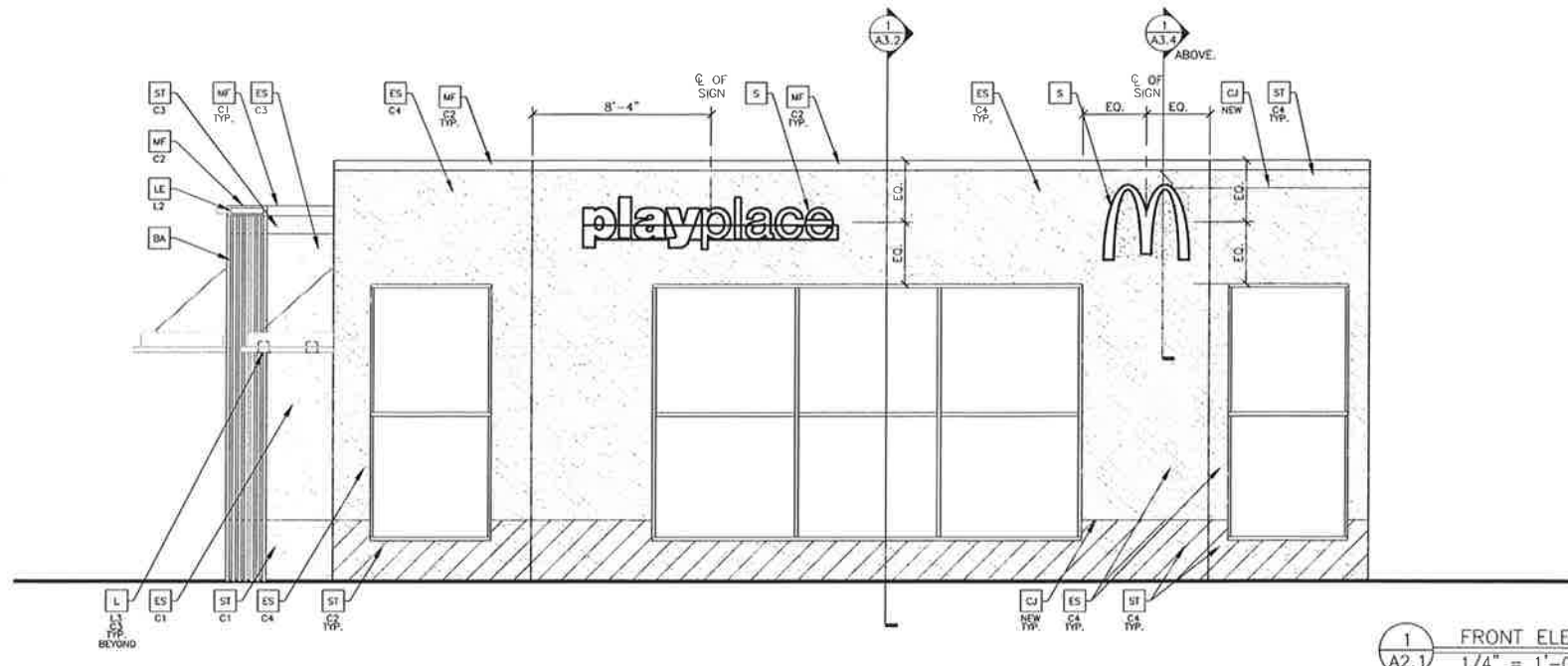
DRAWN BY	K. YERRY
STD ISSUE DATE	JULY 2018
REVISION BY	Y.OO
DATE ISSUED	08/28/19
C.S. PROJECT #	MCD-23780

TITLE: **MRP - LOW VOLUME PROGRAM**
 VERSION: **BB20**
 DESCRIPTION: EXISTING WOOD WALL CONSTRUCTION, EXISTING WOOD ROOF TRUSSES

SHEET NO: **D2.2**
 DEMO. ELEVATIONS

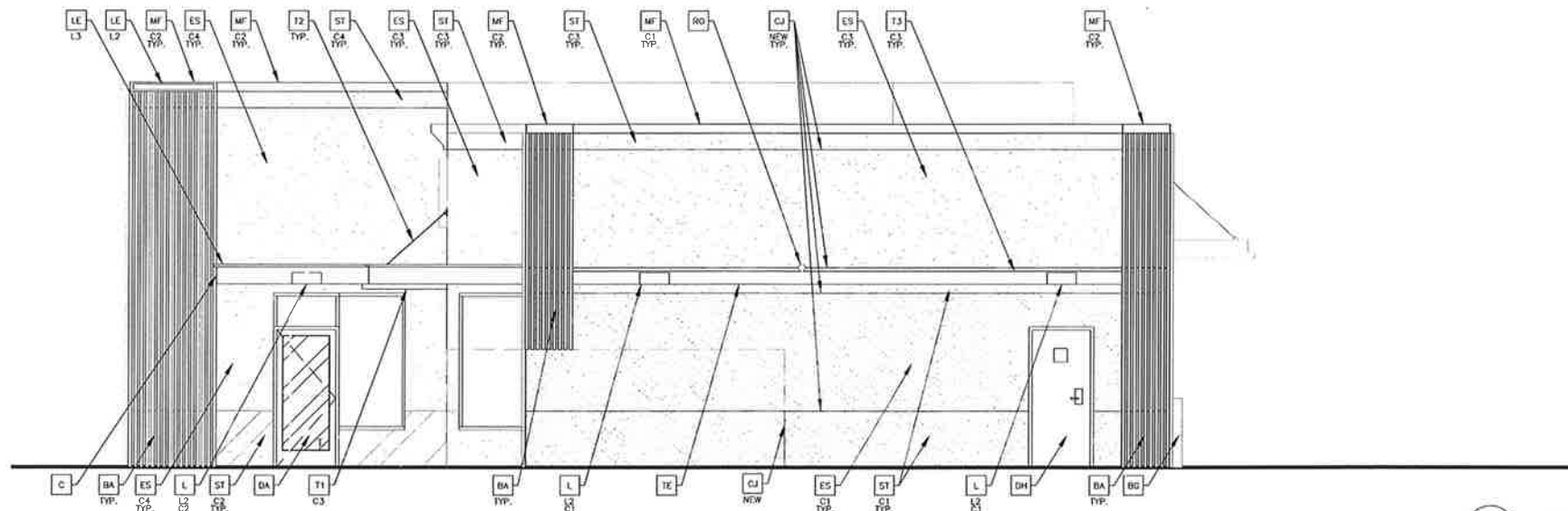
SITE ADDRESS: 170 IRON POINT ROAD, FOLSOM, CA 95630

- T/ PARAPET
ELEV. +19'-7 1/2" (V.I.F.)
- T/ PARAPET
ELEV. +17'-6" (V.I.F.)
- T/ EXIST. STOREFRONT
ELEV. +13'-10" (V.I.F.)
- B/ DT. TRELLIS
ELEV. +10'-11"
- B/ EXIST. STOREFRONT
ELEV. +1'-11" (V.I.F.)
- T/ EXIST. SLAB
ELEV. +0'-0"



1 FRONT ELEVATION
A2.1 1/4" = 1'-0"

- T/ PARAPET
ELEV. +19'-7 1/2" (V.I.F.)
- T/ PARAPET
ELEV. +17'-6" (V.I.F.)
- B/ CANOPY
B/TRELLIS
ELEV. +9'-4"
- T/ EXIST. STOREFRONT
ELEV. +8'-10 1/2" (V.I.F.)
- B/ EXIST. STOREFRONT
ELEV. +1'-11" (V.I.F.)
- T/ EXIST. SLAB
ELEV. +0'-0"



2 REAR ELEVATION
A2.1 1/4" = 1'-0"

SHOP DRAWINGS
SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT. DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.
SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
1. STOREFRONT GLAZING SYSTEM
2. TRELLIS/CANOPY SYSTEM

COLOR SCHEME NOTE
G.C. TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER & LEGAL SUBMISSION COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CONTACT INFO.

NOTES
1. STUCCO AND EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
2. ALIGN NEW STUCCO CONTROL JOINTS WITH EXISTING UNLESS OTHERWISE NOTED ON ELEVATION

COLOR SCHEME: 'STEEL'
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

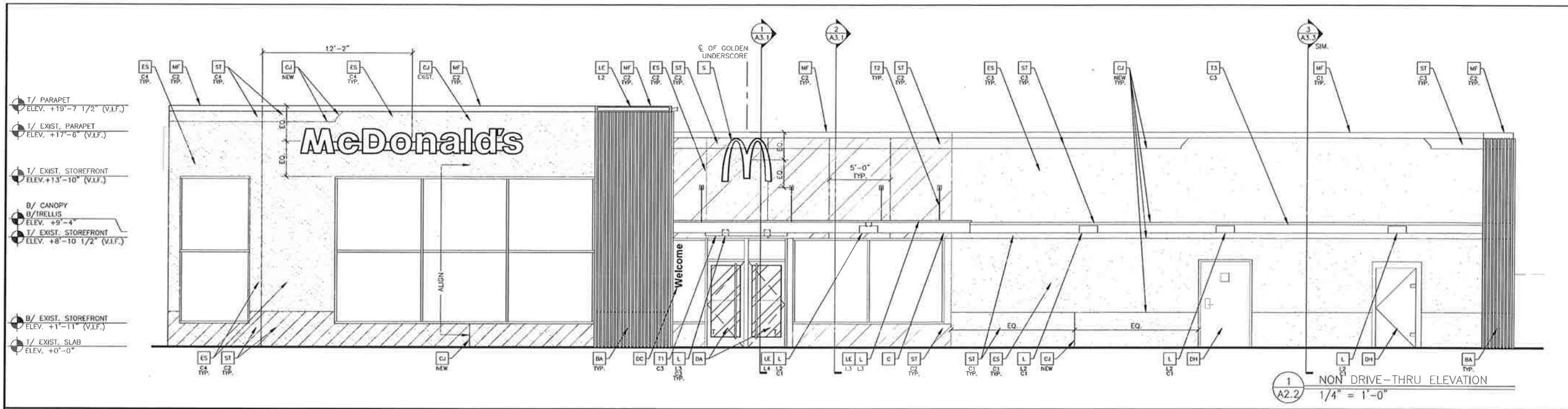
KEYNOTES

- BA 2"x2" ALUMINUM BATTENS FORTINA TLKS-5060
COLOR: TA-647 BY B+H INDUSTRIES ON FIBER CEMENT BACKER. COLOR: RAL 7022 ILLUMINATION BY NICHIA.
- BC PAINT EXISTING BOLLARD GUARD.
COLOR: SAFETY YELLOW
- C ALUMINUM CANOPY FASCIA SYSTEM
(COLOR: WHITE)
- CA CONTROL JOINT
- DA ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
- DC DECAL BY GRAPHIC SUPPLIER SURFACE APPLIED FIXED INSTALLED, PRE-CUT, PRE-SURFACED (SUPPLIER PER REGION, VERIFY WITH ACM).
- DH EXISTING HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- ES EXISTING STUCCO TO BE PAINTED
- XX - COLOR:
C1 = SW 7019 GAUNTLET GRAY BY SHERWIN WILLIAMS
C2 = RAL 7022
C3 = SW 7018 DOVETAIL BY SHERWIN WILLIAMS
C4 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- DR OUTLINE OF EXISTING GUARDRAIL - PAINT, COLOR TO MATCH BASE BUILDING COLOR
- L LIGHT FIXTURE - SEE ELECTRICAL
- L1 - TYPE:
L1 = UP AND DOWN SCIENCE
L2 = DOWN ONLY SCIENCE
L3 = RECESSED DOWN FIXTURE
L4 = FLOOD LIGHT
- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1 - LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- MF METAL FASCIA
PRE-FAB ANCHOR-TITE FASCIA
XX - COLOR:
C1 = CITYSCAPE
C2 = RAL 7022
- RO EXISTING ROOF DRAIN OVERFLOW OPENING TO REMAIN
- S McDONALD'S SIGNAGE
TYPE:
1-1 THRU 6 - SEE SIGNAGE PACKAGE
- ST STUCCO EXTERIOR FINISH
FINISH: HYDROPHOBIC / FINESSE
XX - COLOR:
C1 = SW 7019 GAUNTLET GRAY BY SHERWIN WILLIAMS
C2 = RAL 7022
C3 = SW 7018 DOVETAIL BY SHERWIN WILLIAMS
C4 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- T TEMPERED GLASS
- TE OUTLINE OF EXISTING TRASH ENCLOSURE - PAINT TO MATCH ADJACENT BUILDING WALL COLOR.
- T1 ALUMINUM TRELLIS SYSTEM
XX - COLOR:
C1 = CHARCOAL
C2 = WHITE
C3 = GOLD
- T2 ALUMINUM TRELLIS TIE-BACK SYSTEM
COLOR = CHARCOAL
- T3 2X6 FASCIA BAND
COLOR = CITYSCAPE
- W1 EXISTING DRIVE-THRU WINDOW

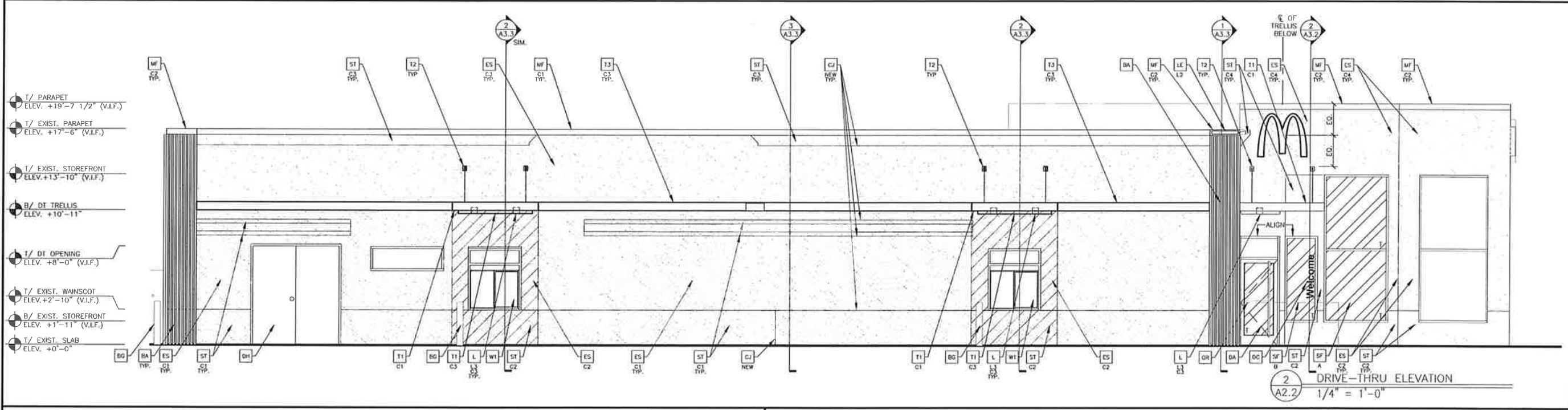
LEGEND



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TITLE: MRP - LOW VOLUME PROGRAM BB20 VERSION DESCRIPTION: EXISTING WOOD WALL CONSTRUCTION EXISTING WOOD ROOF TRUSSES	SHEET NO.: A2.1 ELEVATIONS
SITE ADDRESS: 004-3001 170 IRON POINT ROAD, FOLSOM, CA 95630	PROJECT #: 004-3001
REV. DATE DESCRIPTION BY	1 2



1 NON DRIVE-THRU ELEVATION
A2.2 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION
A2.2 1/4" = 1'-0"

SHOP DRAWINGS
SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
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COLOR SCHEME NOTE
G.C. TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER & LEGAL SUBMISSION COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CONTACT INFO.

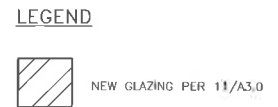
NOTES
1. STUCCO AND EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
2. ALIGN NEW STUCCO CONTROL JOINTS WITH EXISTING UNLESS OTHERWISE NOTED ON ELEVATION

COLOR SCHEME: 'STEEL'
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEYNOTES

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- BG PAINT EXISTING BOLLARD GUARD. COLOR: SAFETY YELLOW
- C ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)
- CJ CONTROL JOINT
- DA ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
- DC DECAL BY CANOPY SUPPLIER SURFACE APPLIED FIXED INSTALLED, PRE-CUT, PRE-SURFACED (SUPPLIER PER REGION, VERIFY WITH ACM).
- DH EXISTING HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- EH EXISTING STUCCO TO BE PAINTED
- XX - COLOR:
C1 = SW 7019 CAHNETLET GRAY BY SHERWIN WILLIAMS
C2 = RAL 7022
C3 = SW 7018 DOWTAL BY SHERWIN WILLIAMS
C4 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- GR OUTLINE OF EXISTING CHARNORAL - PAINT. COLOR TO MATCH BASE BUILDING COLOR
- L LIGHT FIXTURE - SEE ELECTRICAL
L1 - TYPE:
L1 = UP AND DOWN SCIENCE
L2 = DOWN ONLY SCIENCE
L3 = RECESSED DOWN FIXTURE
L4 = FLOOD LIGHT
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1 - LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTERNAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- MF METAL FASCIA PRE-FAB ANCHOR-TITE FASCIA
XX - COLOR:
C1 = CITYSCAPE
C2 = RAL 7022
- RD EXISTING ROOF DRAIN OVERFLOW OPENING TO REMAIN
- S McDONALD'S SIGNAGE
T-1 THRU 6 - SEE SIGNAGE PACKAGE

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C4 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- T TEMPERED GLASS
- YE OUTLINE OF EXISTING TRASH ENCLOSURE - PAINT TO MATCH ADJACENT BUILDING WALL COLOR.
- T1 ALUMINUM TRELLIS SYSTEM
XX - COLOR:
C1 = CHARCOAL
C2 = WHITE
C3 = GOLD
- T2 ALUMINUM TRELLIS TIE-BACK SYSTEM
COLOR = CHARCOAL
- T3 2X8 FASCIA BAND
COLOR = CITYSCAPE
- W1 EXISTING DRIVE-THRU WINDOW



	<p>DATE: _____</p> <p>REV: _____</p> <p>DESCRIPTION: _____</p>						
<p>PREPARED FOR: McDonald's USA, LLC</p> <p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>07/28/18</td> <td>ISSUE FOR PERMITS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	07/28/18	ISSUE FOR PERMITS	<p>DATE: _____</p> <p>REV: _____</p> <p>DESCRIPTION: _____</p>
NO.	DATE	DESCRIPTION					
1	07/28/18	ISSUE FOR PERMITS					
<p>PROJECT NO.: 004-3001</p> <p>SHEET NO.: A2.2</p> <p>PROGRAM: LOW VOLUME PROGRAM</p> <p>VERSION: BQZ</p> <p>DESCRIPTION: EXISTING WOOD WALL CONSTRUCTION, EXISTING WOOD ROOF TRUSSES</p> <p>DATE: 07/28/18</p> <p>BY: Y.D.O.</p> <p>PROJECT # MCD-23760</p> <p>ADDRESS: 170 IRON POINT ROAD, FOLSOM, CA 95630</p>	<p>DATE: _____</p> <p>REV: _____</p> <p>DESCRIPTION: _____</p>						

Planning Commission
McDonald's Restaurant Remodel (PN 18-362)
February 20, 2019

ATTACHMENT 7
Color Elevations, Dated January 1, 2019

- T/ PARAPET
ELEV. +19'-7 1/2" (V.I.F.)
- T/ PARAPET
ELEV. +17'-6" (V.I.F.)
- T/ EXIST. STOREFRONT
ELEV. +13'-10" (V.I.F.)
- B/ DT TRELLIS
ELEV. +10'-11"
- B/ CANOPY
ELEV. +9'-4"
- B/ EXIST. STOREFRONT
ELEV. +1'-11" (V.I.F.)
- T/ EXIST. SLAB
ELEV. +0'-0"



Front Elevation

- T/ PARAPET
ELEV. +19'-7 1/2" (V.I.F.)
- T/ PARAPET
ELEV. +17'-6" (V.I.F.)
- B/ DT TRELLIS
ELEV. +10'-11"
- B/ CANOPY
ELEV. +9'-4"
- T/ EXIST. STOREFRONT
ELEV. +8'-10 1/2" (V.I.F.)
- B/ EXIST. STOREFRONT
ELEV. +1'-11" (V.I.F.)
- T/ EXIST. SLAB
ELEV. +0'-0"



Rear Elevation

- T/ PARAPET
ELEV. +19'-7 1/2" (V.I.F.)
- T/ EXIST. PARAPET
ELEV. +17'-6" (V.I.F.)
- T/ EXIST. STOREFRONT
ELEV. +13'-10" (V.I.F.)
- B/ CANOPY
ELEV. +9'-4"
- B/ TRELLIS
ELEV. +9'-4"
- T/ EXIST. STOREFRONT
ELEV. +8'-10 1/2" (V.I.F.)
- B/ EXIST. STOREFRONT
ELEV. +1'-11" (V.I.F.)
- T/ EXIST. SLAB
ELEV. +0'-0"



Non-Drive-Thru Side Elevation

- Materials Legend**
- Stucco (Main Building)
"Bleeker Beige" by Benjamin Moore
 - Stucco (Accent)
"RAL 7022"
 - Stucco (Accent)
"White Sand" by Benjamin Moore
 - Aluminum Canopy (Prefinished Metal)
White
 - Glazing (Windows & Storefront)
1" Insulated Clear Glass
 - Aluminum Trellis (Prefinished Metal)
Charcoal
 - Metal Coping
"RAL 7022"
 - Metal Coping / 2x8 Fascia Band
"City Scape" by Metal Era
 - 2x2 Wood Batten (Prefinished Alur)
 - Existing Mullions
Black
 - Aluminum Trellis (Prefinished Metal)
Gold Pantone 123
 - Stucco (Accent)
"Alexandria Beige" by Benjamin Moore

- T/ EXIST. PARAPET
ELEV. +17'-6" (V.I.F.)
- T/ EXIST. STOREFRONT
ELEV. +13'-10" (V.I.F.)
- B/ DT TRELLIS
ELEV. +10'-11"
- B/ CANOPY
ELEV. +9'-4"
- T/ DT OPENING
ELEV. +8'-0" (V.I.F.)
- T/ EXIST. WAINSCOT
ELEV. +2'-10" (V.I.F.)
- B/ EXIST. STOREFRONT
ELEV. +1'-11" (V.I.F.)
- T/ EXIST. SLAB
ELEV. +0'-0"



Drive-Thru Side Elevation

Planning Commission
McDonald's Restaurant Remodel (PN 18-362)
February 20, 2019

Attachment 8
Approved Building Elevations and Color Palette
for the Folsom Premium Outlets



March 10, 1997

Scott Johnson
City of Folsom
Planning, Inspections and Permitting Department
50 Natoma Street
Folsom, California 95630

RE: FOLSOM PREMIUM OUTLETS

Dear Scott:

As we discussed, attached is a colored Xerox of the colors as approved by the City of Folsom as follows:

Building 11:

- P1 Mustard-brown #189 (Benj. Moore) replaces purple arches -(continuous to grade except at retaining wall), replaces existing terra-cotta legs at tower base
- P2 Terra-cotta #056 (Benj. Moore) add inside tower arch
- P3 Yellow #180 (Benj. Moore)
- P4 Green #466 (Benj. Moore)
- Trim Grey Ameritone Fawn Phantom

Building 12:

- P1 Mustard-brown #189 (Benj. Moore)
- P2 Terra cotta #056 (Benj. Moore)
- P3 Yellow #KM539-M (Kelly Moore)
- P4 Green #KM333 base 1/4 C-9,D-161/2,L-49 Custom (Kelly Moore)
- Trim Grey Ameritone Fawn Phantom

All recessed areas behind the awnings are to be P1 Mustard-brown.

We will incorporate a similar color scheme throughout the remaining 13 buildings.

Please advise me if you have any questions.

Sincerely

Matt Connolly
Project Manager
CHELSEA GCA REALTY INC.
SJ/310:MC:ac



180 305 193



056



466

PROPOSED COLORS



EAST ELEVATION (BUILDINGS 12 & 11)



SOUTH ELEVATION (BUILDINGS 14 & 15)



SOUTH ELEVATION (BUILDINGS 12 & 13)



EXISTING PHASE II BUILDING ELEVATIONS (TYP.)

ELEVATIONS

FOLSOM FACTORY OUTLET: PHASE III

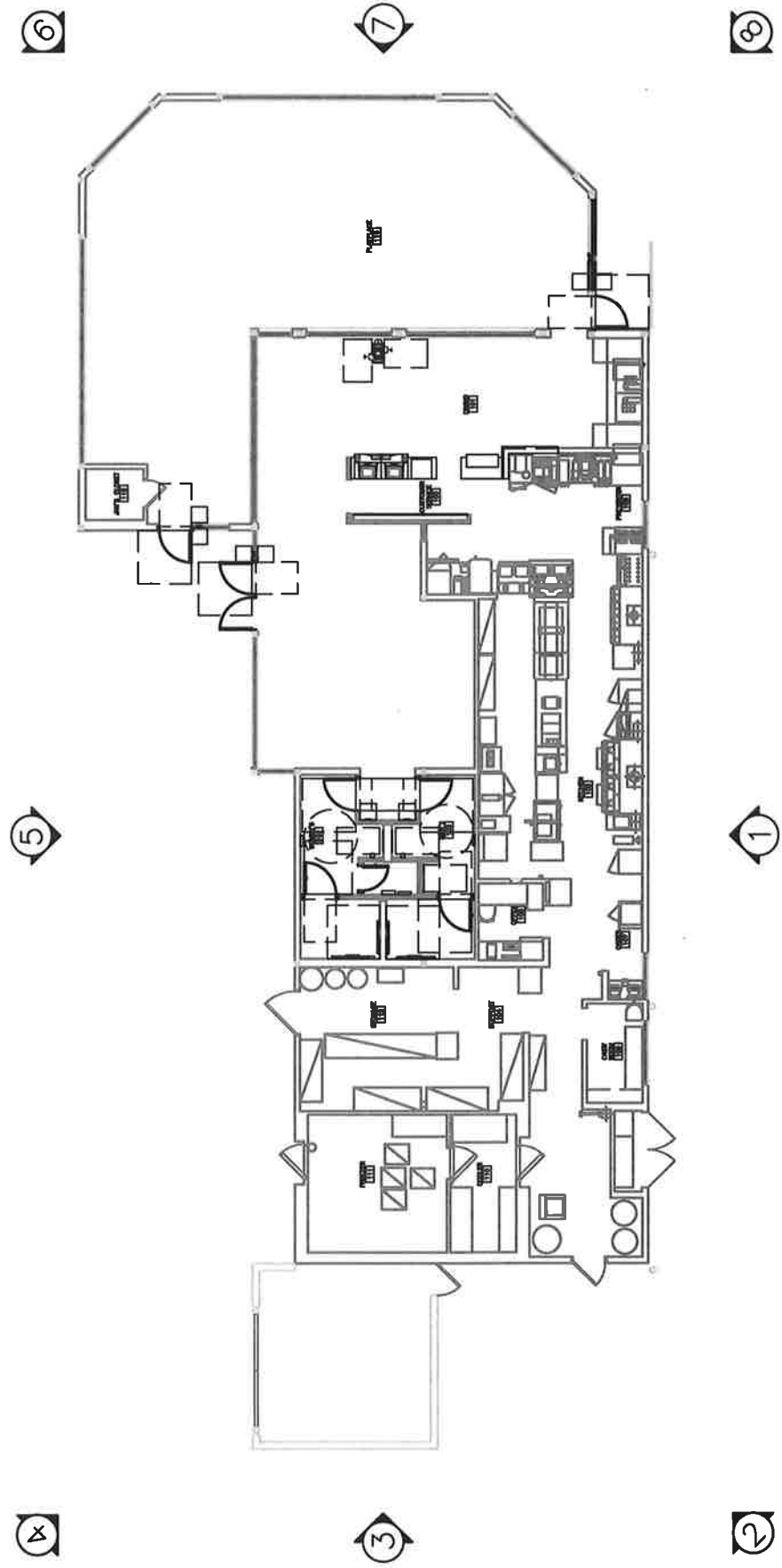
FOLSOM, CALIFORNIA



Planning Commission
McDonald's Restaurant Remodel (PN 18-362)
February 20, 2019

Attachment 9 Site Photographs

SITE PHOTO REPORT
107 IRON POINT RD.
FOLSOM, CA 95630





AERIAL



















Planning Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: Russell Ranch Phase 1, Villages 1 and 2 Residential Design Review
File #: PN-19-016
Request: Residential Design Review
Location: Russell Ranch Subdivision within Folsom Plan Area (Amber Grove Court, High Point Court, and Prairie Gold Circle)
Staff Contact: Steve Banks, Principal Planner, 916-461-6207
sbanks@folsom.ca.us

Property Owner

Name: The New Home Company
Address: 2220 Douglas Boulevard, Suite No. 240, Roseville, CA 95661

Applicant

Name: The New Home Company
Address: 2220 Douglas Boulevard, Suite No. 240, Roseville, CA 95661

Recommendation: Conduct a public hearing and upon conclusion recommend approval of a Residential Design Review Application for 77 single-family residential units as illustrated on Attachments 5 through 9 for the Russell Ranch Phase 1, Villages 1 and 2 Subdivision project (PN 19-016) subject to the findings and conditions of approval attached to this report.

Project Summary: The proposed project involves a request for residential design review approval for 77 traditional single-family residential units located within Phase 1, Villages 1 and 2 of the previously approved Russell Ranch Subdivision project. In particular, the applicant is requesting design review approval for three (3) individual master plans within Villages 1 and 2. Six distinct California heritage-themed architectural styles and twelve color and material alternatives are incorporated among the three master plans.

Table of Contents:

- 1 - Description/Analysis
- 2 - Background
- 3 - Conditions of Approval
- 4 - Vicinity Map
- 5 - Russell Ranch Phase 1 Lot Mix Exhibit and Site Plan



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 2
Type: Public Hearing
Date: February 20, 2019

- 6 - Typical Lot Layout, dated January, 2019
- 7 - Color Street Scene
- 8 - Building Elevations and Floor Plans, dated January 22, 2019
- 9 - Color and Material Palette, dated January 17, 2019
- 10 - Russell Ranch Design Guidelines

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, The New Home Company, is requesting residential design review approval for 77 traditional single-family residential units located within Phase 1, Villages 1 and 2 of the previously approved Russell Ranch Subdivision project. Specifically, the applicant is requesting design review approval for three (3) individual master plans within Villages 1 and 2. The master plans include six (6) distinct California heritage-themed architectural styles (California Cottage, California Craftsman, California Prairie, California Wine Country, Modern Farmhouse, and Spanish Colonial Revival) and twelve (12) color and material alternatives.

The proposed master plans, which feature two, single-story models and one, two-story model, range in size from 2,978 to 4,164 square feet (3BR/3.5BA to 5BR/4.5BA) and include an attached three-car garage (includes one tandem parking bay). The three classic design themes are characterized by a variety of unique architectural elements including varied roof shapes and forms, covered entries, distinct window design, and enhanced decorative elements. Proposed building materials include smooth and sanded stucco, vertical and horizontal board and batten siding, wood shingle siding, stone veneer, brick veneer, decorative wood shutters, exposed wood rafters, wrought iron detailing, form and wood window trim, multi-paned windows, themed garage doors, decorative light fixtures, accent metal roofing, and concrete roof tiles. In addition, there are 12 distinct color and material alternatives available for each of the master plans resulting in 108 different visual expressions.

POLICY/RULE

Folsom Municipal Code (FMC), Section 17.06.030 requires that single-family residential master plans submit a Design Review Application for approval by the Planning Commission.

ANALYSIS

As described previously within the applicant's proposal, the proposed project features three master plans with six distinct architectural themes that have been chosen from the traditional heritage of California home styles including California Cottage, California Craftsman, California Prairie, California Wine Country, Modern Farmhouse, and Spanish Colonial Revival. The following is a description of each of the aforementioned architectural styles proposed for Villages 1 and 2 within the Russell Ranch Subdivision:

California Cottage

The California Cottage is a style that evolved out of medieval Tudor and Normandy architecture. This evolving character that eventually resulted in the English and French “Cottage” became extremely popular when the addition of stone and brick veneer details was developed in the 1920’s. Although the cottage is looked upon as small and unpretentious, the style was quickly recognized as one of the most popular in America. Designs for the homes typically reflected the rural setting in which they evolved. Many established older neighborhoods across the United States contain homes with the charm and character of this unpretentious style. Roof pitches for these homes are steeper than traditional homes, and are comprised of gables, hips, and half-hip forms. The primary material is stucco with heavy use of stone and brick at bases, chimneys, and entry elements. Some of the most recognizable features for this style are the accent details in gable ends, sculptured swooping walls at the front elevation, and tower or alcove elements at the entry.

California Craftsman

Influenced by the English Arts and Crafts movement of the late 19th century and stylized by California architects Charles and Henry Greene in the early 1900’s, the Craftsman style focused on exterior elements with tasteful and artful attention to detail. Originating in California, Craftsman architecture relied on the simple house tradition, combining hip and gable roof forms with wide, livable porches, and broad overhanging eaves. Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature is emphasized by exposed rafter tails and knee braces below broad overhanging eaves constructed in rustic-textured building materials. The overall effect is the creation of a natural, warm, and livable home of artful and expressive character.

California Prairie

The California Prairie design, also referred to as Modern Prairie, is a late 19th and early 20th century architectural style that has its roots in the City of Chicago. Frank Lloyd Wright, the most famous proponent of this architectural style, promoted the idea of “organic architecture”, the primary principal of which was that a structure should look as if it belongs on the site as if it naturally grew there. California Prairie is a distinctly American style defined by simple structured massing, horizontal lines, and flat or hipped roofs with broad overhanging eaves. The California Prairie style is also recognized for its use of brick, stone, and stucco exteriors with restrained application of ornamental materials.

California Wine Country

Present in more rural, agrarian parts of California and influenced by the vineyard estates scattered throughout California’s wine country, the California Wine Country style has a built-over-time feel, expressed through its rustic material palette and building

forms. Comparable to elements of Western Farmhouse and Early California Ranch, as defined by the Russell Ranch Design Guidelines, the form is humble and simple in its appearance. Gable roofs dominate and exhibit steep roof pitches, while roof tails further distinguish the style. Windows appear as structured compositional elements, emphasized by wrapping foam trim and over grouted stone. A rich material palette of stucco, stone veneer, and textured concrete roof tile contributes to feeling that the structure was developed over time, while the clean execution of its form and materials provides a distinctly contemporary impression.

Modern Farmhouse

Representative of farmhouse vernaculars scattered throughout the American plains and coastal communities, the Modern Farmhouse style recalls the classic spirit of one of the nation's most enduring designs. Reflecting the essential elements of the aesthetic, the Modern Farmhouse style is simplistic in its form and features predominately gable roofs. The detailing is modest, expressed through wood post columns, distinctive wood trim, and metal roof elements. Porches and single-story elements break up the two-story form and add a sense of movement. Adding to its allure, an attractive material palette composed of stucco, board and batten siding, flat concrete roof tiles, and brick veneer further contribute to the inviting nature of this aesthetic.

Spanish Colonial Revival

The Spanish Colonial style evolved in California and the southwest as an adaptation of Mission Revival infused with additional elements and details from Latin America. The style attained widespread popularity after its use in the Panama-California Exposition of 1915. Key features of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability, and contrasts of materials and textures.

The proposed project, which is located within the eastern portion of the Folsom Plan Area, is subject to the Russell Ranch Design Guidelines, which were originally approved by the City Council in 2015 and modified on March 27, 2018. The Design Guidelines are a complementary document to the Folsom Plan Area Specific Plan and the Folsom Plan Area Specific Plan Community Guidelines. The Design Guidelines, which are intended to act as an implementation tool for residential development within the Russell Ranch Subdivision, provide the design framework for architecture, streetscene, and landscaping to convey a master plan identity. While these Design Guidelines establish the quality of architectural and landscape development for the overall subdivision, they are not intended to prevent alternative designs and/or concepts that are compatible with the overall project theme.

As a regulatory tool, the Design Guidelines are intended to assist applicants in creating single-family residential neighborhoods that reflect the City's rich history, reinforce the sense of community, and utilize sustainable best practices. The Design Guidelines also provide the framework for design review approval of residential projects within the Russell Ranch Subdivision. In addition, the Design Guidelines are intended to be used by builders and developers when designing their Master Plot Plans. Any development project that is submitted to the City must be reviewed for consistency with these Design Guidelines. The following are the general architectural principles intended to guide the design of the Russell Ranch Subdivision to ensure quality development:

- Master Home Plan series must include a minimum of three unique building elevations
- Provide an elegant and diverse streetscape
- Building massing must be appropriate and authentic to the architectural style
- Horizontal and vertical articulation is required
- Include varied roof shapes and forms
- Avoid repetition of identical architectural styles
- Ensure four-sided architecture is provided
- Highly visible lots require additional architectural enhancements

In addition to the general architectural principles referenced above, the Design Guidelines also provide specific direction regarding a number of architectural situations and features including building forms, roof details, wall materials, window and door designs, and decorative details. Each of the architectural styles is required to include a specific set of style elements (form, roof, walls, windows/doors, and details) based on the particular design theme. Based on the highly visible nature of the residential lots within the Russell Ranch Subdivision, the Design Guidelines also require that corner lots and lots adjacent to open space provide additional enhanced elements above and beyond the minimum required style elements for the building elevations facing the street(s) and open space areas respectively. The following are examples of required and enhanced style elements that are relevant to the proposed project:

- Provide symmetrical or asymmetrical form

- Utilize simple massing, front or side gabled
- Include a deep front entry porch
- Provide low-pitched roofs with large over-hanging eaves
- Wall materials should include stucco, lap siding, wood shingles, and masonry/brick
- Use windows individually or in groups
- Provide head and sill window trim or full window surrounds
- Utilize two stories with combination of one and two-story elements (enhanced element)
- Include steep pitched accent gable (enhanced element)
- Provide smooth or imperfect smooth stucco (enhanced element)
- Utilize casement windows (enhanced element)
- Feature entry porch columns with single or multiple posts (enhanced element)
- Include exposed rafter tails or eaves (enhanced element)

In reviewing the architecture and design of the project, staff determined that the design of the three proposed master plans (which also include 6 elevation plans, 12 color and material alternatives, and 108 architectural and visual expressions) accurately reflect the level and type of high quality design features recommended by the Russell Ranch Design Guidelines. Specifically, the master plans are responsive to views on all four building elevations and include a variety of unique architectural elements that create an interesting streetscape scene including: varied roof shapes and forms, covered entries, themed garage doors, distinct window design, and enhanced decorative elements. In addition, each of the proposed master plans meet or exceed the minimum and enhanced style element requirements as articulated in the Design Guidelines.

The proposed building materials (smooth and sanded stucco, vertical and horizontal board and batten siding, wood shingle siding, stone veneer, brick veneer, decorative wood shutters, exposed wood rafters, wrought iron detailing, form and wood window trim, multi-paned windows, themed garage doors, decorative light fixtures, accent metal

roofing, and concrete roof tiles) are consistent with the materials recommended by the Russell Ranch Design Guidelines. In addition, the proposed project includes distinct color schemes, which are consistent with each of the architectural styles, thus enhancing the visual interest of each of the master plans. Taking into consideration the aforementioned architectural details, materials, and colors, staff has determined that the master plans are consistent with the design principles established by the Russell Ranch Design Guidelines. Staff forwards the following design recommendations to the Commission for consideration:

1. This approval is for three, one and two-story master plans (6 building elevations with 12 color and material options and 108 visual expressions) for the Russell Ranch Villages 1 and 2 Subdivision. The applicant shall submit building plans that comply with this approval, the attached building elevations dated January 22, 2019.
2. The design, materials, and colors of the proposed Russell Ranch Villages 1 and 2 Subdivision single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.
3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roofline, same elevation style, side-by-side, or across the street from each other.
4. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view or screened from open space areas.
5. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way. In addition, final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits.

ENVIRONMENTAL REVIEW

An Environmental Impact Report has previously been certified for the Russell Ranch Subdivision project on May 15, 2015 by the City Council in accordance with the requirements of the California Environmental Quality Act (CEQA) and the CEQA Guidelines. Staff has determined that no new impacts will result from development of the subject project that were not already considered with the previous approval. No

further environmental review is required.

RECOMMENDATION/PLANNING COMMISSION ACTION

Move to Approve the Design Review Application for 77 single-family residential units as illustrated on Attachments 5 through 9 for the Russell Ranch Phase 1, Villages 1 and 2 Subdivision project with the following findings and conditions of approval included as Attachment 3.

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE RUSSELL RANCH SUBDIVISION DESIGN GUIDELINES.

CEQA FINDINGS

- C. AN ENVIRONMENTAL IMPACT REPORT HAS PREVIOUSLY BEEN CERTIFIED FOR THE RUSSELL RANCH SUBDIVISION PROJECT ON MAY 15, 2015 BY THE CITY COUNCIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).
- D. NO NEW IMPACTS WILL RESULT FROM DEVELOPMENT OF THE SUBJECT PROJECT THAT WERE NOT ALREADY CONSIDERED WITH THE PREVIOUS APPROVAL.
- E. NO FURTHER ENVIRONMENTAL REVIEW IS REQUIRED.

DESIGN REVIEW FINDINGS

- F. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN, THE FOLSOM PLAN AREA SPECIFIC PLAN, AND THE APPLICABLE ZONING ORDINANCES.
- G. THE PROJECT IS IN CONFORMANCE WITH THE RUSSELL RANCH DESIGN GUIDELINES.
- H. THE BUILDING MATERIALS, TEXTURES, AND COLORS OF THE PROJECT WILL BE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

ATTACHMENT 2 BACKGROUND

BACKGROUND

On May 15, 2015, the City Council approved a General Plan Amendment, Specific Plan Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, Planned Development Permit, Design Guidelines, Inclusionary Housing Plan, and Amended and Restated Development Agreement Amendment for development of an 879-unit single-family residential subdivision known as the Russell Ranch Subdivision within the eastern portion of the Folsom Plan Area. As part of the aforementioned approvals, the Russell Ranch Design Guidelines were established to act as an implementation tool for residential development within the Russell Ranch Subdivision.

On June 28, 2016, the City Council approved an Amended Large-Lot Vesting Tentative Subdivision Map and an Amended Small-Lot Vesting Tentative Subdivision Map for development of an 852-unit single-family residential subdivision (Russell Ranch Subdivision). On March 27, 2018, the City Council approval of a General Plan Amendment, Specific Plan Amendment, Design Guidelines Amendment, Large-Lot Vesting Tentative Subdivision Map, Small-Lot Vesting Tentative Subdivision Map, and Development Agreement Amendment for the development of an 389-unit residential subdivision (Russell Ranch Lots 24-32 Subdivision). The Design Guidelines Amendment provided additional direction in terms of the architecture and design of the active-adult community, the community center, and the townhome portions of the Russell Ranch Subdivision.

On October 17, 2018, the Planning Commission approved a Design Review Application for 114 single-family "court-style" residential units located within Phase 1, Village 4 (Courts at Russell Ranch) of the previously approved Russell Ranch Subdivision project. The design review approval for Village 4 included three individual master plans with three distinct California heritage-themed architectural styles (Bungalow, California Cottage, and Craftsman) and nine color and material alternatives.

On November 7, 2018, the Planning Commission approved a Design Review Application for 95 traditional single-family residential units located within Phase 1, Villages 6 and 8 of the previously approved Russell Ranch Subdivision project. The design review approval for Villages 6 and 8 included four individual master plans with three distinct California heritage-themed architectural styles (California Prairie, Modern Farmhouse, and Spanish Eclectic) and nine color and material alternatives. Also on November 7, 2018, the Planning Commission approved a Design Review Application for 108 traditional single-family residential units located within Phase 1, Villages 3, 5, and 7 of the Russell Ranch Subdivision project. The design review approval for Villages 3, 5 and 7 included four individual master plans with three distinct California heritage-themed architectural styles (California Prairie, California Villa, and California Wine Country) and nine color and material alternatives.

GENERAL PLAN DESIGNATION	SF (Single Family)
SPECIFIC PLAN DESIGNATION	SP-SF PD (Specific Plan-Single Family, Planned Development District)
ADJACENT LAND USES/ZONING	North: Open Space (SP OS1/OS2) with Alder Creek Parkway Beyond South: Undeveloped Residential Property (SP-SFHD PD) with Grand Prairie Road Beyond East: Undeveloped Residential Property (SP-SFHD PD) with Grand Prairie Road Beyond West: Undeveloped Residential Property (SP-SFHD PD) with Placerville Road Beyond
SITE CHARACTERISTICS	The two project sites have been fully graded and site improvements (underground utilities, roadways, curbs, gutters, sidewalks, etc.) are currently in the process of being constructed
APPLICABLE CODES	FPASP (Folsom Plan Area Specific Plan) Russell Ranch Design Guidelines <u>FMC</u> 17.06, Design Review

Attachment 3
Conditions of Approval

CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH VILLAGES 1 AND 2 SUBDIVISION PROJECT (PN 19-016) EAST OF PLACERVILLE ROAD AND NORTH OF GRAND PRAIRIE ROAD RESIDENTIAL DESIGN REVIEW				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.		The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below: <ul style="list-style-type: none"> • Russell Ranch Phase 1 Lot Mix Exhibit and Site Plan • Typical Lot Layout, dated January, 2019 • Color Street Scene • Building Elevations and Floor Plans, dated January 22, 2019 • Color and Material Palette, dated January 17, 2019 This project approval is for Russell Ranch Villages 1 and 2 Subdivision Residential Design Review, which includes architectural and design details for 77 single-family residential units situated within Villages 1 and 2 of the Russell Ranch Subdivision project. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.	B	CD (P)(E)
2.		Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.	B	CD (P)(E)(B)
3.		The project approvals granted under this staff report (Residential Design Review) shall remain in effect for two years from final date of approval (February 20, 2021). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.	B	CD (P)

CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH VILLAGES 1 AND 2 SUBDIVISION PROJECT (PN 19-016) EAST OF PLACERVILLE ROAD AND NORTH OF GRAND PRAIRIE ROAD RESIDENTIAL DESIGN REVIEW			
Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD, NS
DEVELOPMENT COSTS AND FEE REQUIREMENTS			
5.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.	The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)

CONDITIONS OF APPROVAL FOR THE RUSSELL RANCH VILLAGES 1 AND 2 SUBDIVISION PROJECT (PN 19-016) EAST OF PLACERVILLE ROAD AND NORTH OF GRAND PRAIRIE ROAD RESIDENTIAL DESIGN REVIEW				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
8.		<p>If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.</p>	B	CD (P)(E)
9.		<p>This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (February 20, 2019). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.</p>	B	CD (P)(E), PW, PK
10.		<p>The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.</p>	B	CD (P)

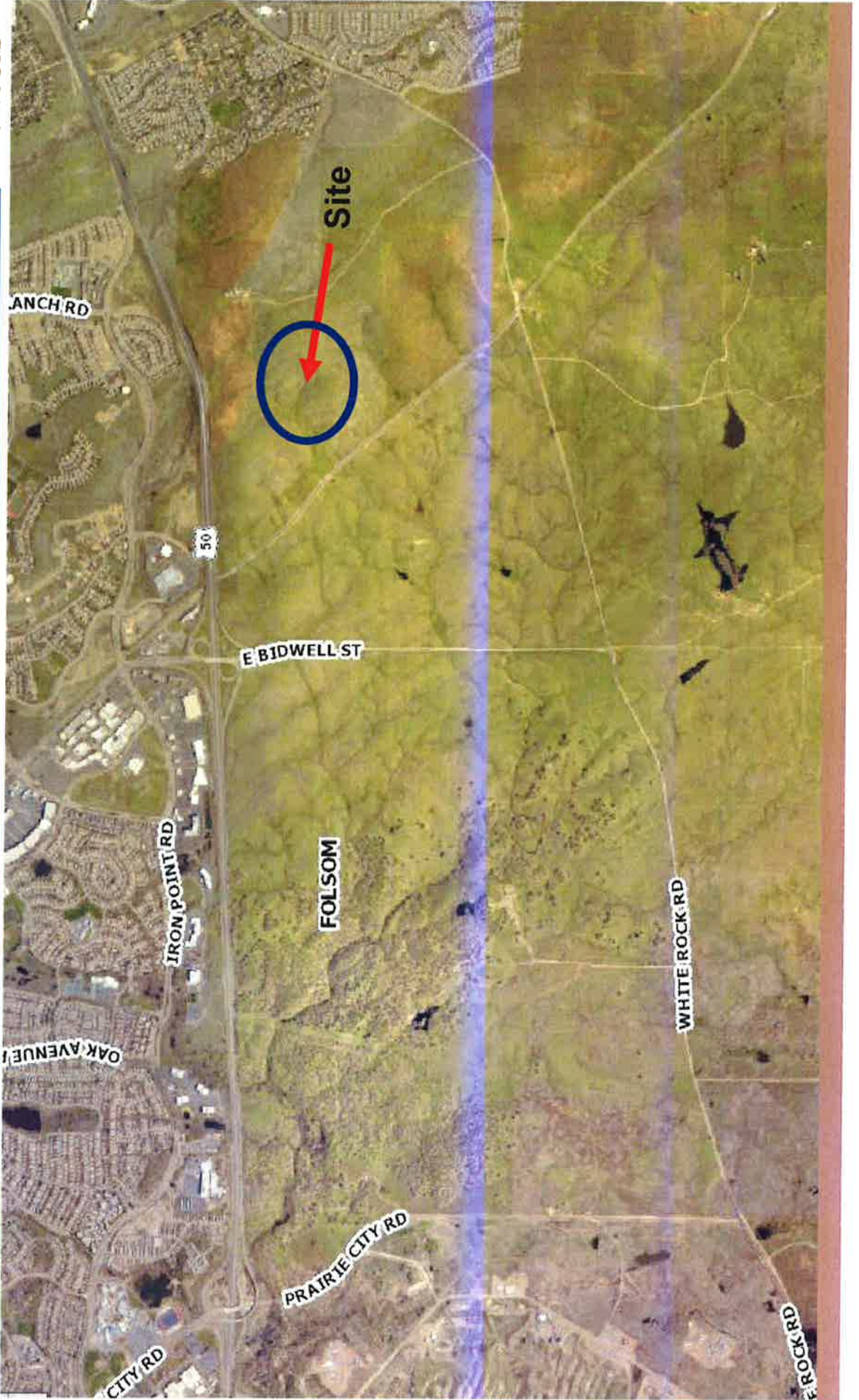
Planning Commission
Russell Ranch Phase 1, Villages 1 and 2 Residential Design Review (PN 19-016)
February 20, 2019

Attachment 4 Vicinity Map

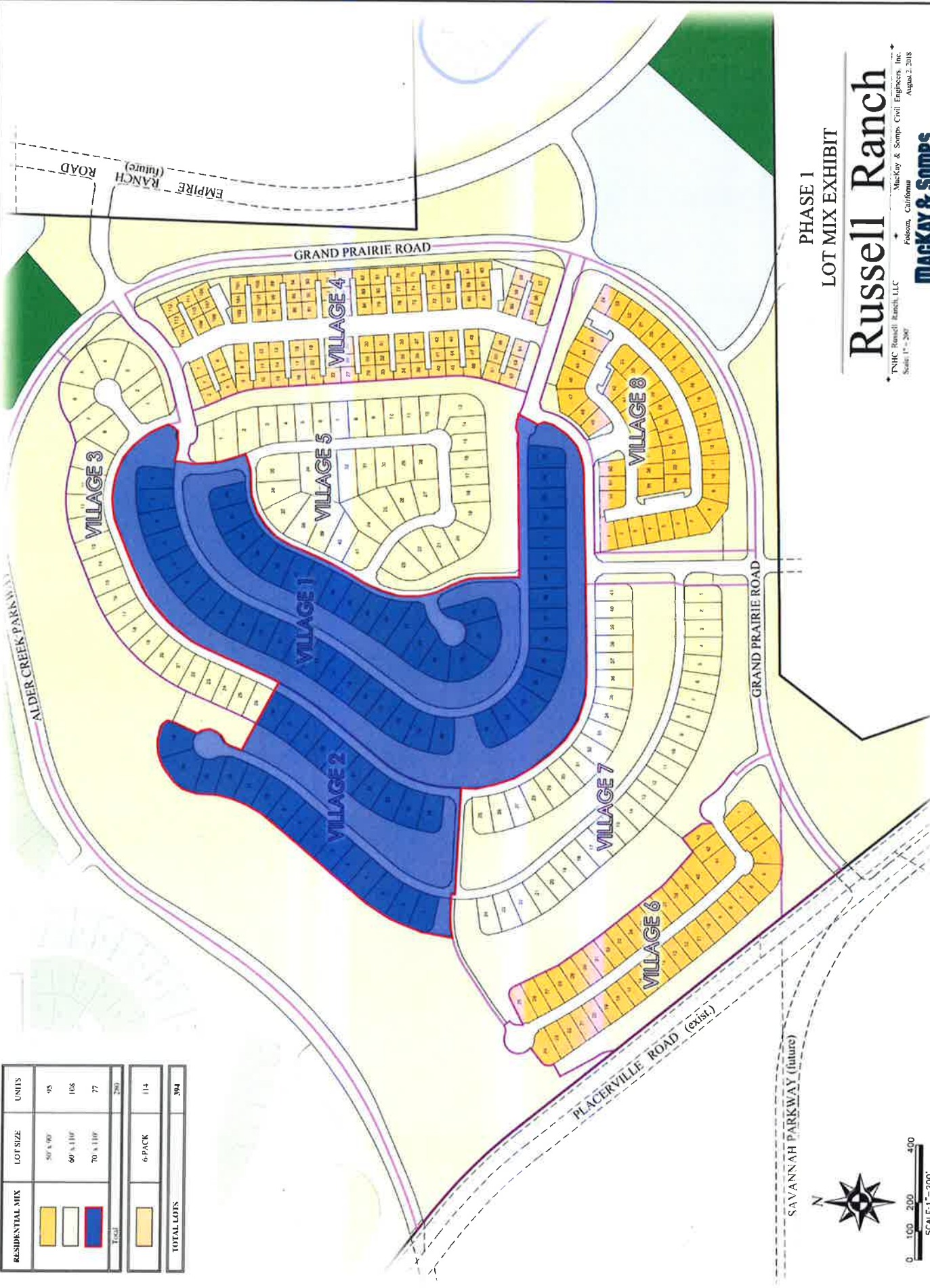
Vicinity Map



CITY OF
FOLSOM



Attachment 5
Russel Ranch Phase 1 Lot Mix Exhibit and
Site Plan



PHASE 1
LOT MIX EXHIBIT

Russell Ranch

TNRC Russell Ranch, LLC
Mackay & Somps, Civil Engineers, Inc.
Folsom, California August 2, 2018
Scale: 1" = 200'

MACKAY & SOMPS
ENGINEERS PLANNERS SURVEYORS

RESIDENTIAL MIX	LOT SIZE	UNITS
	50' x 90'	95
	60' x 110'	108
	70' x 110'	77
Total		280
	6-PACK	114
TOTAL LOTS		394



Attachment 6
Typical Lot Layout, dated January, 2019

Planning Commission
Russell Ranch Phase 1, Villages 1 and 2 Residential Design Review (PN 19-016)
February 20, 2019

Attachment 7 Color Street Scene

RUSSELL RANCH 70' X 110'

FOLSOM, CALIFORNIA



PLAN 1 - CALIFORNIA WINE COUNTRY

PLAN 2 - SPANISH COLONIAL REVIVAL

PLAN 3 - CALIFORNIA RANCH

PLAN 1 - MODERN RANCH

SHEET INDEX

L1.1	SITE PLAN	A13	PLAN 2 FRONT ELEVATIONS
L2.1	PRELIMINARY LANDSCAPE PLAN	A14	PLAN 2 "A" ELEVATIONS
A1	PRELIMINARY LANDSCAPE PLAN	A14.1	PLAN 2 "A" ELEVATIONS
A2	SPANISH COLONIAL REVIVAL STYLE SHEET	A15	PLAN 2 "B" ELEVATIONS
A3	CALIFORNIA COTTAGE STYLE SHEET	A15.1	PLAN 2 "B" ELEVATIONS
A4	MODERN FARMHOUSE STYLE SHEET	A16	PLAN 2 "C" ELEVATIONS
A5	CALIFORNIA CRAFTSMAN STYLE SHEET	A16.1	PLAN 2 "C" ELEVATIONS
A6	CALIFORNIA WINE COUNTRY STYLE SHEET	A17	FLOOR PLAN 2
A7	CALIFORNIA PRAIRIE STYLE SHEET	A18	SLAB PLAN 2
A8	PLAN 1 FRONT ELEVATIONS	A19	PLAN 3 FRONT ELEVATIONS
A8.1	PLAN 1 "B" ELEVATIONS	A20	PLAN 3 "A" ELEVATIONS
A9	PLAN 1 "B" ELEVATIONS	A20.1	PLAN 3 "A" ELEVATIONS
A10	PLAN 1 "C" ELEVATIONS	A21	PLAN 3 "E" ELEVATIONS
A10.1	PLAN 1 "C" ELEVATIONS	A21.1	PLAN 3 "E" ELEVATIONS
A11	PLAN 1 "D" ELEVATIONS	A22	PLAN 3 "F" ELEVATIONS
A12	PLAN 1 "D" ELEVATIONS	A22.1	PLAN 3 "F" ELEVATIONS
	FLOOR PLAN 1	A23	FLOOR PLAN 3
	SLAB PLAN 1	A23.1	FLOOR PLAN 3
		A24	SLAB PLAN 3

PROPOSED GENERAL SUMMARY

CONSTRUCTION TYPE: 1-STORY AND 2-STORY SINGLE FAMILY DETACHED HOMES	
PLAN 1	2,978 SQ. FT. 3 BEDROOM / DEN / 3.5 BATH 3-CAR GARAGE
PLAN 2	3,483 SQ. FT. 4 BEDROOM / FORMAL DINING / DEN / 4.5 BATH 3-CAR GARAGE
PLAN 3	4,164 SQ. FT. 5 BEDROOM / FORMAL DINING / BONUS ROOM / 4.5 BATH 3-CAR GARAGE

ARCHITECT:
BASSENIAN | LAGONI ARCHITECTS
 2031 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660-0753
 (949) - 553 - 9100



BUILDER:
THE NEW HOME COMPANY
 2220 DOUGLAS BOULEVARD, SUITE 240
 ROSEVILLE, CA 95661
 (916) - 740 - 3921

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Attachment 8
Building Elevations and Floor Plans
Dated January 22, 2019

SPANISH COLONIAL REVIVAL

Identifying features of the Spanish Colonial Revival style are low pitched, red tiled roofs, usually with little or no eave overhang. Due to indoor-outdoor lifestyles, homes typically include multiple external doors, with principal windows defining various room volumes and more than one rooled porch or balcony. Wall surfaces are always stucco and plan forms are usually asymmetrical. Premium examples include inner courtyards, arched openings and wrought ironwork.

DESIGN ELEMENTS

EXTERIOR MATERIALS

- Smooth stucco or sand finish
- Wood balconies and rails
- Terra cotta roof tiles

ROOFS

- Shallow roof pitches
- Simple side gable roofs
- "Mission style" character
- Single-story roof edges to break up the massing of roof planes
- False towers symbolic of mission bell towers

WINDOWS

- Usually deep set to mimic heavy adobe walls
- Less smaller windows, usually a primary window is featured on a wall plane
- Window proportions emphasize the vertical
- Occasional use of wooden shutters

ENHANCED DESIGN ELEMENTS

DESIGN FEATURES

- Linear progression of room volumes for the home's floor plan often resulted in L-shaped or U-shaped floor plans, with an inner courtyard in the middle
- Asymmetrical building masses
- Rooled entry porches and second story balconies
- Exposed heavy timber rafters
- Wrought iron, shutters and decorative tiles are design accents



SPANISH COLONIAL REVIVAL

Style Sheet

RUSSELL RANCH - 70' X 110'

Folsom, California



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CALIFORNIA COTTAGE

The magic of cottage living lies in its simplicity and romance. As one of the prominent features, the porch serves as an outdoor room for lounging, dining and napping. This style was derived from Cape Cod in the east coast and later adapted to other styles commonly found in coastal towns.



DESIGN ELEMENTS

EXTERIOR MATERIALS

- Small porches
- White wood picket fences
- Asymmetrical and informal facades
- White trim

ROOFS

- Low-pitched roof
- Shingle or flat tile
- Light rakes

WINDOWS

- Single hung
- Vertical in proportion
- Occasional use of shutters

COLOR

- White
- Grey tones
- Light browns

ACCENT MATERIALS

- Shingle or wood siding
- Occasional use of stucco

ENHANCED DESIGN ELEMENTS

DESIGN FEATURES

All cottages are small, informal and possess a cozy nature not only in plan form, but also in their elevations. Being compact, they are scaled to simple human needs and are associated with country life.

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CALIFORNIA COTTAGE
Style Sheet

RUSSELL RANCH - 70' X 110'

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NEW HOME

MODERN FARMHOUSE

Farmhouse design originates in geography. The style evolved from the characteristics of the place, people, climate and materials available. The unifying design feature in every place is functionality. Porches were included so inhabitants and visitors could shed muddy shoes before entering the home. Large, open kitchens existed to feed not only the family, but farm hands. Today's modern farmhouse borrows design elements from its predecessors, while presenting a leaner profile composed of thoughtful modern materials.

DESIGN ELEMENTS

EXTERIOR MATERIALS

- Single material, usually siding
- Accent material, stone or brick, at entry, on vertical elements

ROOFS

- Mix of gabled and hipped roofing
- Wide, enclosed overhangs
- Roof rafters usually exposed with braces added underneath
- Flat tile roofs, often in a color from nature's palette

WINDOWS

- Large rectangular openings
- Corner window configurations
- Paired windows to create larger openings

ENHANCED DESIGN ELEMENTS

COLORS

- Natural colors, usually in a lighter palette
- Bright contrasting colors are often used to highlight architectural features
- Occasionally lighter whites, greys, flat blues

PORCHES

- Extensive use of porches
- Full or partial width
- Sheltered by roof
- Vertical supports with minimal details
- Horizontal railing optional



MODERN FARMHOUSE
Style Sheet
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CALIFORNIA CRAFTSMAN

The Craftsman movement became the most popular and fashionable style in the US at the turn of the last century. Several influences, including the English Arts & Crafts Movement and Oriental wooden architecture, exemplified in the architecture of Greene & Greene, appear in the design of these detailed buildings. While exhibiting a great deal of craftsmanship, especially in the joinery, this style uses principally heavy timber set on a river rock base.

DESIGN ELEMENTS

EXTERIOR MATERIALS

- Timber & Stone forms with long overhangs
- Angularly shaped timber tails at eaves
- Large porches with angled columns
- Extended trim & surrounds
- Horizontal Lap, Board & Batt, Shingle or Stucco siding

ROOFS

- Low-pitched gable roofs
- Shake or composition shingle roofing
- Long eaves with exposed, shaped tails

WINDOWS

- Rectangular windows
- Narrow & tall with muntins (grids); in upper sash only

COLOR

- Middle to dark earth tones
- Brown, Red, Green or beige window frames
- Trims usually darker, but can be lighter
- Middle to dark roof

ACCENT MATERIALS

- Outriggers with or without corbels
- Spaced batten gable vent elements
- Stone and/or brick wainscots
- Trellis elements

ENHANCED DESIGN ELEMENTS

DESIGN FEATURES

The style is best presented in simple forms, usually with low, broad proportions as seen in California's Bungalows. The roof forms are usually cross-gabled, side-gabled and sometimes hipped, with very long overhangs. There is usually a heavy feel in the structural forms and details engendering a sense of permanence.



CALIFORNIA CRAFTSMAN

Style Sheet

RUSSELL RANCH - 70' X 110'

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CALIFORNIA WINE COUNTRY

Identifying features of the California Wine Country style evolved from the original Ranch style in a simpler more compact footprint and massing incorporating natural materials relating to the adjacent hillsides. It combines elements from agrarian style with a more with the suburban ranch home. The simpler massing and roof forms are accentuated by the material changes that emphasize the honesty of the structure providing a more contemporary presence. The contemporary detailing incorporated in the entries, balconies, and windows provides a fresh expression of a familiar style. The colors can range from crisp greys and whites to natural colors derived from the local environment.

DESIGN ELEMENTS

EXTERIOR MATERIALS

- Primary material is stucco
- Vertical board and batten or horizontal siding
- Feature element in stone to relate to the land as an accent material
- Stucco may be used on the side and rear elevations

ROOFS

- Gable roofs are the most common
- Shed, Crossed-gabled and shed porch roof are also appropriate
- Small portions of parapet roofs for accents are acceptable
- Short or moderate eave overhang, either boxed or open
- Rafter may be exposed with kickers
- Accent metal roofs
- Flat concrete tiles resembling shakes are the suggested roof material
- Premium grade shingle style composition roofs are also acceptable

WINDOWS

- Windows are often large with an emphasis on the horizontal
- Simple exterior shutters can be used as accents
- Frequently, divided windows with break-ups and wood trim are used

ENHANCED DESIGN ELEMENTS

DESIGN FEATURES

- Asymmetrical ordering is used
- Modest simple detailing
- Exterior porches with simple post supports are common
- Low horizontal emphasis with single story edge
- The covered front porch is a major design statement, to reinforce outdoor living
- Partially enclosed courtyards or patios



CALIFORNIA WINE COUNTRY

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CALIFORNIA PRAIRIE

Originating in Chicago, this indigenous American style was developed by Frank Lloyd Wright. The architecture's low, horizontal lines and large overhangs reflect the rolling, Midwestern terrain on which they were built.



DESIGN ELEMENTS

DESIGN FEATURES

- Low-pitched roofs (hipped)
- Horizontal massing

ROOFS

- Low-pitched
- Flat tile
- Overhanging eaves

WINDOWS

- Geometric patterns of small pane window glazing
- Double hung

COLOR

- Earth tones
- Contrasting colors on eaves and cornice

ACCENT MATERIALS

- Masonry
- Contrasting caps on porch and balcony railings
- Horizontal board-and-batten siding

ENHANCED DESIGN ELEMENTS

DESIGN FEATURES

Low-pitched roof, usually hipped, with widely overhanging eaves, two stories, with one-story wings or porches, eaves, cornices, and facade detailing emphasizing horizontal lines, often with massive, square porch supports.

CALIFORNIA PRAIRIE
Style Sheet
RUSSELL RANCH - 70' X 110'

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B - CALIFORNIA COTTAGE
14'x11'0"

FRONT



C - MODERN FARMHOUSE
14'x11'0"

FRONT



D - CALIFORNIA CRAFTSMAN
14'x11'0"

FRONT

PLAN I
Front Elevations

RUSSELL RANCH - 70' X 110'

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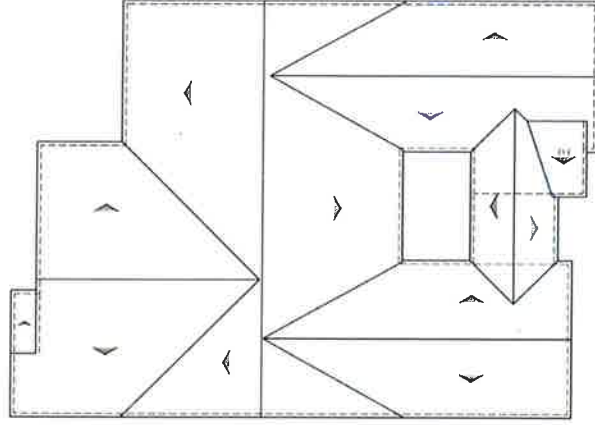


A7



B - CALIFORNIA COTTAGE
11'-4 1/2"

FRONT



ROOF PLAN

PITCH 5:12
RAISE 6"
ROOF MATERIAL: CONCRETE FLAT TILE

B



REAR

PLAN I
California Cottage Elevation
RUSSELL RANCH - 70' X 110'
Folsom, California

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A 8



LEFT



RIGHT

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PLAN I
 Spanish Elevation

RUSSELL RANCH - 70' X 110'

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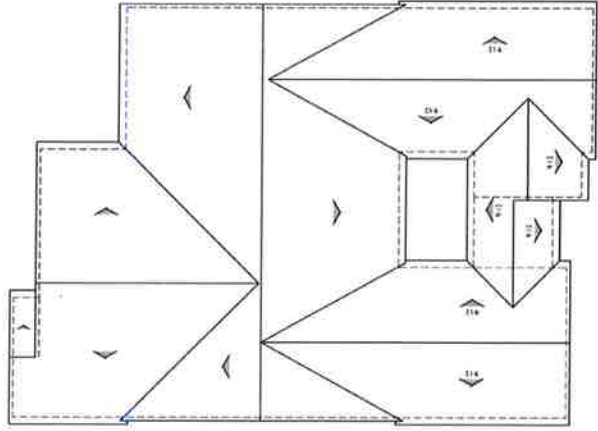


A 8.1



C - MODERN FARMHOUSE
1/4"=1'-0"

FRONT



ROOF PLAN

PITCH 5/12
EAVE 12"
ROOF MATERIAL CONCRETE FLAT TILE

C



REAR

PLAN I
Modern Farmhouse Elevation
RUSSELL RANCH - 70' X 110'

Folsom, California

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A 9



LEFT



RIGHT

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PLAN I
 Modern Farmhouse Elevation

RUSSELL RANCH - 70' X 110'

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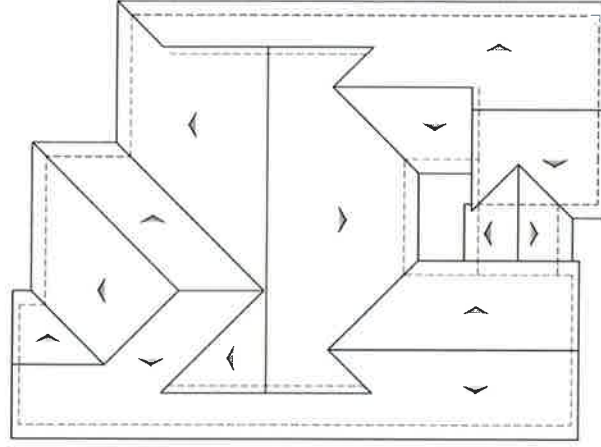
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A9.I



FRONT
D - CALIFORNIA CRAFTSMAN
11/19/10



ROOF PLAN

PITCH 5/12
EAVE 24"
ROOF MATERIAL CONCRETE FLAT TILE

D



REAR

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PLAN I
California Craftsman Elevation
RUSSELL RANCH - 70' X 110'
Folsom • California
8 3 1 8 752.18227



LEFT



RIGHT

PLAN I
 California Craftsman Elevation
RUSSELL RANCH - 70' X 110'

Folsom, California



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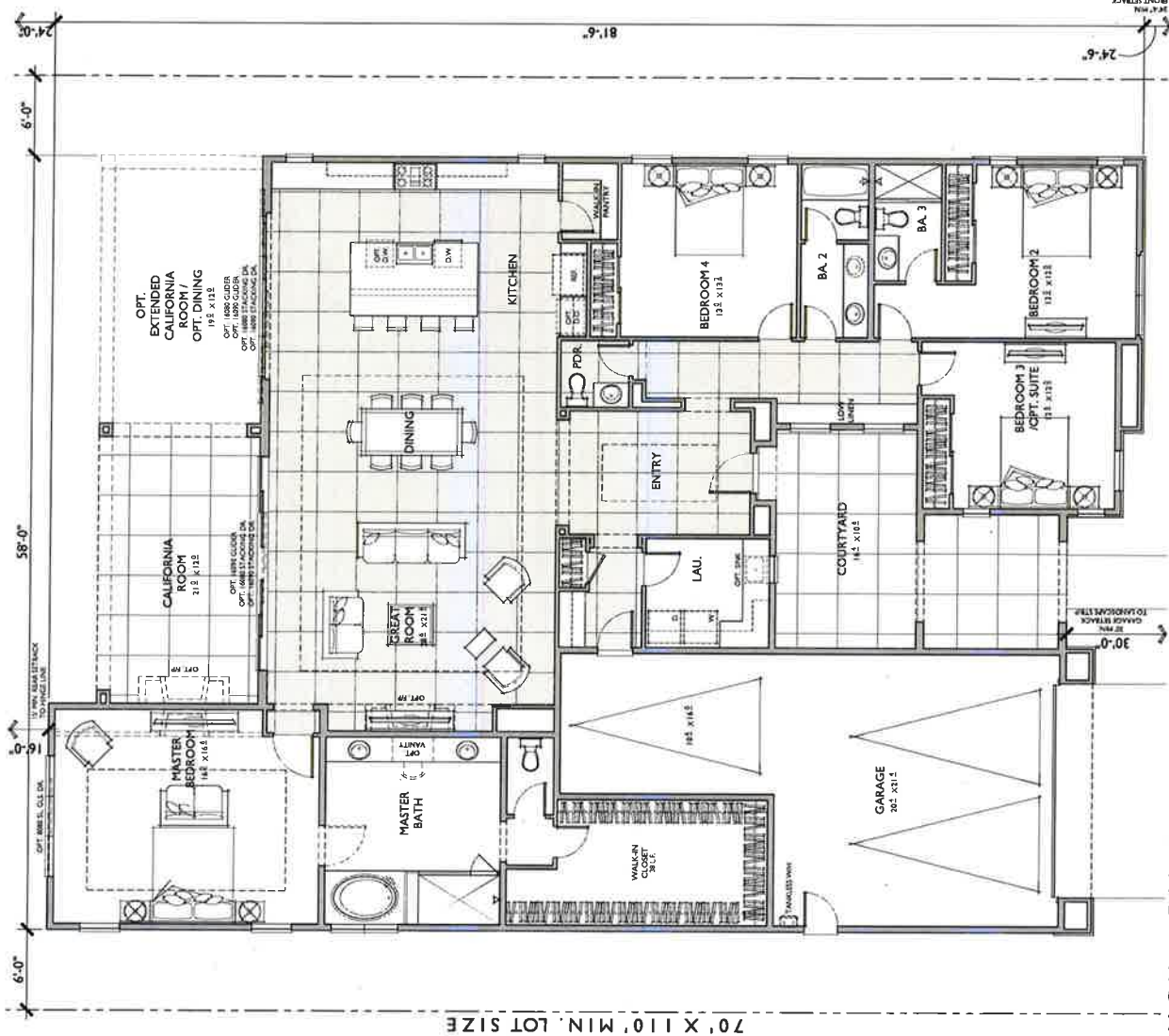
A 10.1

PLAN 1
 Floor Plan

RUSSELL RANCH - 70' X 110'

Folsom, California

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PLAN 1
 3 BEDROOMS + DEN + 3.5 BATHS
 3 - CAR GARAGE

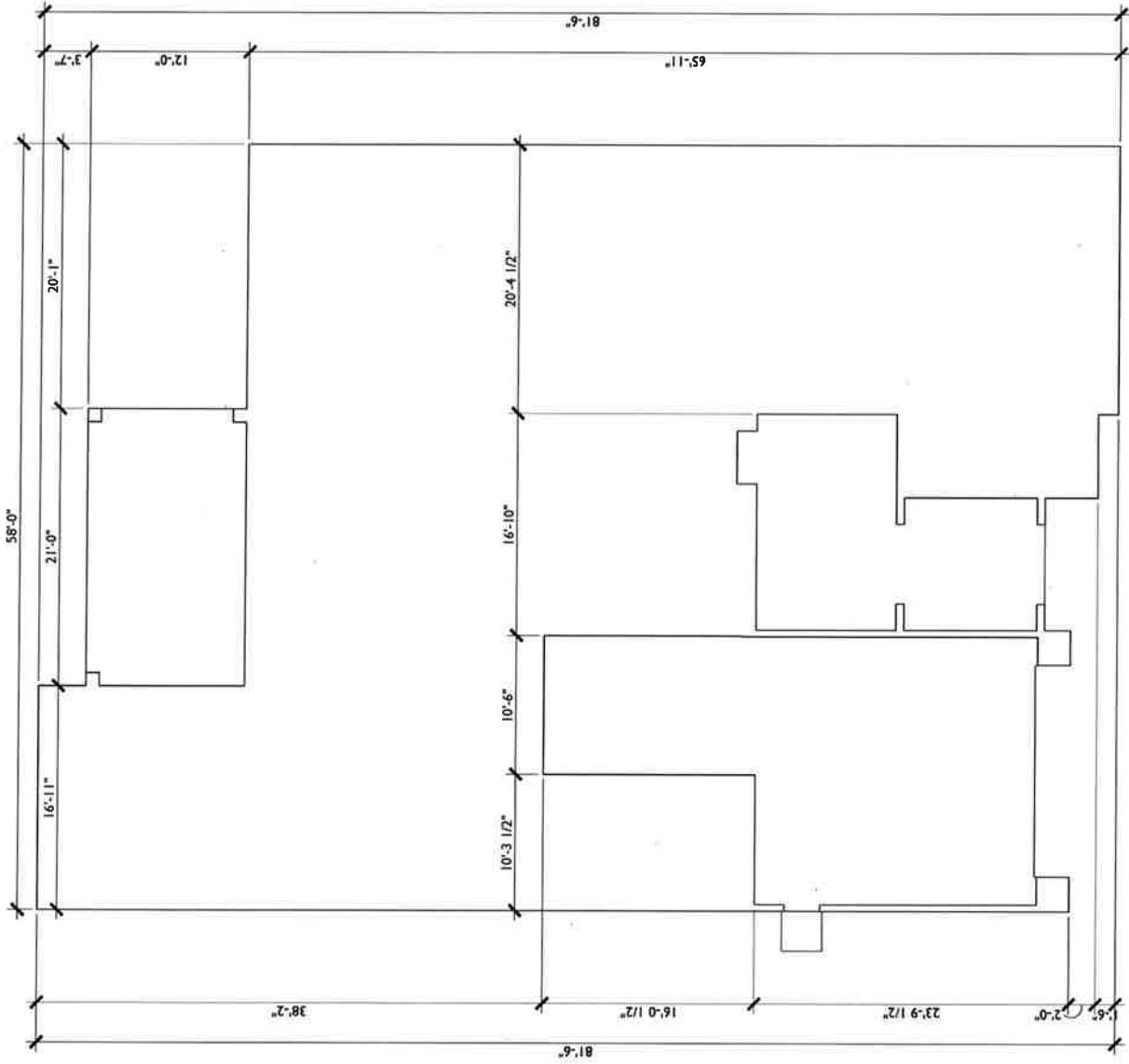
FLOOR AREA TABLE	
TOTAL LIVING	2,978 SQ. FT.
3 - CAR GARAGE	632 SQ. FT.
CALIFORNIA ROOM	493 SQ. FT.
COURTYARD	286 SQ. FT.
LOT COVERAGE	48%

FOOTING AREA FOOTPRINT MAY VARY DUE TO METHOD OF CALCULATION

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A11



PLAN 1
Slab Plan

RUSSELL RANCH - 70' X 110'

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A 12



FRONT

A - SPANISH COLONIAL REVIVAL
11/19/2019



FRONT

B - CALIFORNIA COTTAGE
11/19/2019



FRONT

C - MODERN FARMHOUSE
11/19/2019

PLAN 2

Front Elevations

RUSSELL RANCH - 70' X 110'

Folsom, California

8 16 32 64 128 256 512 1024

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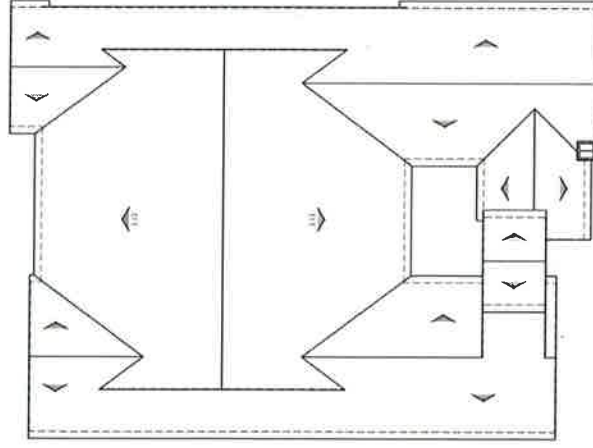
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NEW HOME

A 13

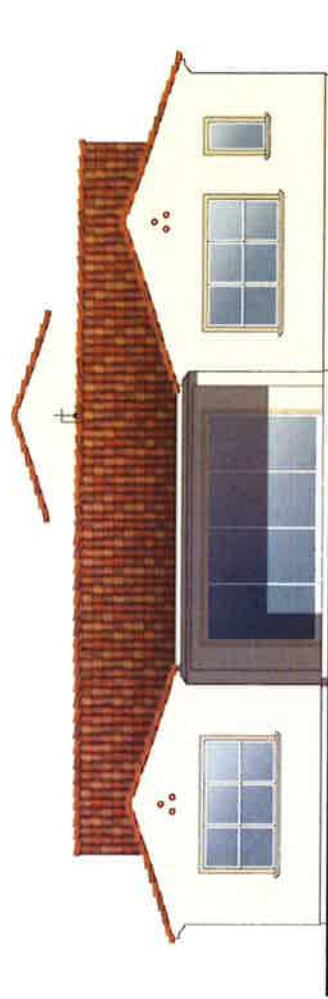


A - SPANISH COLONIAL REVIVAL



ROOF PLAN

PITCH 4:12
 RISE 4"
 RUN 12"
 ROOF MATERIAL: CONCRETE S TILE



REAR

PLAN 2
 Spanish Colonial Revival Elevation
RUSSELL RANCH - 70' X 110'

Folsom, California

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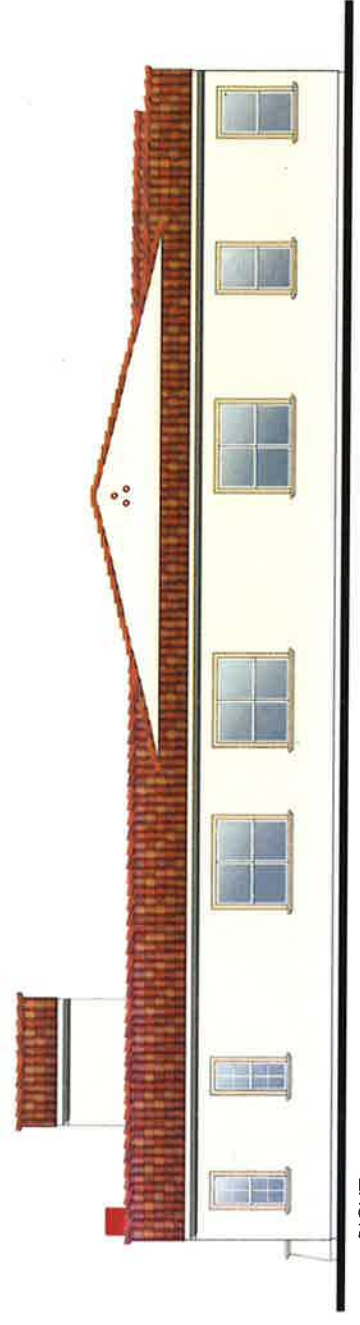
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 Fax: 752.18228

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LEFT



RIGHT

PLAN 2
 Spanish Colonial Revival Elevation
RUSSELL RANCH - 70' X 110'
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A 14.1

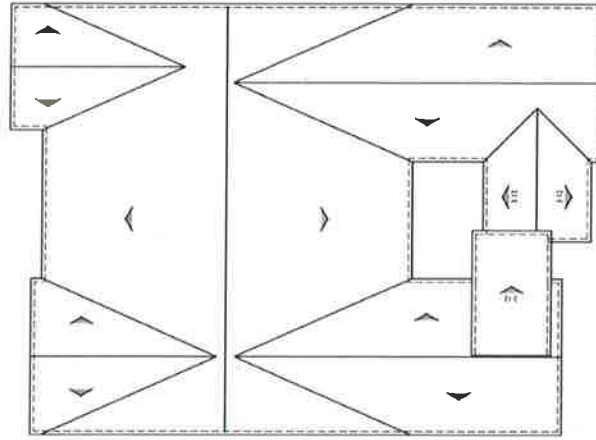


B - CALIFORNIA COTTAGE
1/8" = 1'-0"

FRONT



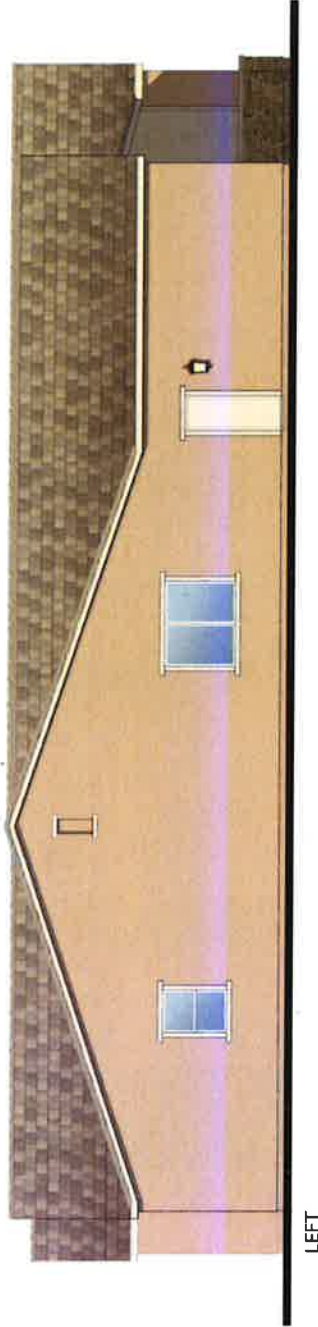
REAR



ROOF PLAN

PITCH: 8/12
EAVE: 6"
ROOF MATERIAL: CONCRETE FLAT TILE

B



LEFT



RIGHT

PLAN 2
 California Cottage Elevation
RUSSELL RANCH - 70' X 110'
 Folsom, California



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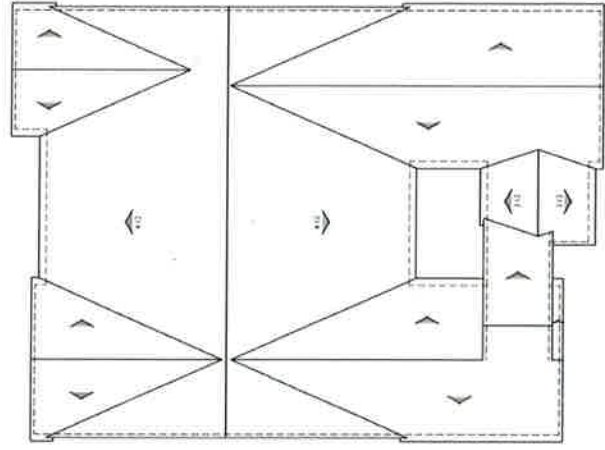


A 15.1



C - MODERN FARMHOUSE
1/8" = 1'-0"

FRONT



ROOF PLAN

PITCH 9/12
PITCH 12/12
EAVE 12"
ROOF MATERIAL CONCRETE FLAT TILE



REAR

PLAN 2
Modern Farmhouse Elevation
RUSSELL RANCH - 70' X 110'

Folsom, California
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A16



LEFT



RIGHT

PLAN 2
 Modern Farmhouse Elevation
RUSSELL RANCH - 70' X 110'
 Folsom, California



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 10100 E. 11th St.
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A 16.1

PLAN 2
 4 BEDROOMS + FORMAL DINING + DEN + 4.5
 BATHS
 3 - CAR GARAGE

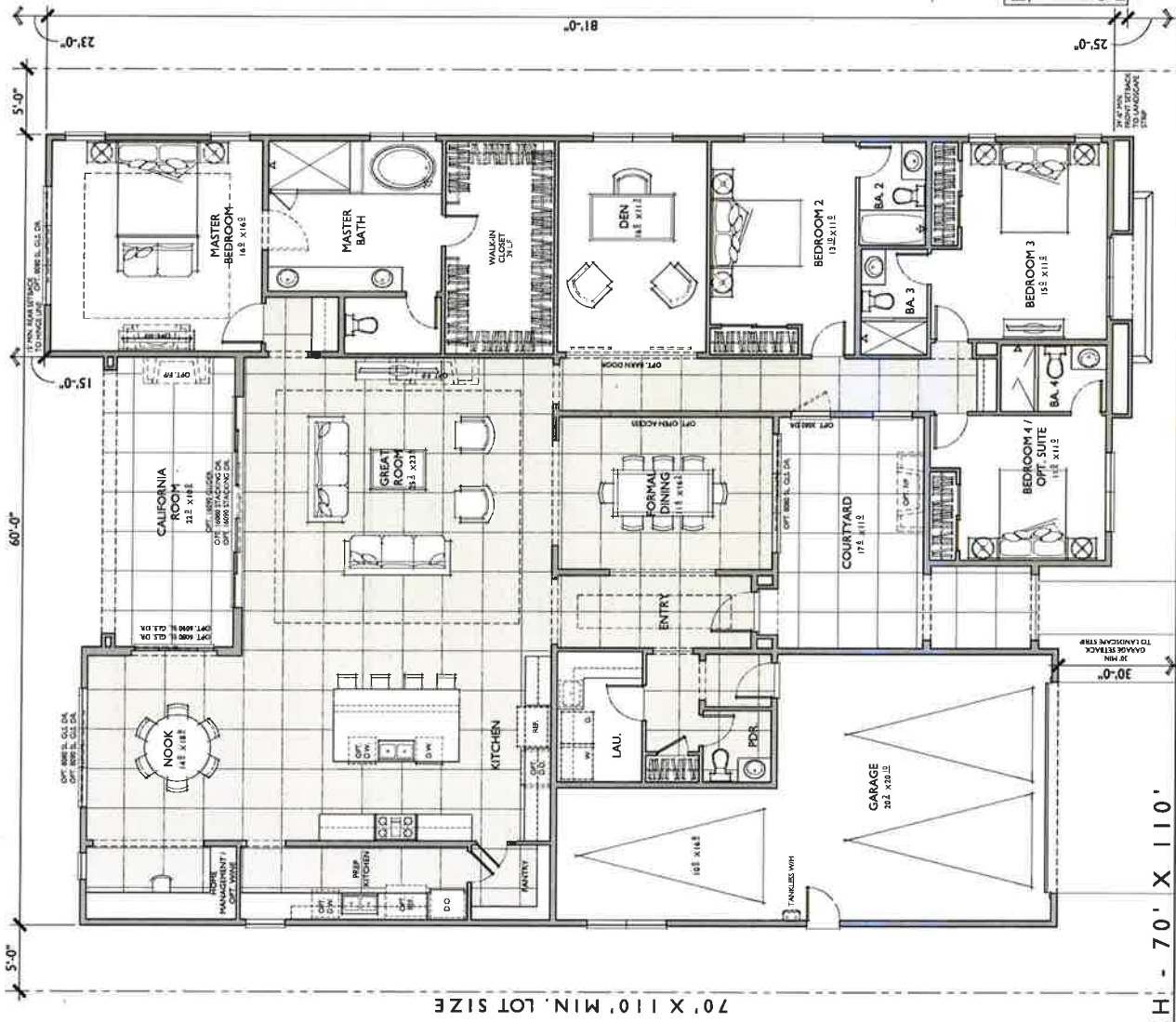
FLOOR AREA TABLE
TOTAL LIVING 3,483 SQ. FT.
 3 - CAR GARAGE 623 SQ. FT.
 CALIFORNIA ROOM 219 SQ. FT.
 COURTYARD 263 SQ. FT.
LOT COVERAGE 46%

*LOTTERY PLANE FOOTING AREA MAY VARY DUE TO METHOD OF CALCULATION

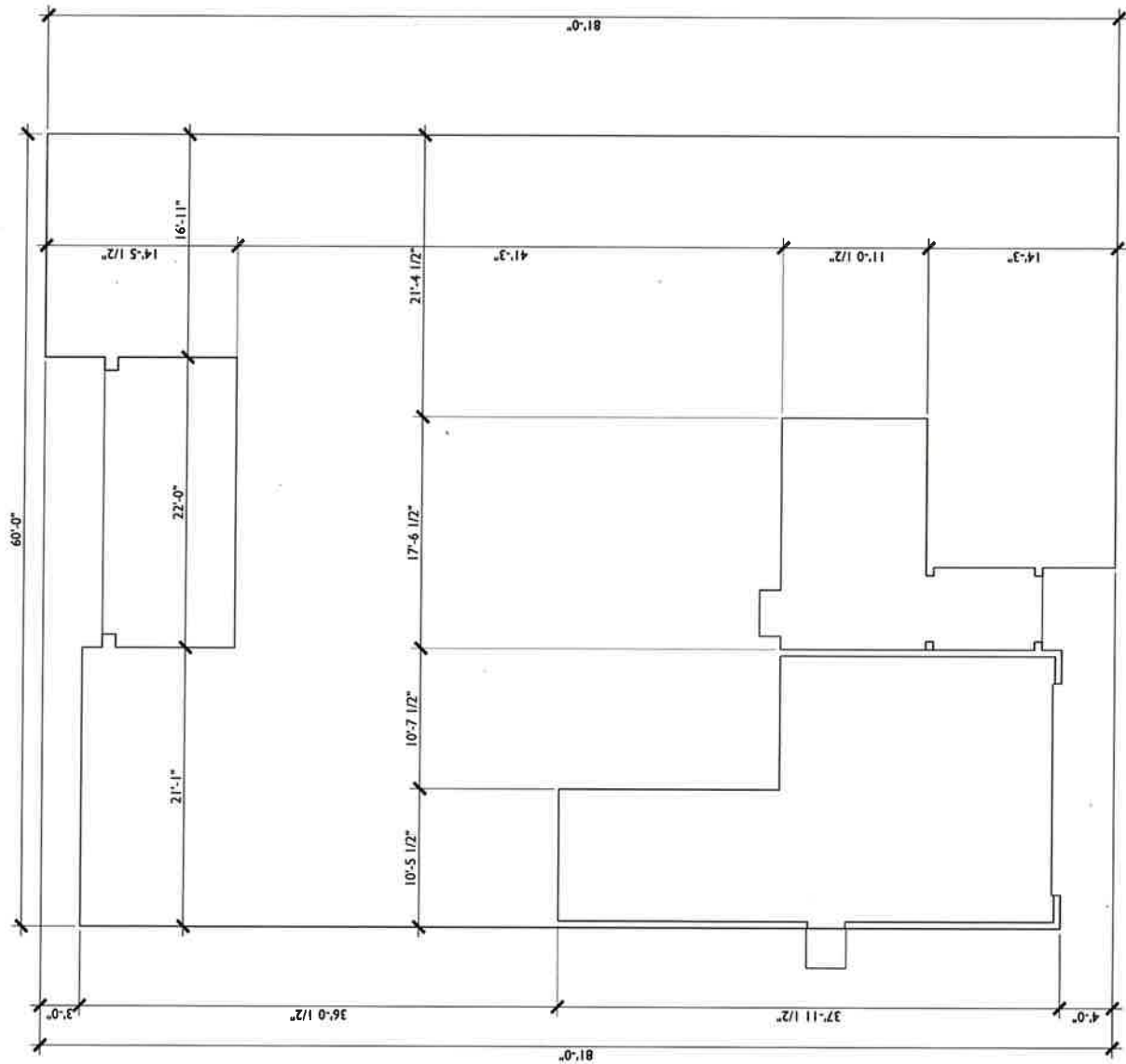
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NEW HOME
 CONCEPTS

A17



70' X 110' MIN. LOT SIZE



PLAN 2
Slab Plan

RUSSELL RANCH - 70' X 110'

Folsom, California



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752.10227

01.22.19



A 18



A - SPANISH COLONIAL REVIVAL
11/19/19

FRONT



E - CALIFORNIA WINE COUNTRY
11/19/19

FRONT



F - CALIFORNIA PRAIRIE
11/19/19

FRONT

PLAN 3
Front Elevations

RUSSELL RANCH - 70' X 110'

Folsom, California

752.18227

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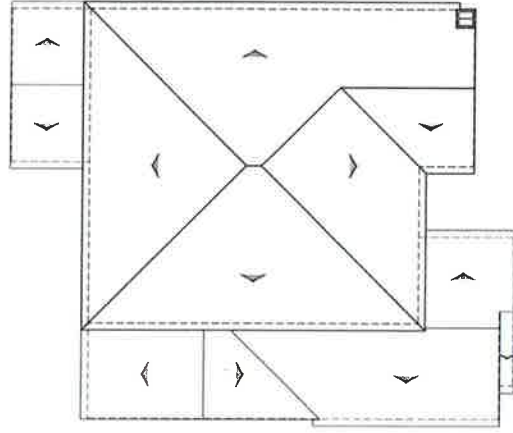


A 19



A - SPANISH COLONIAL REVIVAL

FRONT



ROOF PLAN

PITCH 4:12
RAISE 1"
EAVE 12"
ROOF MATERIAL CONCRETE'S TILE



REAR

PLAN 3
Spanish Colonial Revival Elevation
RUSSELL RANCH - 70' X 110'

Folsom, California

752.18227

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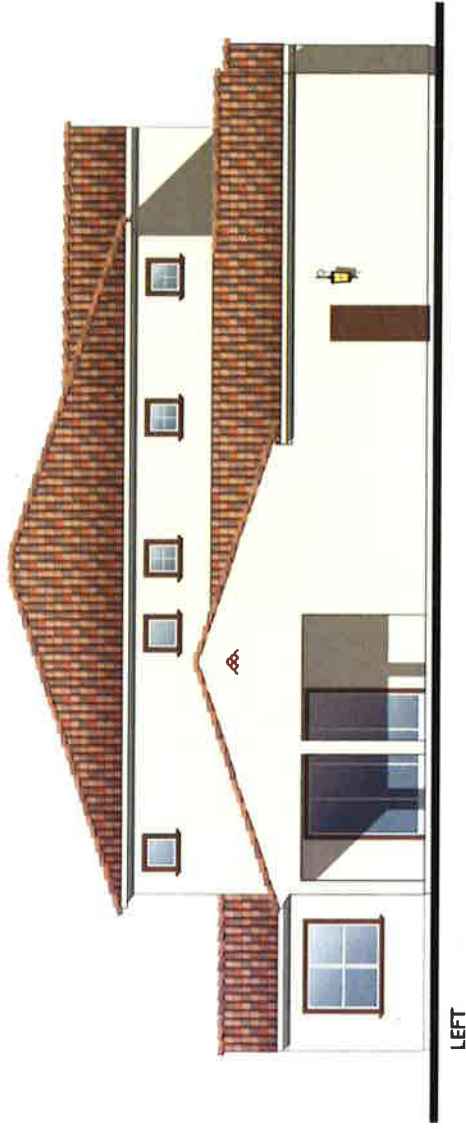
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NEW HOME

A 20



LEFT



RIGHT

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PLAN 3
 Spanish Colonial Revival Elevation
RUSSELL RANCH - 70' X 110'
 Folsom, California



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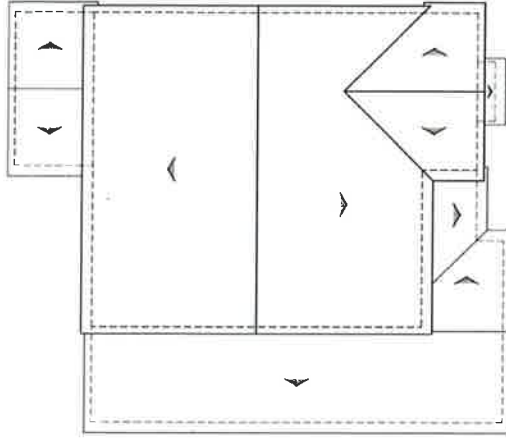


A 20.1



E - CALIFORNIA WINE COUNTRY

FRONT



ROOF PLAN

PITCH 4:12
 RAISE 12"
 RAISE 12"
 ROOF MATERIAL: CONCRETE S TILE



REAR

PLAN 3
 California Wine Country Elevation
RUSSELL RANCH - 70' X 110'

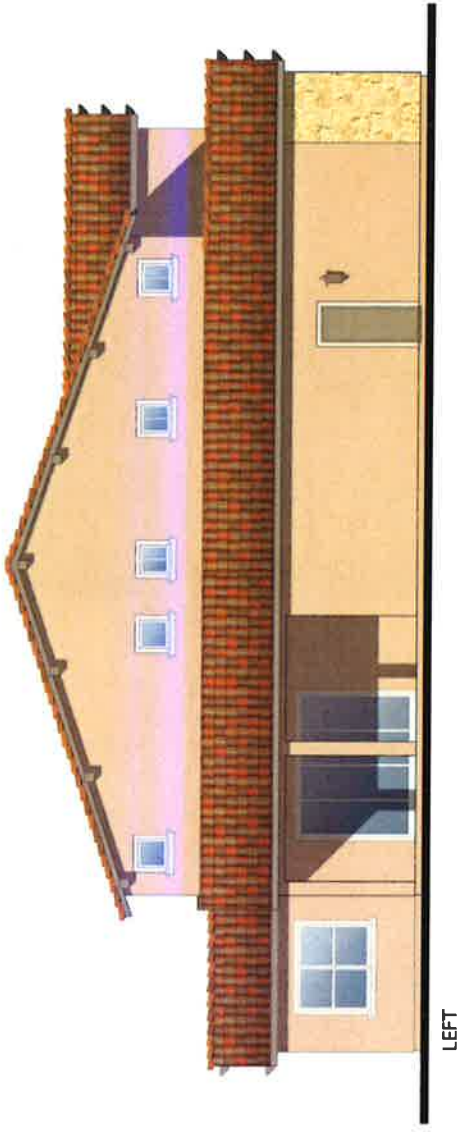
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A 21



LEFT



RIGHT

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PLAN 3
 California Wine Country Elevation
RUSSELL RANCH - 70' X 110'
 Folsom • California

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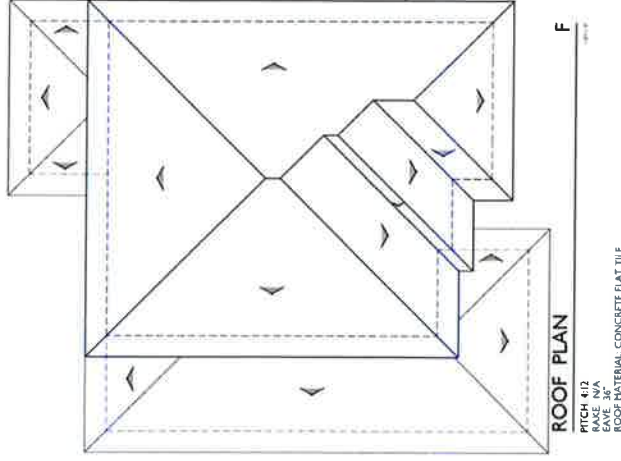
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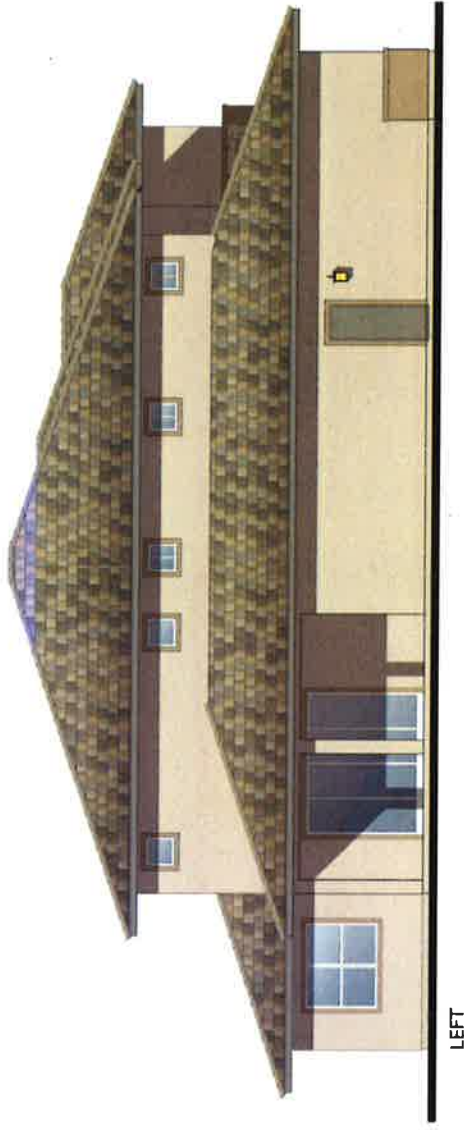
FRONT
F - CALIFORNIA PRAIRIE



REAR

Bassenian Lagoni
 ARCHITECTURE • PLANNING • INTERIORS
 10000 LAGONI DRIVE, SUITE 100
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PLAN 3
 California Prairie Elevation
RUSSELL RANCH - 70' X 110'
 Folsom, California
 0 1 2 3 4 5 6 7 8 9 10
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LEFT



RIGHT

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PLAN 3
 California Prairie Elevation

RUSSELL RANCH - 70' X 110'

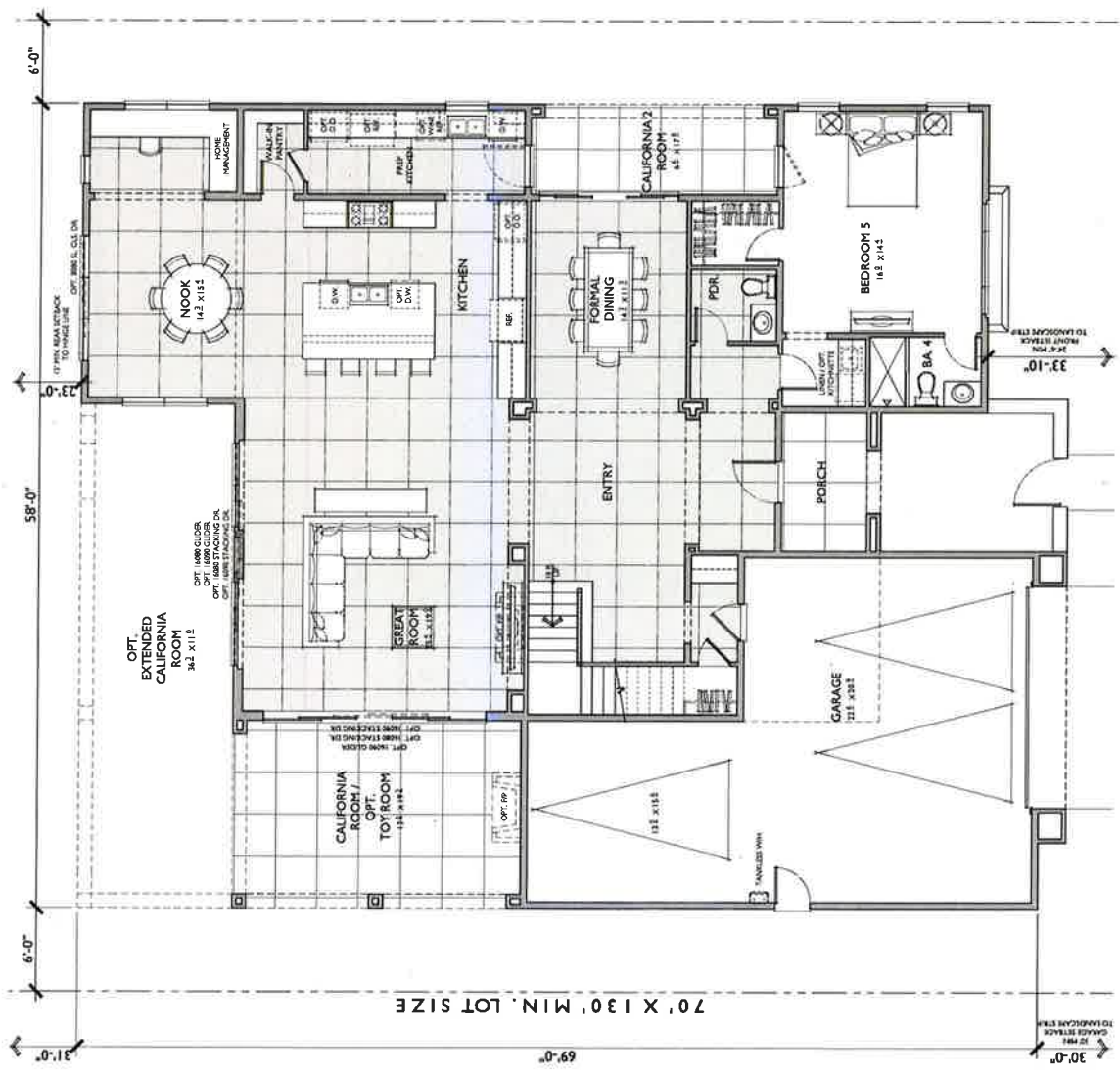
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A 22.1



PLAN 3
 5 BEDROOMS + FORMAL DINING + BONUS +
 4.5 BATHS
 3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,174 SQ. FT.
2ND FLOOR	1,990 SQ. FT.
TOTAL LIVING	4,164 SQ. FT.
3 - CAR GARAGE	762 SQ. FT.
CALIFORNIA ROOM	280 SQ. FT.
CALIFORNIA ROOM 2	115 SQ. FT.
PORCH	72 SQ. FT.
LOT COVERAGE	36%

FOOTING AREAS PORTAGE MAY VARY DUE TO METHOD OF CALCULATION

FIRST FLOOR

PLAN 3
 Floor Plan
RUSSELL RANCH - 70' X 110'
 Folsom, California

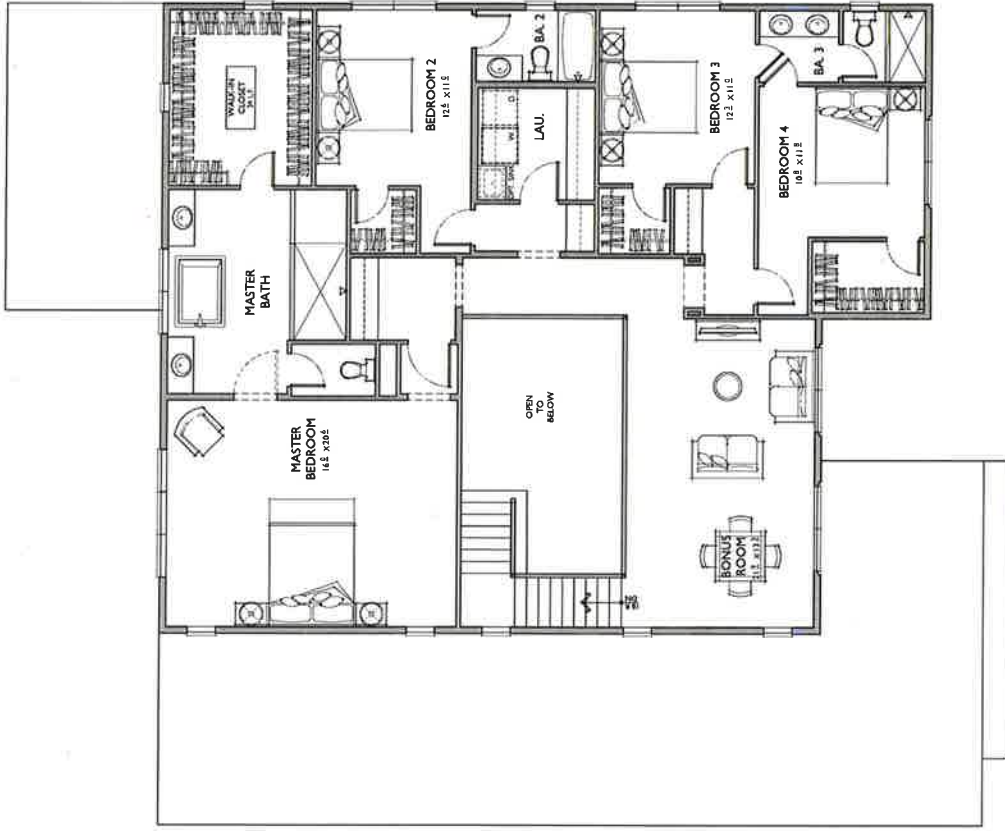


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A 23



SECOND FLOOR

PLAN 3
Floor Plan

RUSSELL RANCH - 70' X 110'

Folsom, California



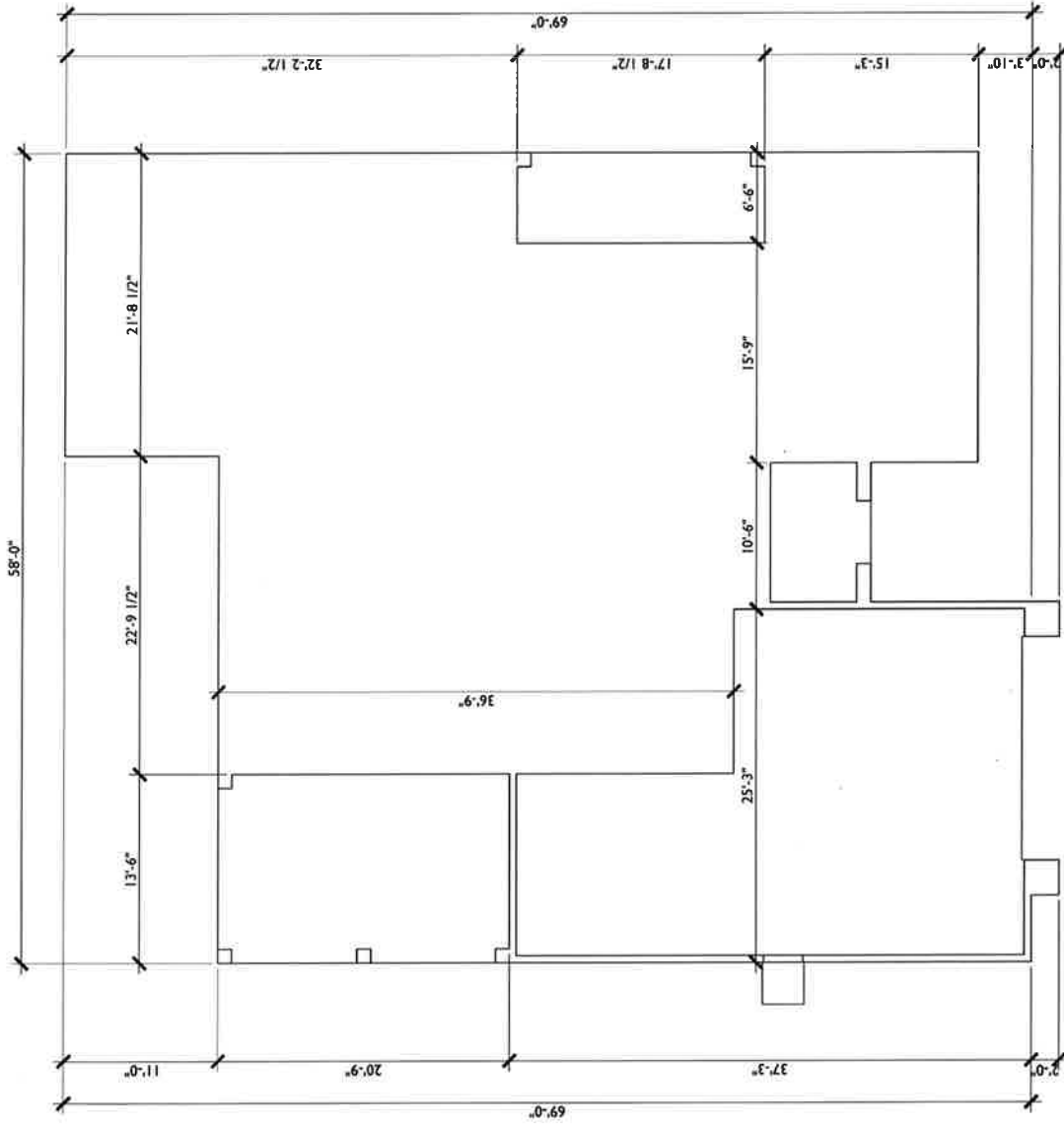
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A 23.1



PLAN 3
Slab Plan

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RUSSELL RANCH - 70' X 110'
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752.18227



Planning Commission
Russell Ranch Phase 1, Villages 1 and 2 Residential Design Review (PN 19-016)
February 20, 2019

Attachment 9
Color and Material Palette
Dated January 17, 2019

Spanish (A) Elevations			
Color Scheme	Omega	Sherwin Williams Paint Company	
	Integral	Or Lab Match to Sherwin-Williams to be approved by AMCI	
Stucco Color	1/620 Sand Finish	Paint Match to Stucco	Raised Foam
		Flat finish on stucco and non-decorative items such as meter doors and vents, eggshell finish on wood and decorative metal	Trim Color, Garages
		Entry Door, Shutters	
		See application diagrams for usage of trim and accent colors.	
SP1	TBD	SW 7008 Alabaster	SW6041 Wool Skin Other
SP2	TBD	SW7571 Cosa Blanca	SW9091 Universal Khaki Half-Catf
		SW9142 Peppered	Moscow Midnight Craft Canney Brick
		SW6209 Peppered	Ripe Olive Craft Canney Brick
			18CCS7970 Red Castle
			18CCS6031 La Terra Blend
California Cottage (B) Elevations			
Color Scheme	Omega	Sherwin Williams Paint Company	
	Integral	Or Lab Match to Sherwin-Williams to be approved by AMCI	
Stucco Color	1/620 Sand Finish	Paint Match to Stucco	Siding
		Flat finish on stucco and non-decorative items such as meter doors and vents, eggshell finish on wood and decorative metal	Trim Color, Garages
		Entry Door, Shutters	
		See application diagrams for usage of trim and accent colors.	
CO1	TBD	SW7668 March Wind	SW7566 Westhighland White
CO2	TBD	SW6107 Nomadic Desert	SW6147 Panda White
			SW7615 Sea Serpent
			SW9143 Cadet
			Greypearl Craft Fairhouse Ledger
			Greenleaf Craft Fairhouse Ledger
			1FACS5047 Foamy
			1FECY4070 Sea Pearl Blend
Modern Farmhouse (C) Elevations			
Color Scheme	Omega	Sherwin Williams Paint Company	
	Integral	Or Lab Match to Sherwin-Williams to be approved by AMCI	
Stucco Color	1/620 Sand Finish	Paint Match to Stucco	Siding
		Flat finish on stucco and non-decorative items such as meter doors and vents, eggshell finish on wood and decorative metal	Trim Color
		Garages, Shutters	Entry Door
		See application diagrams for usage of trim and accent colors.	
FA1	TBD	SW7651 Front Patch	SW7003 Teague White
FA2	TBD	SW6256 Serious Gray	SW6256 Serious Gray
			SW6464 Alpe
			SW7600 Bolero
			1FBCJ1430 Charcoal Blend
			1FBCJ4070 Sea Pearl Blend
Boral			
Shake Profile			
Concrete Roofing			

California Craftsman (D) Elevations

Color Scheme	Omega		Sherwin Williams Paint Company Or Lab Match to Sherwin-Williams to be approved by AMCI		Creative Mines		Boral
	Integral	Stucco Color	Paint Match to Stucco	Or Lab Match to Sherwin-Williams to be approved by AMCI	Stone	Brick	
	1/4/20 Sand Finish		Sliding	Trim Color, Garages	See notes section for mortar specifications		Shake Profile Concrete Roofing
CR1	TBD	SW9110 Malabar	SW9117 Urban Jungle	SW7060 Attitude Gray	Blacktruffie	Mink	1FBCJ0300 Bronze Pearl Blend
CR2	TBD	SW9111 Antler Velvet	SW9171 Felted Wool	SW9109 Natural Linen	Fogbank	Raincloud	1FBCJ1132 Charcoal Brown Blend

California Wine Country (E) Elevations

Color Scheme	Omega		Sherwin Williams Paint Company Or Lab Match to Sherwin-Williams to be approved by AMCI		Creative Mines		Boral
	Integral	Stucco Color	Paint Match to Stucco	Or Lab Match to Sherwin-Williams to be approved by AMCI	Stone	S-Tile Profile Concrete Roofing	
	1/4/20 Sand Finish		Raised Foam	Trim Color, Garages	See notes section for mortar specifications		Bird Stops at "S" Tile are to be black.
WC1	TBD	SW9109 Natural Linen	SW6107 Nomadic Desert	SW6151 Sulver Tan	Alpaca	1BCCS6160 Autumn Blend	
WC2	TBD	SW9101 Tres Naturale	SW7002 Downy	SW7054 Keystone Gray	Whitegold	1BCCS6330 Salem Clay	

California Prairie (F) Elevations

Color Scheme	Omega		Sherwin Williams Paint Company Or Lab Match to Sherwin-Williams to be approved by AMCI		Creative Mines		Boral
	Integral	Stucco Color	Paint Match to Stucco	Or Lab Match to Sherwin-Williams to be approved by AMCI	Stone	Slate Profile Concrete Roofing	
	1/4/20 Sand Finish		Raised Foam	Trim Color, Garages	See notes section for mortar specifications		
PR1	TBD	SW7043 Worldly Gray	SW9112 Urban Jungle	SW7060 Attitude Gray	Timberwolf	1FACS0330 Appalachian Blend	
PR2	TBD	SW6073 Perfect Gleize	SW9109 Natural Linen	SW7505 Manor House	Greypearl	1FECY3181 Smokey Tooz Blend	

General Notes:

- All paint is to be Sherwin Williams Paint Company.
- All metal elements are to be painted Sherwin Williams SW 7020 "Black Fox", Eggshell Finish
- All non-decorative items such as meter doors, non-decorative vents etc. are to be painted the same color and finish as the surrounding field color.
- All non-decorative roof metal is to be painted to match the darkest color from the roofing blend.
- Metal Roofing is to be Custom-Bilt Metals. Color: "Pre-Weathered Galvalume"
- Rain gutters and downspouts are TBD
- All windows are to be White Vinyl

Masonry Notes at B and E Elevations:

- Mortar is to be Orco Blended Products MAC Mortar. Color: "OBP Soft White"
- Mortar is to be flush with the face of the masonry with the faces remaining clean.

Masonry Notes at D and F Elevations:

- Stone is to be drystacked. No visible mortar.
- Brick Mortar is to be Orco Blended Products "OBP Soft Tan"
- Mortar is to be flush with the face of the brick with the faces remaining clean.

Planning Commission
Russell Ranch Phase 1, Villages 1 and 2 Residential Design Review (PN 19-016)
February 20, 2019

Attachment 10

Russell Ranch Design Guidelines

4.4 ARCHITECTURAL GUIDELINES

The concept, inspiration, and vision for Russell Ranch is one of a distinctively California village with a unique and compelling design character derived from successful landmark neighborhoods throughout California.

Russell Ranch presents a cohesive collection of nine architectural styles, which will create a diverse and eclectic streetscape through massing and form, material and color, and detailing. The variety of styles will animate and activate the streetscape, creating a dynamic and vibrant community palette. Additional architectural styles that are consistent with the neighborhood vision will be reviewed and approved by the RRDRRC on a case by case basis.

ARCHITECTURAL PALETTE

- o The California Wine Country
- o The Monterey
- o The Spanish Eclectic
- o The California Cottage
- o The Transitional Bungalow
- o The California Prairie
- o The Spanish Colonial Revival
- o The California Craftsman
- o The California Villa



Streetscape Example

HOW TO USE THESE GUIDELINES

The guidelines found in this section are formatted into individual style spreads, with each architectural style being defined and articulated over the course of three pages. The first page of the style spread defines the history and intent of the style; the second page provides a matrix that identifies the minimum elements for each style along with applicable enhanced elements and the third page identifies key style elements.

The core requirements for home design within the Russell Ranch neighborhood are concentrated in each style matrix (the second page of each spread), with the remaining pages intended as supporting and inspirational material. The sketches, key style elements, and details are intended to be an overview of the defining characteristics of the style and are not intended to be exhaustive, nor to represent all of the appropriate details inherent to each style.

With the intent of creating authentic representations of these architectural styles, all of the minimum elements outlined on the style specific matrix are required along with three enhanced elements.

To further define and emphasize the architecture of Russell Ranch, the following statements apply to all styles:

- Masonry must be applied authentically, wrapping outside corners and terminating at inside corners.
- Stone or brick scattered over stucco to mimic building age is not appropriate.
- Heavy knock down or “Spanish Lace” stucco is not permitted. Stucco finish options may include light lace, sand, smooth, imperfect smooth, cat face, or similar.

- All material changes must occur at an inside corner or other defined terminus (i.e., a fence line).
- No fascia gutter (gutter that serves as fascia) is permitted.
- No concrete rake tiles are permitted.
- Where wood is specified, cementitious material is acceptable to promote longevity and ease of maintenance.
- Grooved plywood siding and vinyl siding are not permitted.
- Garage doors shall complement the architectural style.
- House lights shall complement the architectural style.
- When shutters are used, each shutter shall be sized to one-half of the entire adjacent window width, such that if the shutters were closed, they would completely cover the window.

THE CALIFORNIA WINE COUNTRY

Reflective of the rolling terrain of the California Wine Country, this casual and rustic architectural style borrows European accents and reinterprets them to be authentically California. Asymmetrical forms are layered to create casual massing and the use of rustic accent materials, such as overgrouted stone or brick, wrought iron, and heavy beams add to the charm of this style.

The California Wine Country style will add a rustic element to the streetscape, offering a casual and lower profile complement to the more formal vertical styles.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> Simple rectangular massing in one, one-and-a-half, full two-story, or a combination thereof. 	
Roof	<ul style="list-style-type: none"> Low-pitched gabled primary roofs (3:12 to 5:12). Shed porches. Tight rake at gables (0" to 6"). 12" to 16" eaves. Barrel or S-tile roof. 	<ul style="list-style-type: none"> Exposed rafter tails. Boosted roof tiles.
Walls	<ul style="list-style-type: none"> Stucco is the primary wall material. 	<ul style="list-style-type: none"> Overgrouted stone or brick as entire massing element. Smooth or imperfect smooth stucco finish.
Windows & Doors	<ul style="list-style-type: none"> Head and sill window trim or full window surrounds. Simple wood panel doors with vertical panels. Divided light windows. 	<ul style="list-style-type: none"> Front elevation with all windows inset 2" or one feature window recessed 12". Shutters (plank or diagonal brace). Colored window frames (e.g. cranberry, sage green, dark brown, etc.)
Details	<ul style="list-style-type: none"> Rustic wood railing and column posts. 	<ul style="list-style-type: none"> Massive chimney (may be battered or tapered) clad in stucco, stone, or brick. Wood trellises, applied sheds over windows, or Bermuda shutters. Carriage style garage doors with hardware. Typical downspouts replaced with "rain chains" or round metal downspouts.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE MONTEREY

The historic Monterey style blends the Spanish cultures of original California residents with the influences brought to the west by the first European settlers. These homes are a juxtaposition of local indigenous materials with colonial detailing applied. The dominant feature of the Monterey style is the always-present upper-story balcony element, which is contained within the principal roof form and cantilevered. The balcony is of heavy timbered construction, defining the structure.

The Monterey style is a direct link to the colonial heritage of California. Only appropriate for two-story homes, this style will enhance the animation of the streetscape, both vertically and horizontally, through height, recess, and significant shadow play.



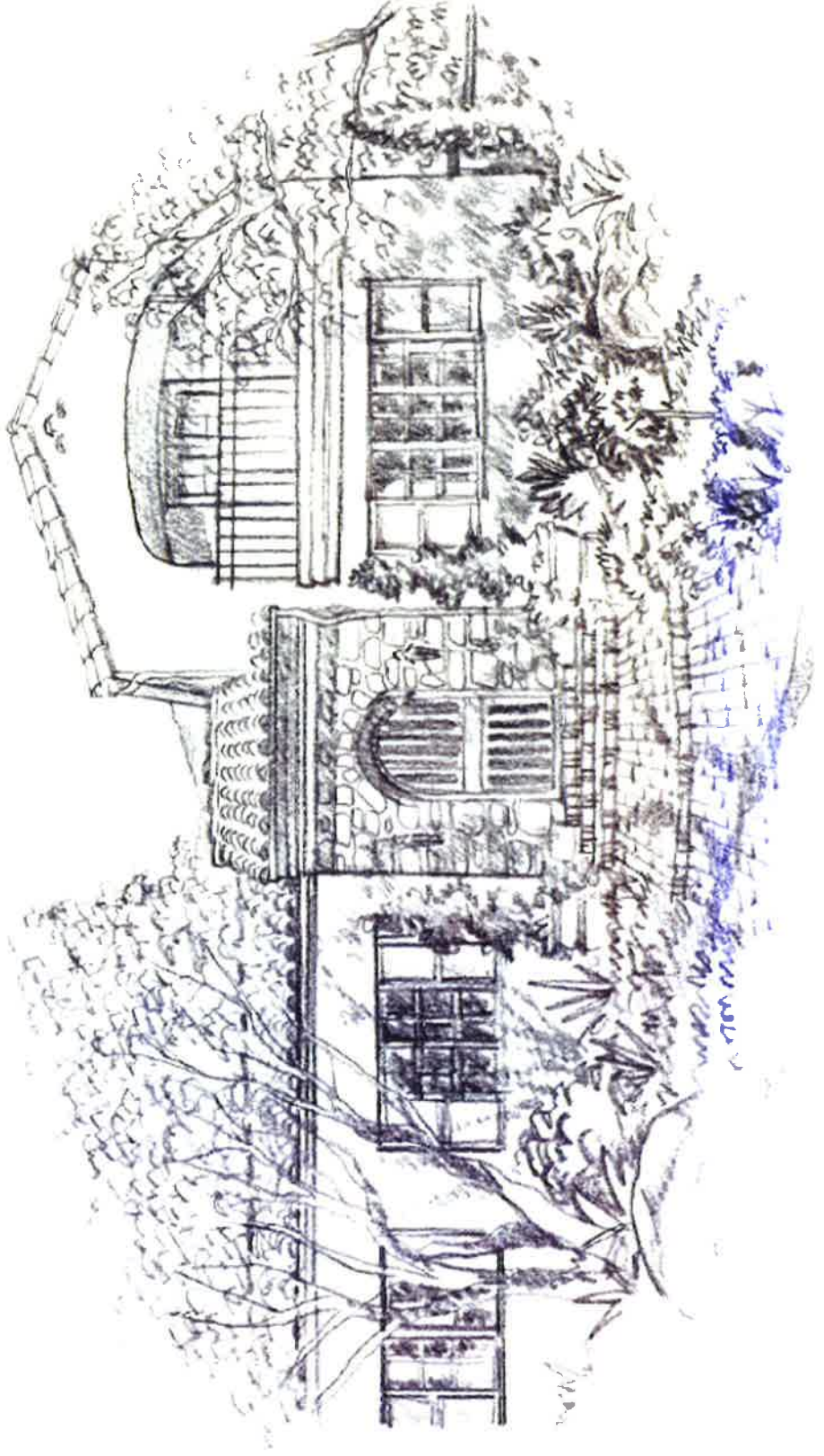
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • Two-story, rectangular form. • Principal side gabled roof. • Cantilevered second story balcony covered by principal roof. 	<ul style="list-style-type: none"> • L-shaped form with front facing cross gable. • Hipped roof elements.
Roof	<ul style="list-style-type: none"> • Low-pitched gabled roofs (4:12 to 5:12). • Flat tile roof with barrel ridge and hip tiles. • 12" to 16" overhangs. • Thin eaves with either a half-round or ogee gutter. 	<ul style="list-style-type: none"> • Full S-tile roof. • Applied shed roof elements over windows • Exposed rafter tails..
Walls	<ul style="list-style-type: none"> • Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> • Brick at first floor, which may be painted. • Horizontal wood siding at upper floor. • Thickened walls.
Windows & Doors	<ul style="list-style-type: none"> • Paired windows in groups of twos or threes. • Tall vertical windows. • Rustic plank entry door. 	<ul style="list-style-type: none"> • First floor arched picture window at cross gable. • Bermuda shutters. • At least one pair of French doors accessing the balcony.
Details	<ul style="list-style-type: none"> • Fixed panel or louvered wood shutters. • Wood railing at balcony to match posts and beams. 	<ul style="list-style-type: none"> • Exposed decorative wood elements at balconies. • Ornate wrought iron railing at balcony.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE SPANISH ECLECTIC

The Spanish Eclectic architectural style in California gained in popularity and sophistication in surface design after the 1915 Panama-California Exposition in San Diego. The Spanish Eclectic house is popular in many historic neighborhoods due to its adaptability of formal and casual, playful character. Historic precedence can be drawn from a wide and diverse range of influences; region, chronology, and function all contribute to the evolution of the Spanish Eclectic style. Truly one of the most diverse architectural styles, the Spanish Eclectic can vary from playful to exotic, bungalow to hacienda.

The Spanish Eclectic style will add to the intrinsic character and rich diversity of the streetscape. Offering an opportunity for bold color statement and whimsical forms, the style will add a playful element to the neighborhood.



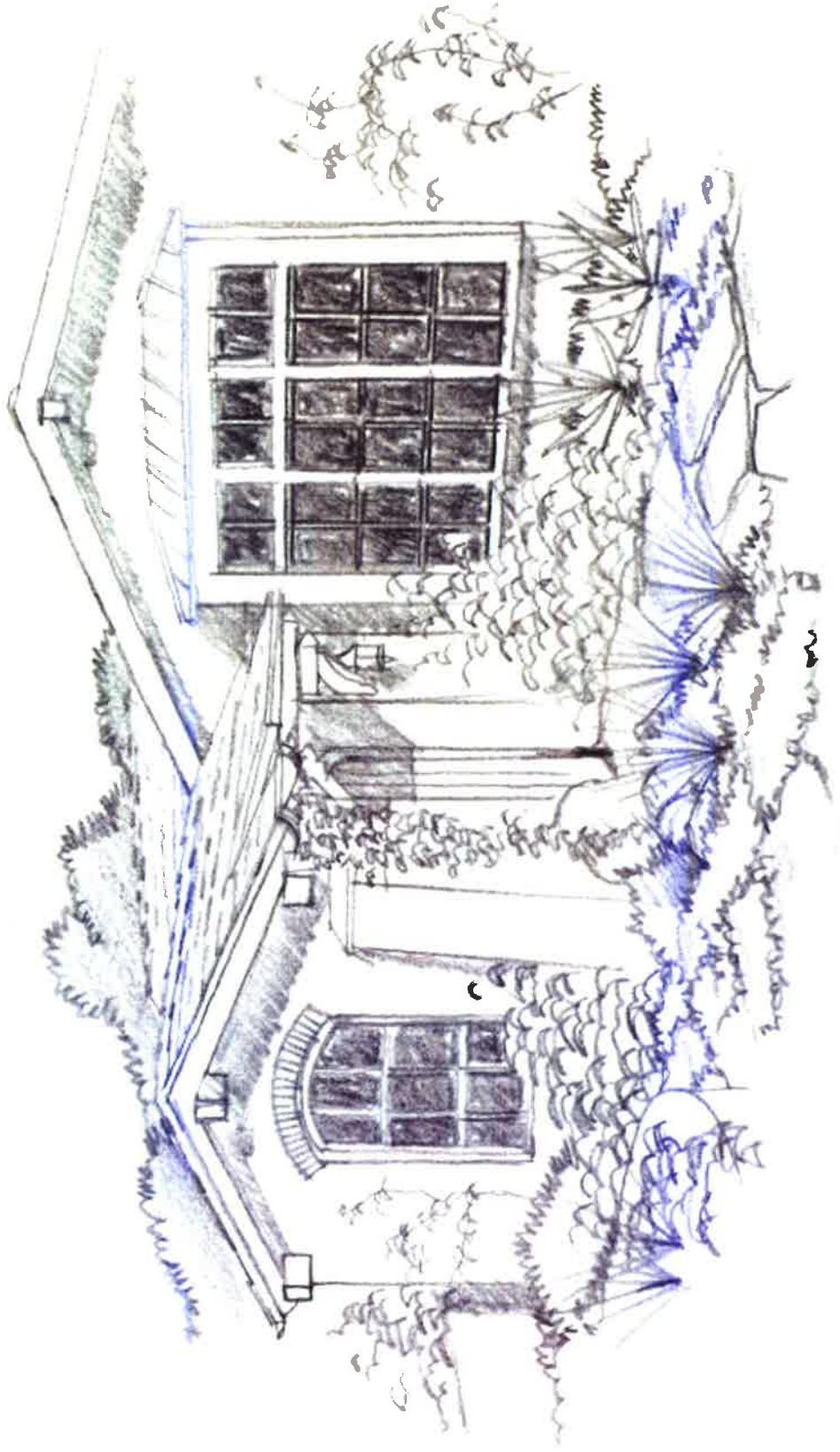
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • One, one-and-a-half (with strong one-story element and stepped back second story), or full two-story massing. (The form is not rigidly defined; this style can be applied to a wide variety of asymmetrical building mass configurations.) • Roof form is predominately pitched, hipped or gabled, but may also be parapeted. 	<ul style="list-style-type: none"> • Massive chimney with buttressed form and elaborate cap with arched opening and small tiled roof. • Massive battered (tapered) chimney with finial chimney cap. • Recessed arcade along front elevation. • Arcaded wing wall. • Balconies.
Roof	<ul style="list-style-type: none"> • Low pitched roof (3:12 to 5:12). • Simple flat, hip, or gable roof with one intersecting gable roof. • Overhangs are typically tight, but can be up to 18". • Fascia is either tight to the building (6" max) or nonexistent with rake tile providing the transition from wall to roof. • S-shaped concrete tiles. • Thin eaves with either a half-round or ogee gutter. 	<ul style="list-style-type: none"> • "Boosted" or raised tiles (may be all or a percentage of the roof field). • Applied shed roof elements over windows. • Exposed rafter tails.
Walls	<ul style="list-style-type: none"> • Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> • Overgrouted stone, brick, or adobe expressed as a single massing element.
Windows & Doors	<ul style="list-style-type: none"> • Feature recessed arched picture window or three grouped arched windows. • Vertical multi-paned windows or inserts at front elevations. • Window head and jamb trim is absent. • Modest (4" max) window sill trim. 	<ul style="list-style-type: none"> • Accent beveled glass recessed window. • Single or grouped arched windows. • Decorative precast concrete door and window surrounds. • Heavy wood head trim at windows. • Thickened walls. • Juliet balconies. • Bermuda shutters.
Details	<ul style="list-style-type: none"> • Masonry vents. • Canales. 	<ul style="list-style-type: none"> • Shaped rafter tails at feature areas. • Wrought iron balconies and accent details. • Arched stucco column porches. • Vibrant and colorful glazed Spanish tile accents.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA COTTAGE

The California Cottage introduces a quaint and picturesque element to the eclectic Russell Ranch streetscape. The Cottage typically has a steeply pitched roof, with the principal roof being side gabled, and multiple asymmetric cross gables. The Cottage is a popular style throughout historic California neighborhoods, with French and English European influences.

Homes may have applied half-timbering, and may feature face brick, which can be painted. Gabled dormers are common, with only modest eave extension. Details such as eyebrow dormers, bell-cast eaves, and arched windows add charm and whimsy to the storybook architectural style. Windows tend to be vertically oriented, often with casements, and often with square gridded or diamond-pane leaded muntins. Cottage houses generally have prominent chimneys.



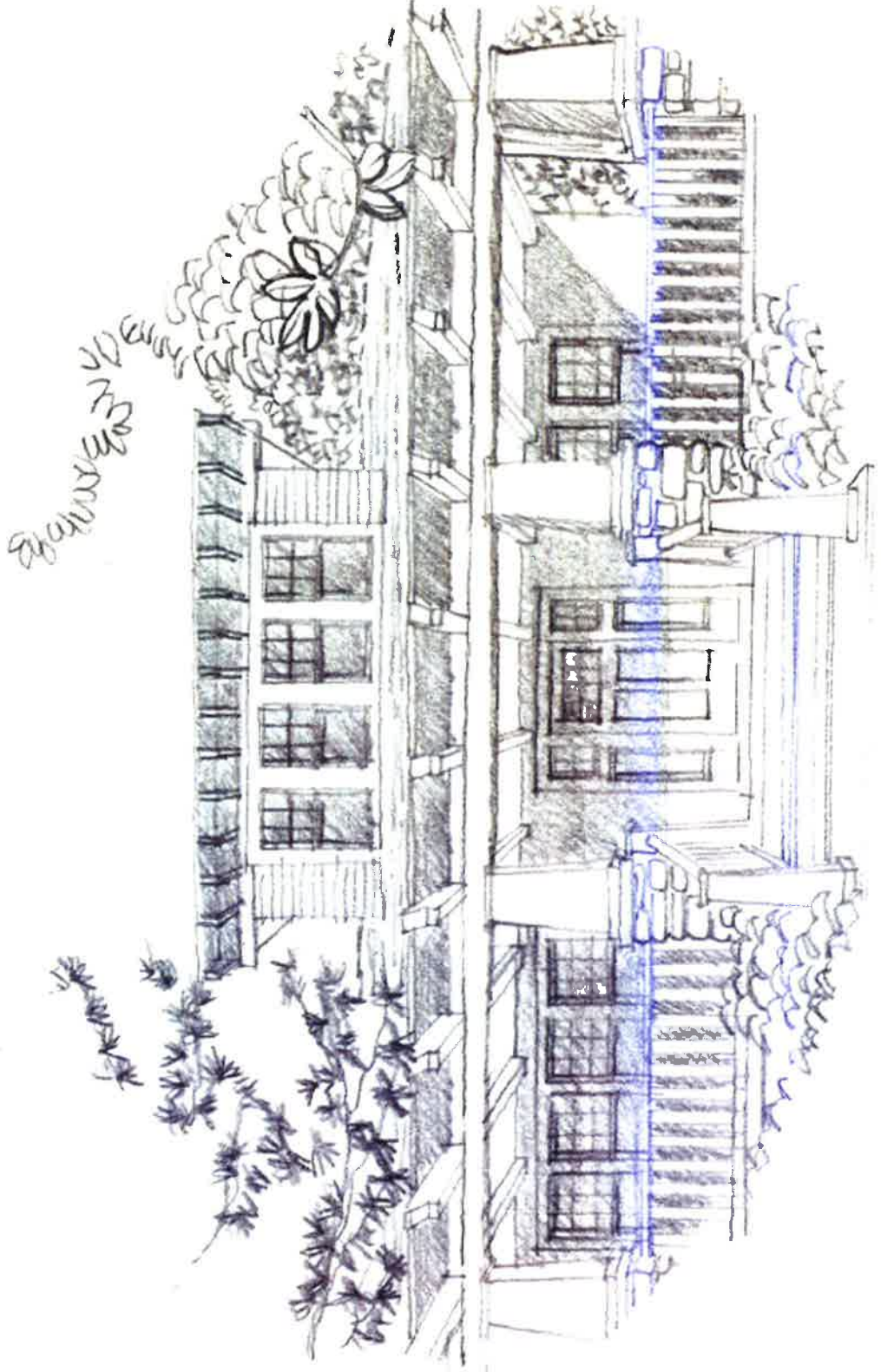
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • One, one-and-a-half, or full two-story massing. • Asymmetrical massing and proportions. • Gable roof form (either front-to-back, side-to-side, or cross-gable). 	<ul style="list-style-type: none"> • Single eyebrow dormer. • Multiple (two or three) gable dormers. • Massive chimney, usually integrated with the dominant gable.
Roof	<ul style="list-style-type: none"> • Low pitched main roof (3:12 to 6:12). • Asphalt composition shingles preferred, concrete tile allowed with raised bargeboard. • Rake at gables up to 12”. 	<ul style="list-style-type: none"> • Steeply pitched accent gable (6:12 to 9:12). • Standing seam metal accent roof at dormers or bay windows. • Up to 16” eaves.
Walls	<ul style="list-style-type: none"> • Stucco, lap siding, masonry/brick, stone, or any combination thereof. 	<ul style="list-style-type: none"> • Smooth or imperfect smooth stucco. • Stone or brick wainscot. • Horizontal siding accents at gables and single massing elements. • Masonry as an entire massing element (e.g., chimney, gable end, etc.) • Painted brick.
Windows & Doors	<ul style="list-style-type: none"> • Divided lights common on all windows. • Vertical windows in groupings of two and three. • Head and sill window trim or full window surrounds. • Entry doors accented by trim surrounds. 	<ul style="list-style-type: none"> • Front elevation with all windows inset 2” or one feature window recessed 12”. • Round accent window or arched accent window flanked with arched shutters. • Soft arch or radius top windows. • Casement windows. • Mull window groupings. • Arched entry door. • Brick or stone window and/or door surrounds at key locations. • Bay window. • Deep recessed entry door.
Details	<ul style="list-style-type: none"> • Shutters 	<ul style="list-style-type: none"> • Exposed accent wood timbers and beams. • Cast concrete door surrounds, window trim accents, and/or lentils. • Balcony or windows with decorative metal railings and French doors. • Recessed gable vents. • Leader heads at downspouts. • Brick window and/or door headers at key locations.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE TRANSITIONAL BUNGALOW

The Craftsman bungalow was the first truly American vernacular style and became a very popular and beloved addition to historic California streetscapes. The Craftsman plan form broke with earlier formal Victorian spatial arrangements and changed the way that families lived in and related to their houses.

Russell Ranch's Transitional Bungalow reinterprets the traditional Craftsman style through a reduction in ornamentation and delicacy, bold material placement emphasizing major architectural elements, and prominent strong architectural forms. Focused on the blending of structure with nature, window walls and clerestory forms effectively bring the outdoors in to the home.



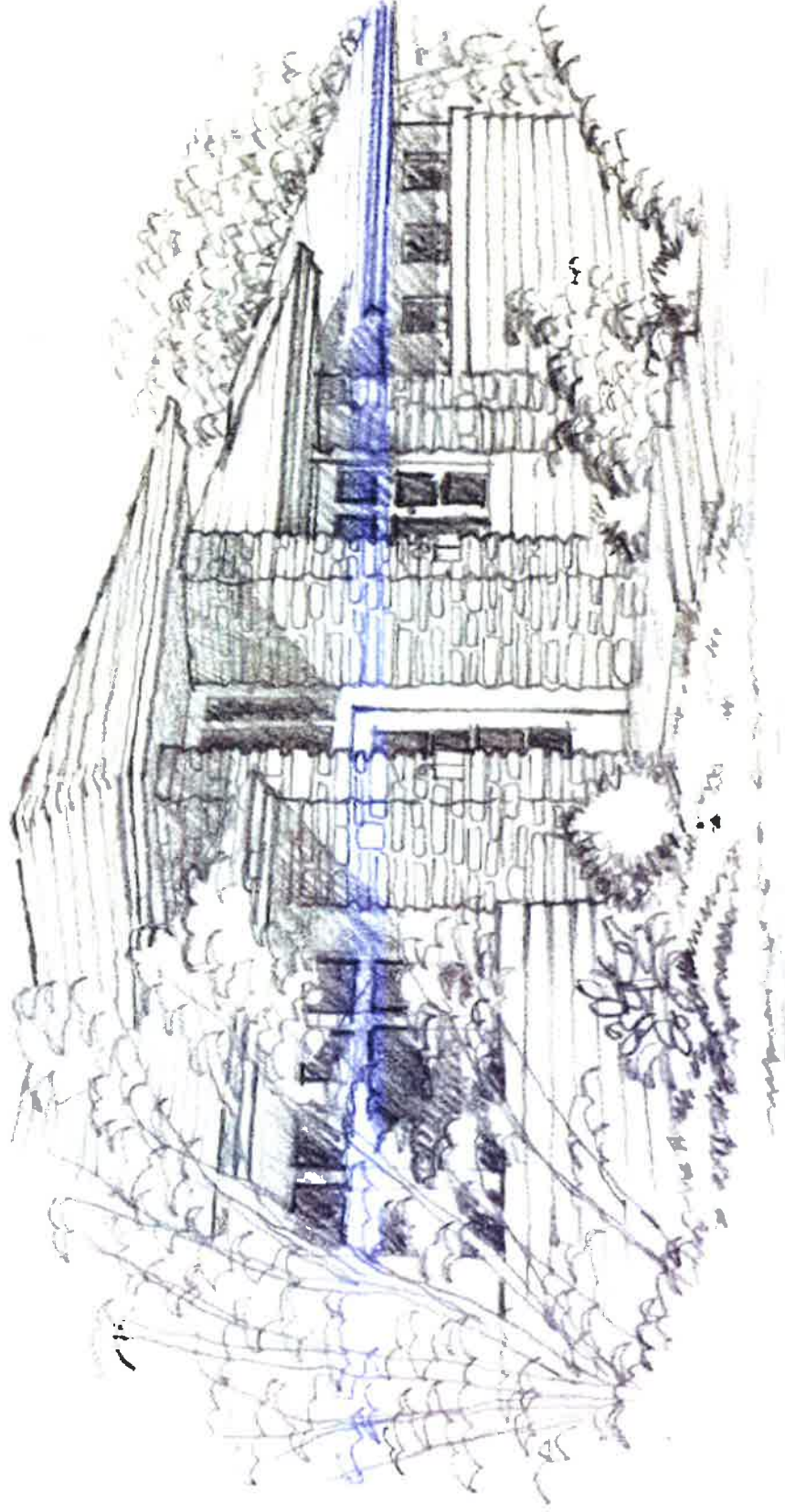
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • Simple massing, front or side gabled, typically one- to one-and-a-half-story massing. • Symmetrical or asymmetrical form. • Deep front entry porch. • Stylized column and beam detailing at porches 	<ul style="list-style-type: none"> • Cross-gabled massing. • Two stories with a combination of one and two-story elements. • 6' minimum full width, deep porch at entry.
Roof	<ul style="list-style-type: none"> • Low-pitched roofs with large over-hanging eaves, emphasizing horizontal planes. • 4:12 to 6:12 roof pitch. • 12" to 18" overhangs. • Asphalt composition shingles 	<ul style="list-style-type: none"> • Concrete roof tile with raised bargeboard. • Varied porch roofs; shed or gabled. • Metal roof at porch (standing seam or corrugated). • Cascading (multiple) gables. • Single large shed dormer. • 18" to 36" overhangs. • Extended and shaped barge rafters. • Exposed rafter tails at eaves.
Walls	<ul style="list-style-type: none"> • Exterior wall materials with combinations of materials, such as wood shingles, horizontal siding, board and batten, and stucco. 	<ul style="list-style-type: none"> • Brick chimneys. • Battered (tapered) stone foundation or wainscot. • Foundation or wainscot using brick.
Windows & Doors	<ul style="list-style-type: none"> • Single hung windows at front elevations. • Use windows individually or in groups (typically two or three). • Doors with full surrounds. • Windows with full surrounds and a projected sill/apron. 	<ul style="list-style-type: none"> • Casement windows. • Three or more windows in a "ribbon." • Grouped windows with a high transom. • Large feature picture window flanked by two narrow vertical windows. • Wide wood entry door with integrated glass. • Wood door and window surrounds.
Details	<ul style="list-style-type: none"> • Entry porches with columns resting on larger piers or bases. • Porch rails of repeated vertical elements. 	<ul style="list-style-type: none"> • Entry porch columns consisting of single or multiple wood posts with rectangular or battered brick or stone piers or bases. • Wood brackets or knee braces. • Porch rails comprised of decoratively cut boards that create a horizontal pattern. • Typical downspouts replaced with "rain chains" or round metal downspouts. • Open eave overhangs with plumb or square cut rafter tails. • Exposed square cut ridge beams, outlookers, and purlins. • Porte-cochère, pergola, or trellis that continues, or is integrated with, the front porch.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA PRAIRIE

The Prairie style was borne of the Chicago Prairie School movement. The style is organic in nature, integrated with the land, using natural materials and abstracted nature forms. The Prairie emphasizes the integration of indoor and outdoor spaces with its trademark wide overhangs, appropriate for the regional climate, identifying the style. Although not as prevalent in the area as the Craftsman style, Prairie homes are very distinctive and add a strong horizontal presence to the community.

The California Prairie at Russell Ranch is a slightly abstracted version of the traditional Prairie style with simplicity in form and detail. A commitment to strong orthogonal forms and linear arrangements tie the California Prairie to its Midwestern roots.



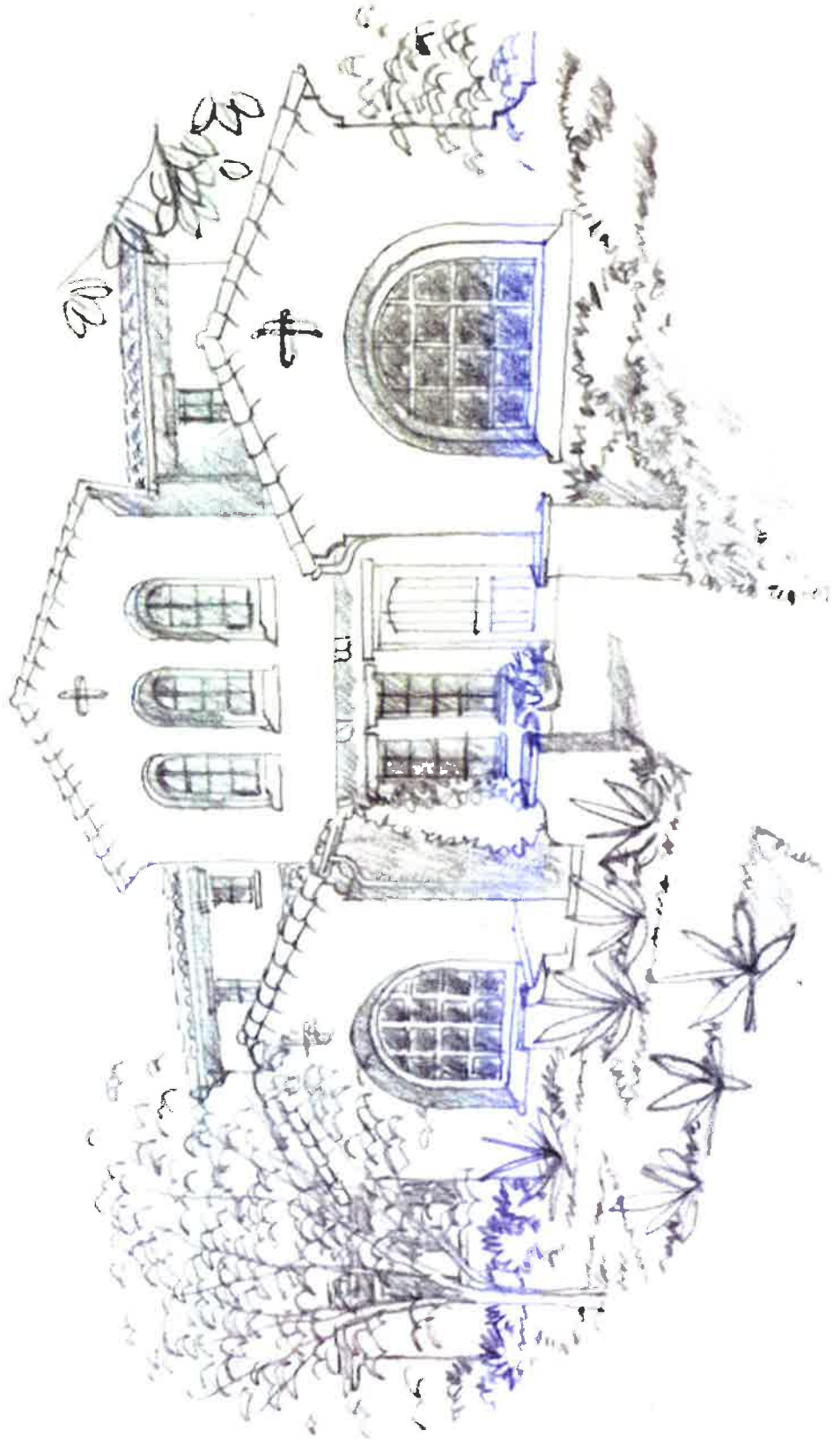
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • One or two-story with strongly horizontal massing. • Secondary masses perpendicular to the primary forms. 	<ul style="list-style-type: none"> • Porte-cocheres (where applicable) and raised porches extending out from the entry of the home. • Accentuated horizontal base extending out as a site or planter wall.
Roof	<ul style="list-style-type: none"> • Long, horizontal low-pitched hip roofs with large overhanging eaves, emphasizing horizontal planes (3.5:12 to 4:12 roof pitch). • 36" minimum overhangs. • Gable roof forms are also appropriate. • Flat concrete tile with a shingle appearance or asphalt composition shingles. 	<ul style="list-style-type: none"> • Terraces covered by primary roof form with massive rectilinear stone piers for roof support. • 12" - 18" overhangs
Walls	<ul style="list-style-type: none"> • Stucco in combination with ledge stone or masonry wainscot base. • Ledge stone used as post bases and fireplaces only. 	<ul style="list-style-type: none"> • Extensive use of brick or ledge stone, used to emphasize the horizontal planes, with struck horizontal grout joints. • Cement plank lap siding is found in some examples.
Windows & Doors	<ul style="list-style-type: none"> • Square or rectangular windows • Grouping and arrangement of windows should emphasize the geometry of the elevation. • Ribbons of windows under deep roof overhangs. • Wood window and door trim. 	<ul style="list-style-type: none"> • Clerestory windows. • Leaded glass inserts at entry. • Accent colored window frames. • Style-specific divided lights
Details	<ul style="list-style-type: none"> • Ornamental railings and gates. • Wood beams and brackets. 	<ul style="list-style-type: none"> • Metal or wood fascia. • Carpenter detailing³. • Style-specific unique lighting fixtures. • Low garden walls to enclose and frame outdoor living spaces. • Massive chimney forms, wrapped in stone or brick.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.
3. Wood trim details (e.g., at doors, windows, eaves, terraces and pergola style porte-cocheres).

THE SPANISH COLONIAL REVIVAL

The 1915 Panama-California Exposition, designed by Spanish Colonial architecture expert Bertram Grosvenor Goodhue, ended the precedent of free adaptations of the Mission style and brought the emergence of precise imitations of more elaborate Spanish prototypes. Goodhue wanted to go beyond the then prevalent Mission interpretations and emphasize the richness of Spanish precedents found throughout Latin America. Fashionable architects of the time began to look directly to Spain for source material, finding a long and rich sequence of architectural traditions, which became melded into a style that became the Spanish Colonial Revival.

The Spanish Colonial Revival introduces a more formal and symmetrical counterpart to the playful Spanish Eclectic style, adding diversity to the Russell Ranch streetscape.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • One, one-and-a-half (with strong one-story elements), or full two-story massing. • Roof form is predominantly pitched, hipped or gabled, but may also have a parapeted accent, which may be shaped in a traditional mission form. • Primarily symmetrical form. 	<ul style="list-style-type: none"> • Massive chimney with buttressed form and elaborate cap with arched opening and small tiled roof. • Massive battered (tapered) chimney with finial chimney cap. • Recessed arcade along front elevation. • Arcaded wing wall. • Balconies. • Cantilevered second story elements with brackets.
Roof	<ul style="list-style-type: none"> • Low pitched roof (3:12 to 5:12). • Overhangs are typically tight, but can be up to 18". • Fascia is either tight to the building (6" max) or nonexistent with rake tile providing the transition from wall to roof. • S-shaped concrete tiles. • Thin eaves with either a half-round or ogee gutter. 	<ul style="list-style-type: none"> • "Boosted" or raised tiles (may be all or a percentage of the roof field). • Exposed rafter tails.
Walls	<ul style="list-style-type: none"> • Stucco is the dominant exterior finish. 	
Windows & Doors	<ul style="list-style-type: none"> • Feature recessed arched picture windows or three grouped arched windows. • Vertical multi-paned windows or inserts at front elevations. • Window head and jamb trim is absent. • Modest (4" max) window sill trim. • Oversized wood entry door. 	<ul style="list-style-type: none"> • Multiple feature recessed arched windows. • Accent beveled glass recessed window. • Single or grouped arched windows. • Decorative precast concrete door and window surrounds. • Heavy wood head trim at windows. • Thickened walls. • Juliet balconies. • Bermuda shutters.
Details	<ul style="list-style-type: none"> • Masonry vents. • Canales. 	<ul style="list-style-type: none"> • Scalloped eaves. • Shaped rafter tails at feature areas. • Wrought iron balconies and accent details. • Arched stucco column porches. • Vibrant and colorful glazed Spanish tile accents.

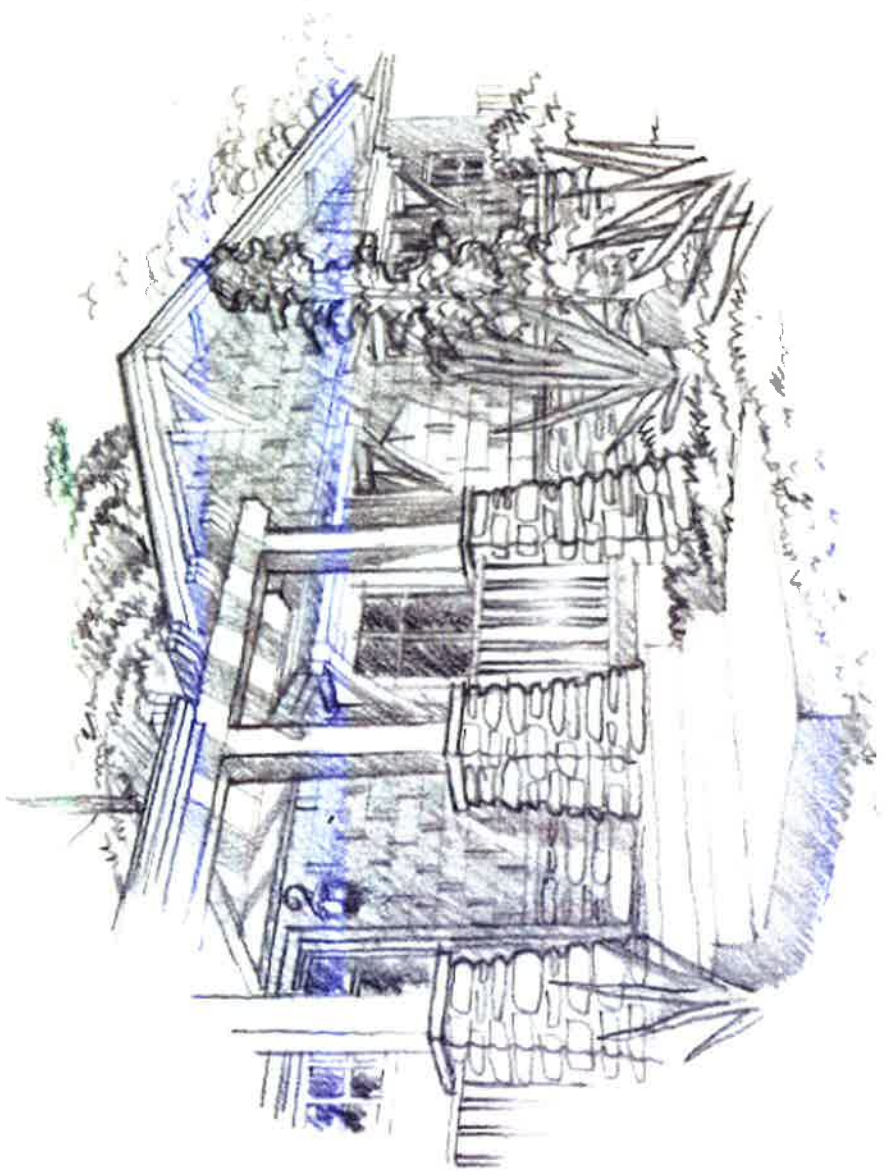
1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA CRAFTSMAN

The Craftsman bungalow was an enormously influential form and style of architecture in America between 1906 and 1918, the first truly American vernacular style. The Craftsman plan form broke with earlier formal Victorian spatial arrangements and changed the way that families lived in and related to their houses.

Architecturally, the Craftsman bungalow was designed to achieve harmony between the house and its landscape, to get as close as possible to nature. A Craftsman bungalow has many of the hallmarks of the Arts and Crafts aesthetic: clinker brick, carved rafter tails, a mixture of cladding (brick, clapboard, tile, and shingle), and oversized eave brackets painted in colors of nature.

The California Craftsman recalls the comfortable and welcoming nature of the much-loved historic Craftsman bungalows with a uniquely California flair with large windows and an emphasis on the blending of indoor and outdoor spaces. These homes reflect a sense of permanence that only artisanship and careful design can convey.



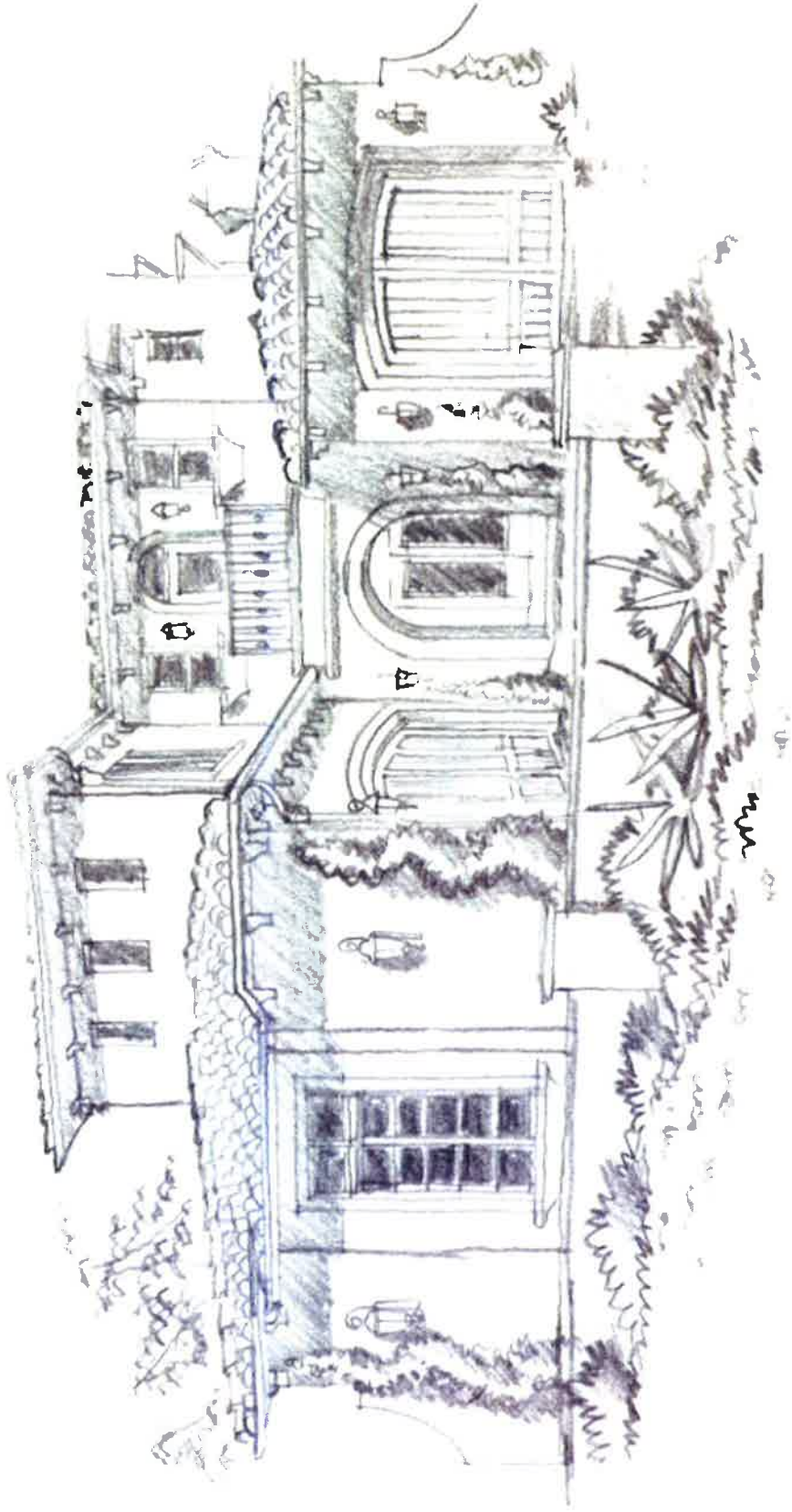
Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1,2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • Simple massing, front or side gabled, typically one- to one-and-a-half-story massing. • Symmetrical or asymmetrical form. • 6' minimum deep front entry porch. • Stylized column and beam detailing at porches 	<ul style="list-style-type: none"> • Cross-gabled massing. • Two stories with a combination of one and two-story elements. • Full width, deep porch at entry.
Roof	<ul style="list-style-type: none"> • Low-pitched roofs with large over-hanging eaves, emphasizing horizontal planes. • 4:12 to 6:12 roof pitch. • 12" to 18" overhangs. • Asphalt composition shingles preferred. 	<ul style="list-style-type: none"> • Concrete roof tile with raised bargeboard. • Varied porch roofs; shed or gabled. • Cascading (multiple) gables. • Roof dormers (shed or gable form). • 18" to 36" overhangs. • Extended and shaped barge rafters. • Exposed rafter tails at eaves.
Walls	<ul style="list-style-type: none"> • Exterior wall materials with combinations of materials, such as wood shingles, horizontal siding, board and batten, and stucco. 	<ul style="list-style-type: none"> • Stone, brick or combination chimneys. • Eliminate stucco as a wall treatment. • Foundation or wainscot using brick, stone, or a combination. • Battered (tapered) stone foundation or wainscot.
Windows & Doors	<ul style="list-style-type: none"> • Single hung windows at front elevations. • Use windows individually or in groups (typically two or three). • Doors with full surrounds. • Windows with full surrounds and a projected sill/apron. 	<ul style="list-style-type: none"> • Casement windows. • Divided light windows. • Three or more windows in a "ribbon." • Grouped windows with a high transom. • Wide wood entry door with integrated glass. • Wood door and window surrounds.
Details	<ul style="list-style-type: none"> • Entry porches with columns resting on larger piers or bases. • Porch rails of repeated vertical elements. 	<ul style="list-style-type: none"> • Wood brackets or knee braces. • Entry porch columns consisting of single or multiple wood posts with rectangular or battered brick or stone piers or bases. • Porch rails comprised of decoratively cut boards that create a pattern. • Additional "stick-work" in gable ends. • Typical downspouts replaced with "rain chains." • Open eave overhangs with shaped rafter tails. • Decorative ridge beams, outlookers, and purlins. • Porte-cochère, pergola, or trellis that continues, or is integrated with, the front porch.

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.

THE CALIFORNIA VILLA

The Villa pays homage to Italian Renaissance architecture while introducing elements of California style. Simple, symmetrical, unornamented facades with decorative elements focused to high-visibility areas, such as doors and windows. Small details concentrated in high impact locations work to create a highly ordered style with classical elegance and restrained formality.

Being more formal and vertical in nature, the Villa adds an attractive contrast to some of the casual and eclectic styles within the neighborhood.



Style Elements	Minimum Elements (All Required on All Homes)	Enhanced Elements ^{1, 2} (Minimum of 3 Required on All Homes)
Form	<ul style="list-style-type: none"> • Two-story form. • Simple hipped roof with a flat, symmetrical facade. 	<ul style="list-style-type: none"> • Full-width loggia with a formal and elegantly detailed colonnade.
Roof	<ul style="list-style-type: none"> • Low pitched roof (4:12 to 5:12). • Simple hipped roof. • Broadly overhanging (24" min) boxed eaves. • Barrel or S-shaped concrete tiles. 	<ul style="list-style-type: none"> • Decorative brackets at eaves. • Hipped roof with single-story projecting wings (i.e., porte-cochere or sunroom). • Decorative frieze.
Walls	<ul style="list-style-type: none"> • Stucco is the dominant exterior finish. 	<ul style="list-style-type: none"> • Yellow brick walls. • Horizontal rusticated base of stone or masonry.
Windows & Doors	<ul style="list-style-type: none"> • Formal window arrangement across full facade. • Symmetrical placement of windows. • Smaller windows on upper floors. • Classical door surrounds. 	<ul style="list-style-type: none"> • Full-length first-story windows with arches above. • Palladian window arrangements. • Precast concrete door and window surrounds. • Pedimented door surround with columns. • Arched entry door. • Pedimented windows.
Details	<ul style="list-style-type: none"> • Belt-course to accent second floor plate or window sills. 	<ul style="list-style-type: none"> • Roof-line balustrades. • Molded cornices. • Bracketed window cornices. • Molded precast concrete belt-course to accent second floor plate or window sills. • Shutters (louvered).

1. An additional 2 enhancements required on visible lots shown on Figure 4.1 for a total of 5 Enhanced Elements.
2. An additional 3 enhancements required on corner visible lots shown on Figure 4.1 for a total of 6 Enhanced Elements.



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 3
Type: Public Hearing
Date: February 20, 2019

Planning Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: Folsom Glenn Car Wash Shade Structure Commercial Design Review
File #: PN-18-371
Request: Commercial Design Review
Location: 414 Glenn Drive
Staff Contact: Steve Banks, Principal Planner, 916-461-6207
sbanks@folsom.ca.us

Property Owner

Name: Wegat Family Trust
Address: 106 Diablo View Drive, Orinda, CA
94563

Applicant

Name: Folsom Glenn Car Wash
Address: 414 Glenn Drive,
Folsom, CA 95630

Recommendation: Conduct a public hearing and upon conclusion recommend approval of a Commercial Design Review Application for development of a shade structure at the existing Folsom Glenn Car Wash as illustrated on Attachments 5 and 6 for the Folsom Glenn Car Wash Shade Structure project (PN 18-371) subject to the findings and conditions of approval attached to this report.

Project Summary: The proposed project involves a request for commercial design review approval for development of a 3,850-square-foot freestanding shade structure at the existing Folsom Glenn Car Wash located at 414 Glenn Drive. In addition, the proposed project includes eliminating an existing trash/recycling enclosure and constructing a new trash/cycling enclosure in a new location.

Table of Contents:

- 1 - Description/Analysis
- 2 - Background
- 3 - Conditions of Approval
- 4 - Vicinity Map
- 5 - Site Plan, dated January 28, 2019
- 6 - Shade Structure Elevations and Details, dated January 28, 2019
- 7 - Heat Illness Prevention Letter and Information, dated February 12, 2019
- 8 - Site Photographs



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 3
Type: Public Hearing
Date: February 20, 2019

Submitted,

A handwritten signature in blue ink, appearing to read "Pam Johns", with a long horizontal flourish extending to the right.

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Folsom Glenn Car Wash, is requesting commercial design review approval for development of a permanent, 3,850-square-foot freestanding shade structure at the existing Folsom Glenn Car Wash located at 414 Glenn Drive. The proposed shade structure, which is proposed near the car wash tunnel exit adjacent to Glenn Drive, features a blue-colored fabric canopy (Alnet Extra Block Shadecloth) supported by six steel columns and a steel-framed hip structure. The shade structure is 10 feet in height around the perimeter with the apex being approximately 15 feet in height. In addition to construction of the shade structure, the applicant is proposing to remove an existing trash/recycling enclosure located in the southeast corner of the project site and construct a new trash/recycling enclosure in the northeast corner of the project site. This modification to the trash/recycling enclosure location is necessary due to the fact that proposed shade structure will block off solid vehicle access to the existing trash/recycling enclosure.

The applicant has indicated to City staff that the purpose of the proposed shade structure is to provide a safer work environment for employees of the Folsom Glenn Car Wash. The car wash provides a number of services (car drying, car detailing, car waxing, tire dressing, etc.) to customers that require employees to work outdoors in conditions that can be severe at times in terms temperature. In an ongoing effort to protect the health and safety of their employees, Folsom Glenn Car Wash has been providing information, guidance, and training resources (Attachment 7) in accordance with the requirements of the Federal Occupational Safety and Health Administration (OSHA). As part of this ongoing effort, the applicant is proposing to install a permanent outdoor shade structure that will shield employees from the impacts of direct sunlight especially during the warmer months of the year.

POLICY/RULE

The Folsom Municipal Code (FMC) requires that office, industrial, and commercial development of one thousand square feet or greater in size submit a Design Review Application for approval by the City. The Design Review Application is required to be forwarded to the Planning Commission for final action as addressed in Section 17.06.030 of the Folsom Municipal Code.

ANALYSIS

As described in the applicant's proposal, the Folsom Glenn Car Wash is requesting approval to construct a single, permanent 3,850-square-foot freestanding shade structure adjacent to Glenn Drive. The applicant had initially intended to construct two shade structures side by side at the proposed location, however, due to Fire Department requirements regarding separation of structures, it was determined that this could not be accomplished. As a result, the applicant modified their plans to reflect a single, 3,850-square-foot shade structure as shown on the current plans. City staff also encouraged the applicant to consider construction a more permanent shade structure (stucco support columns, standing seam metal roof, etc) designed to better match the architecture and building materials utilized on existing structures within the project site. The applicant indicated that more permanent shade structure was not financially feasible for the Folsom Glenn Car Wash business.

The project site is located within a commercial area where no specific design standards or architectural guidelines have been established. As a result, the architecture and design for development projects within this area are evaluated on a case-by case basis. For this commercial site, staff evaluated the design of the proposed shade structure relative to the existing buildings and structures located on the project site. Staff also took into consideration the unique nature of the Folsom Glenn Car Wash operation, which incorporates employees into many of the car wash activities (drying, cleaning, detailing, waxing, etc.) as opposed to fully automating the entire car wash process like all other car wash facilities within the City.

The project site is bound by a U.S. Post Office building to the north with commercial development beyond, Glenn Drive to the south with the Folsom Fair and Folsom Central shopping centers beyond, Riley Street to the west with the Folsom Central shopping center beyond, and the La Petite Academy and US Bank to the east with East Bidwell Street beyond. Buildings within the surrounding commercial developments, which were constructed primarily in the 1980's, and reflect the common architecture and design of that period. Primary building materials found on these structures include stucco, wood siding, stone veneer, brick veneer, concrete roof tiles, and standing seam metal roofing. Based on the commercial nature of land uses and buildings in the project area, staff has determined that the proposed shade structure is consistent with and complimentary to the design, materials, and colors of existing buildings in the general project area.

The project site includes three existing buildings, a car wash tunnel, and a small fabric canopy near the entrance to the car wash tunnel. The existing buildings on the project site, were constructed in 2001 and feature an industrial design that is typical of other car wash uses. Primary building materials found on these buildings and structures include concrete masonry blocks, stucco, metal design elements, and standing seam metal

roofing. The primary color scheme found on the existing buildings is gray, accented by blue metal roofs, black metal design elements, and a tan-colored entry canopy. As shown on the submitted elevations and details (Attachment 6), the proposed shade structure has been designed to match the roof pitch and roof colors of the existing buildings located on the project site. In addition, the steel support columns of the shade structure have been designed to match metal design elements found throughout the project site.

Based on the design, materials, and color of the existing buildings described above, staff has determined that the proposed shade structure will be complimentary to existing site development in terms of design, materials, and colors. Staff forwards the following design recommendations to the Commission for consideration:

1. This approval is for development of a 3,850-square-foot shade structure at the existing Folsom Glenn Car Wash. The applicant shall submit building plans that comply with this approval, the attached site plan, and the attached shade structure elevations and details dated January 28, 2019.
2. The design, materials, and colors of the proposed Folsom Glenn Car Wash shade structure shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.
3. The final location, orientation, design, materials, and colors of the new trash/recycling enclosure is subject to review and approval by the Community Development Department. In addition, the existing trash/recycling enclosure shall be removed and replaced with landscaping to the satisfaction of the Community Development Department.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15303 New Construction or Conversion of Smaller Structures of the California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDATION/PLANNING COMMISSION ACTION

Move to Approve the Design Review Application for development of a 3,850-square-foot shade structure as illustrated on Attachments 5 and 6 for the Folsom Glenn Car Wash Shade Structure project with the following findings and conditions of approval included as Attachment 3.

GENERAL FINDINGS

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.

DESIGN REVIEW FINDINGS

- F. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN AND THE ZONING ORDINANCE.
- G. THE PROJECT PROVIDES COMPATIBILITY OF BUILDING MATERIALS, TEXTURES AND COLORS WITH SURROUNDING DEVELOPMENT AND CONSISTENCY WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

**ATTACHMENT 2
BACKGROUND**

BACKGROUND

In 1997, the Architecture Review Commission approved a Design Review Application for development of a 2,020-square-foot car wash facility (Folsom Glenn Car Wash) on a 1.1-acre site located at 414 Glenn Drive. The aforementioned car wash facility included two freestanding buildings, a car wash tunnel, and associated site improvements. On September 9, 1999, the Architectural Review Commission approved a Design Review Application for development of a 1,620-square-foot oil change facility on the subject parcel. On January 9, 2003, the Architectural Review Committee approved a Design Review Application for a 900-square-foot expansion to the existing car wash facility to provide more interior storage space.

GENERAL PLAN DESIGNATION	CC (Community Commercial)
ZONING	C-2 (Central Business District)
ADJACENT LAND USES/ZONING	North: U.S. Post Office (C-2) with Commercial and Residential Development Beyond South: Glenn Drive with Commercial Development (C-2) Beyond East: La Petite Academy and US Bank (C-2) with East Bidwell Street Beyond West: Riley Street with Folsom Central Shopping Center (C-2 PD) Beyond
SITE CHARACTERISTICS	The 1.1-acre project site is fully developed with a car wash facility, an oil change facility, and associated site improvements.
APPLICABLE CODES	<u>FMC</u> 17.06, Design Review <u>FMC</u> 17.22, Commercial Land Use Zones

Attachment 3 Conditions of Approval

CONDITIONS OF APPROVAL FOR THE FOLSOM GLENN CAR WASH SHADE STRUCTURE PROJECT (PN 18-371) 414 GLENN DRIVE COMMERCIAL DESIGN REVIEW Condition/Mitigation Measure			
Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> • Site Plan, dated January 28, 2019 • Shade Structure Elevations and Details, dated January 28, 2019 <p>This project approval is for the Folsom Glenn Car Wash Shade Structure Commercial Design Review, which includes construction of a 3,850-square-foot shade structure at the existing Folsom Glenn Car Wash located at 414 Glenn Drive. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	B	CD (P)(E)
2.	<p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.	<p>The project approvals granted under this staff report (Commercial Design Review) shall remain in effect for two years from final date of approval (February 20, 2021). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

CONDITIONS OF APPROVAL FOR THE FOLSOM GLENN CAR WASH SHADE STRUCTURE PROJECT (PN 18-371) 414 GLENN DRIVE COMMERCIAL DESIGN REVIEW			
Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> • The City bears its own attorney's fees and costs; and • The City defends the claim, action or proceeding in good faith <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD, NS
DEVELOPMENT COSTS AND FEE REQUIREMENTS			
5.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.	The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)

CONDITIONS OF APPROVAL FOR THE FOLSOM GLENN CAR WASH SHADE STRUCTURE PROJECT (PN 18-371) 414 GLENN DRIVE COMMERCIAL DESIGN REVIEW				
	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
8.		<p>If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.</p>	B	CD (P)(E)
9.		<p>This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (February 20, 2019). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.</p>	B	CD (P)(E), PW, PK
10.		<p>The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.</p>	B	CD (P)

ARCHITECTURE/SITE DESIGN REQUIREMENTS		
11.	<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> This approval is for development of a 3,850-square-foot shade structure at the existing Folsom Glenn Car Wash. The applicant shall submit building plans that comply with this approval, the attached site plan, and the attached shade structure elevations and details dated January 28, 2019. The design, materials, and colors of the proposed Folsom Glenn Car Wash shade structure shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department. The final location, orientation, design, materials, and colors of the new trash/recycling enclosure is subject to review and approval by the Community Development Department. In addition, the existing trash/recycling enclosure shall be removed and replaced with landscaping to the satisfaction of the Community Development Department. 	B CD (P) (B)
FIRE DEPARTMENT REQUIREMENT		
12.	The proposed shade structure shall meet conditions set forth in the California Fire Code Sections 3104 and 3105. In addition, no power supply shall be added to the shade structure.	B FD
POLICE/SECURITY REQUIREMENT		
13.	<p>The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:</p> <ul style="list-style-type: none"> A security guard shall be on-duty at all times at the site or another approved security measure shall be in place including but not limited to a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings). Security measures for the safety of all construction equipment and unit appliances shall be employed. Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting. 	B PD

CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED
CD	Community Development Department	I
(P)	Planning Division	M
(E)	Engineering Division	B
(B)	Building Division	O
(F)	Fire Division	G
PW	Public Works Department	DC
PR	Park and Recreation Department	OG
PD	Police Department	
		Prior to approval of Improvement Plans
		Prior to approval of Final Map
		Prior to issuance of first Building Permit
		Prior to approval of Occupancy Permit
		Prior to issuance of Grading Permit
		During construction
		On-going requirement

Planning Commission
Folsom Glenn Car Wash Commercial Design Review (PN 18-371)
February 20, 2019

Attachment 4 Vicinity Map

Vicinity Map



BY THE
FOLSOM

UNIVERSITY OF CALIFORNIA, RIVERSIDE



Planning Commission
Folsom Glenn Car Wash Commercial Design Review (PN 18-371)
February 20, 2019 .

Attachment 5
Site Plan, dated January 28, 2019

Attachment 6
Shade Structure Elevations and Details
Dated January 28, 2019



Fabric Structures
 Southern Hemisphere Shades, Inc.
 4212 Roosevelt Rd. Suite G
 Fresno, CA 93702, CA 93680
 P: 514.344.9888 F: 514.312.1814
 info@shshade.com
 www.shshade.com

PRODUCT
 JOINED MEGA SPAN HIP STRUCTURES
SIZE (L X W X H)
 (1) 55' X 70' X 10'

These plans and specifications are the exclusive property of Southern Hemisphere Shades, Inc. Any use or reproduction of plans, specifications and/or products shall be provided by the express written consent of Southern Hemisphere Shades, Inc.

LOCATION
 414 Gleno Drive
 Folsom, CA 95630

PROJECT
 FOLSOM CAR WASH AND LUBE

ENGINEERING



REGISTERED PROFESSIONAL ENGINEER
 PLS 017-0184-0017

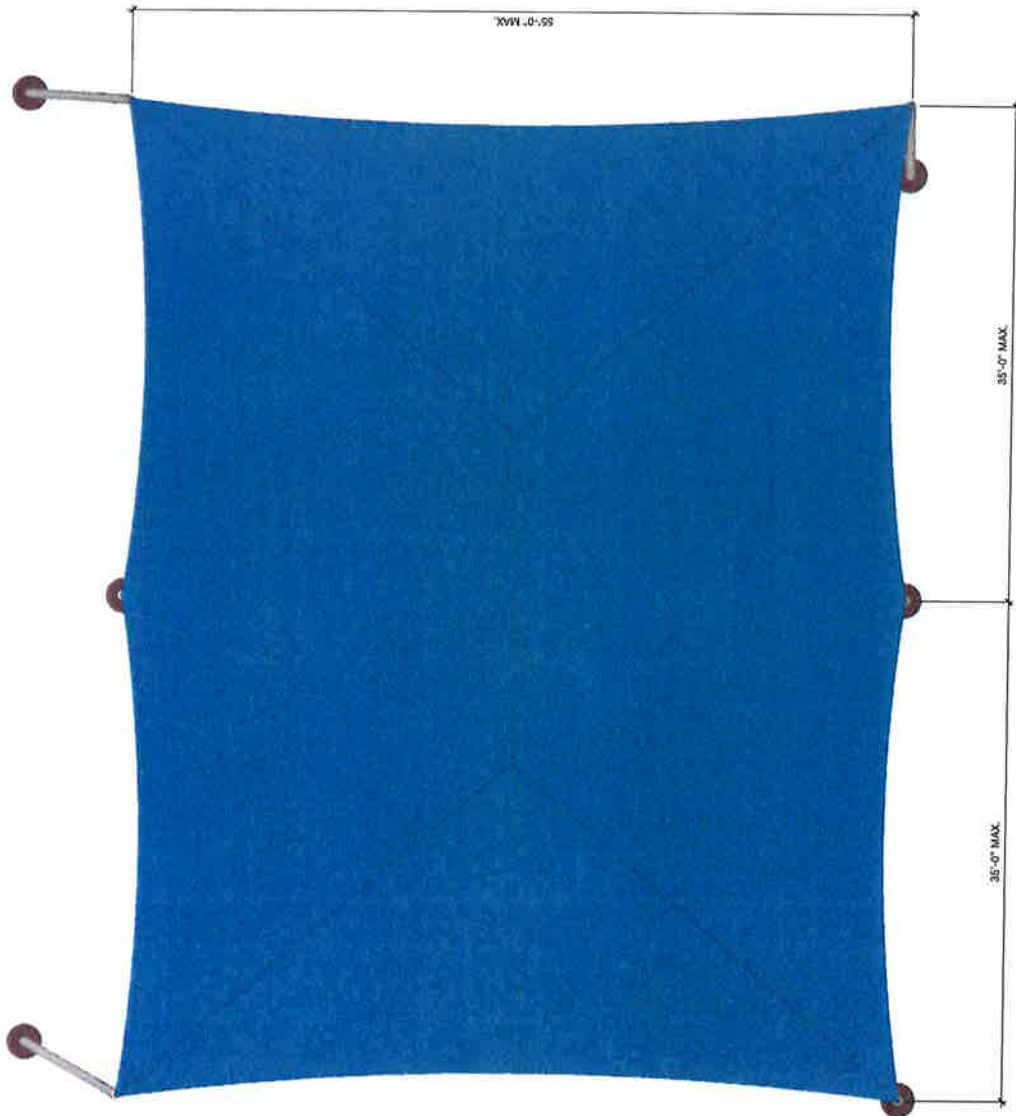
DRAWN BY
 Andrew Kookkemoor
 Revisions
 1: 1/28/19

INDEX OF PAGES

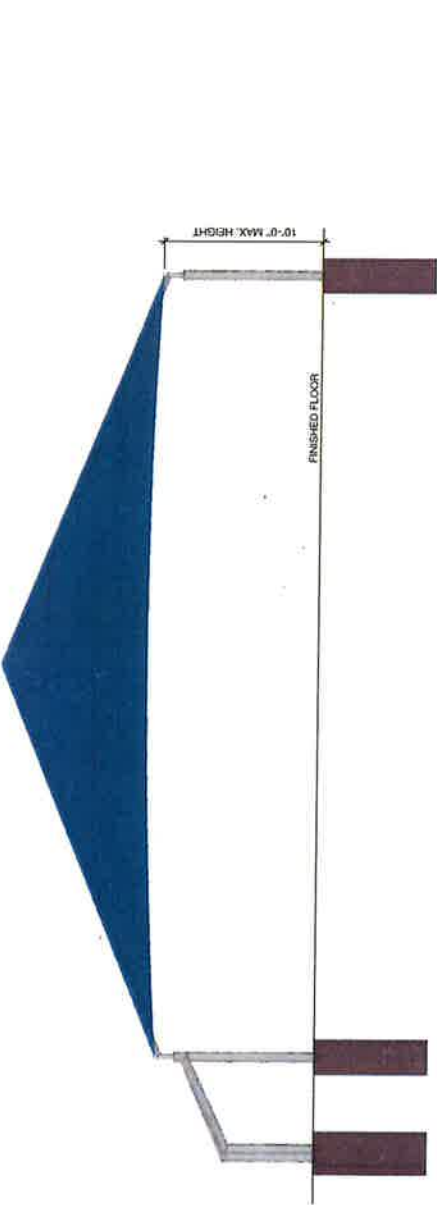
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- 02 Top View Perspective
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- 06 Structural Details
- 07 Fabric and Thread Details

DESCRIPTION
 Top View Perspective

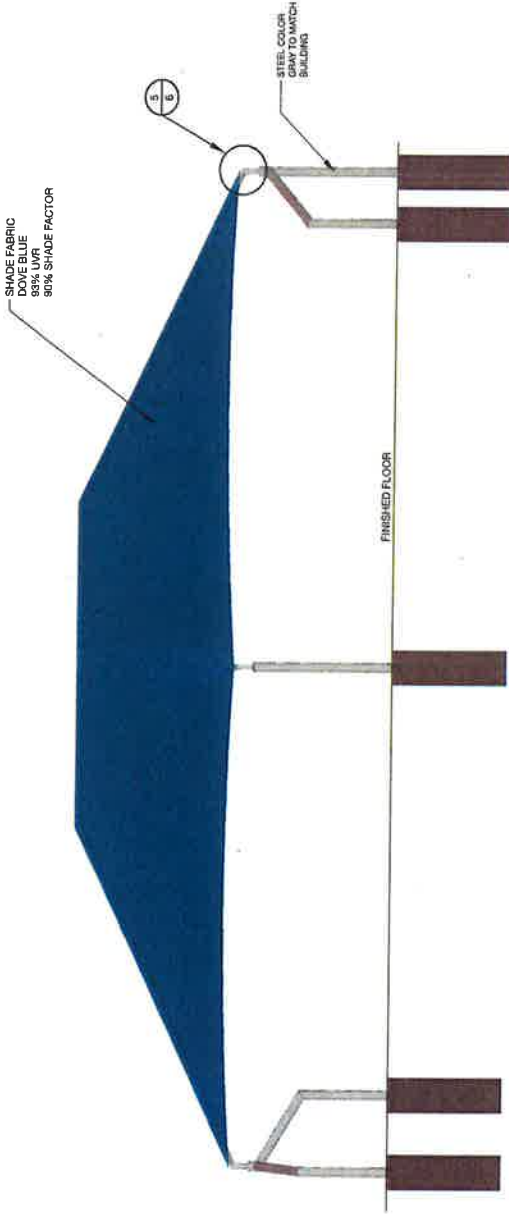
02



DETAIL 1: TOP VIEW
 SCALE: NTS



DETAIL 1: FRONT VIEW
SCALE: NTS



DETAIL 2: SIDE VIEW
SCALE: NTS



Fabric Structures
Southern Hemisphere Shades, Inc.
4212 Rockwood Drive
North Highlands, CA 95660
P: 916.348.1391 | F: 916.972.1814
info@shades.com
www.SHSHADE.com

PRODUCT
JOINED MEGA SPAN H/P STRUCTURES
SIZE (L X W X H)
(1)57 X 70 X 10

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LOCATION
11400 Olive Drive
Folsom, CA 95680

PROJECT
FOLSOM CAR WASH AND LUBE

ENGINEERING



DESIGNED AND DRAWN BY
ANDREW KOOKMAR

DRAWN BY
Andrew Kookmar
Revisions
1: 1/28/19

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03	Perspectives
04	Iso View Perspective
05	Framing
06	Structural Details
07	Fabric and Thread Details

DESCRIPTION
Perspectives



Fabric Structures
 Southern Hemisphere Shades, Inc.
 17700 Highway 101
 North Highlands, CA 95660
 P: 916.368.1381 | F: 916.872.1814
 info@shshade.com
 www.SHSHADE.com

PRODUCT
 JOINED MEGA SPAN HP STRUCTURES
SIZE (L X W X H)
 (1) 55' X 70' X 10'

These plans and specifications are the exclusive property of Southern Hemisphere Shades, Inc. Any use or reproduction of plans, specifications and/or products shall be provided by the express written consent of Southern Hemisphere Shades, Inc.

LOCATION
 Ft. Glenn Drive
 Folsom, CA 95680

PROJECT
 FOLSON CAR WASH AND LUBE

ENGINEERING



REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 STATE OF CALIFORNIA
 No. 11523-11524-11525
 EXPIRES 12/31/19

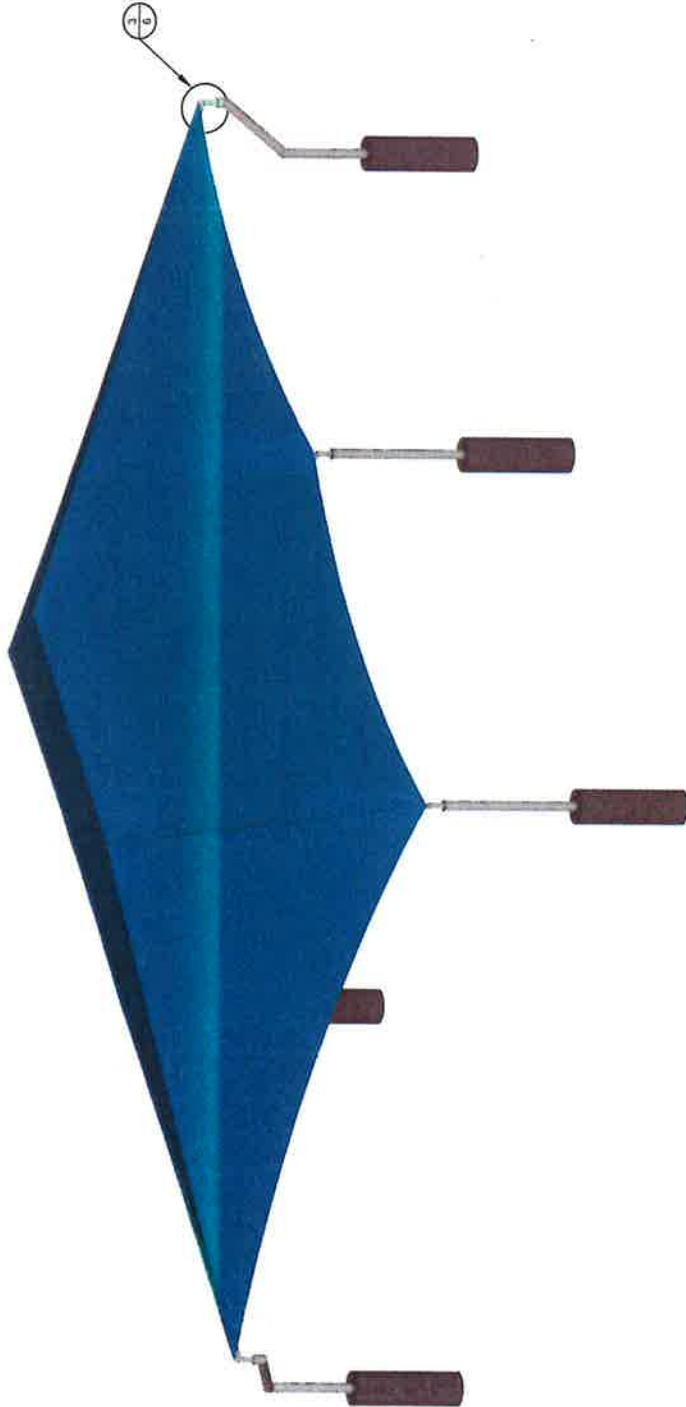
DRAWN BY
 Andrew Koenigmoor

Revisions
 1: 1/28/19

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DESCRIPTION
 Iso View Perspectives



DETAIL 1: ISO VIEW
 SCALE: NTS



Fabric Structures
 Southern Hemisphere Shades, Inc.
 4212 Southern Hemisphere Blvd.
 North Highlands, CA 95663
 P: 916.348.1361 | F: 916.872.1814
 info@shshades.com
 www.SHSHADE.com

PRODUCT
 JOINED MEGA SPAN HP STRUCTURES

SIZE (L X W X H)
 (1) 57' X 70' X 10'

These plans and specifications are the exclusive property of Southern Hemisphere Shades, Inc. Any use or reproduction of plans, specifications and/or products shall be provided by the express written consent of Southern Hemisphere Shades, Inc.

LOCATION
 Folsom, CA 95630

PROJECT
 FOLSOM CAR WASH AND LUBE

ENGINEERING



REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING

DRAWN BY
 Andrew Koelmoeir

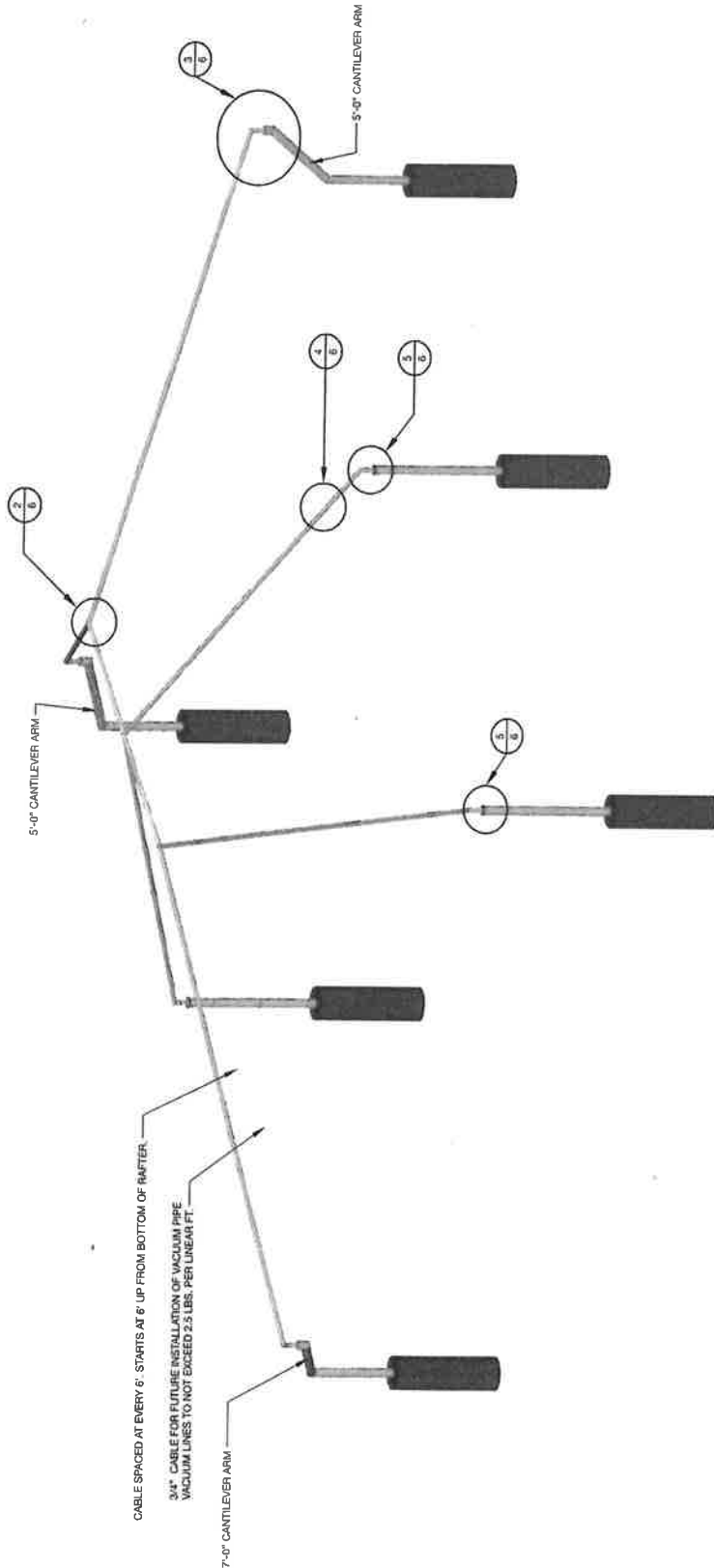
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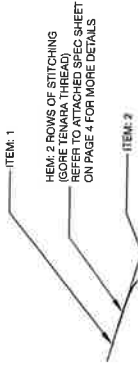
DESCRIPTION
 Framing

05

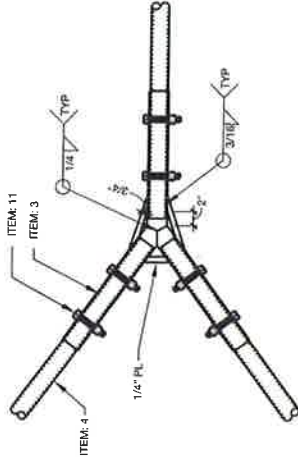


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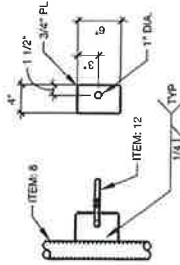
MATERIAL LIST			
ITEM	MATERIAL	QTY.	SPECIFICATION
1	HDPE FABRIC	1	CANOPY
2	1/2" GALVANIZED STEEL CABLE, WITH TWO CABLE CLIPS MIN. OR SWAGE SLEEVE	2	TENSION CABLE
3	5" SCH. 40 PIPE	4	Y-MEMBER
4	5" X 7GA	6	RAFTER
5	4.5" X 7GA	8	RAFTER INSERT
6	1/2" THK. ROD	8	FABRIC PIN
7	5" X 7GA	8	COLUMN SLEEVE
8	4.5" X 7GA	8	COLUMN SLEEVE INSERT
9	10.75 X .365	6	COLUMN
10	3/8" X 6" LONG, GALVANIZED BOLT, NUT, FLAT & LOCK WASHER	32	COLUMN & RAFTER SLEEVE HARDWARE
11	3/8" X 6" LONG, GALVANIZED BOLT, NUT, FLAT & LOCK WASHER	20	Y-MEMBER HARDWARE
12	3/4" GALVANIZED STEEL CABLE, WITH TWO CABLE CLIPS MIN. OR SWAGE SLEEVE	30	CABLE SUPPORT FOR FUTURE VACUUM PIPES
			6X19, 53000 LB BREAKING STRENGTH
			A307



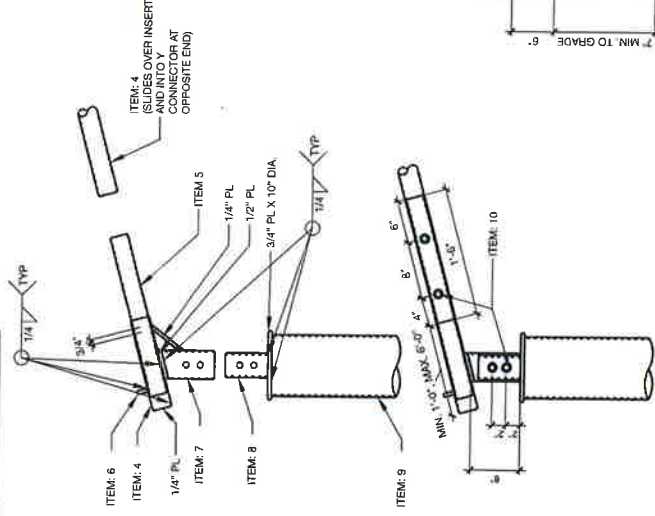
DETAIL 1: CABLE POCKET HEM
SCALE: NTS



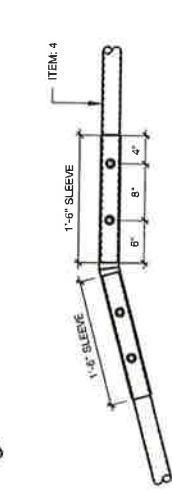
DETAIL 4: RAFTER CABLE FOR VACUUM (DESIGN AND ATTACHMENT OF VACUUM BY OTHERS AT A LATER DATE)
SCALE: NTS



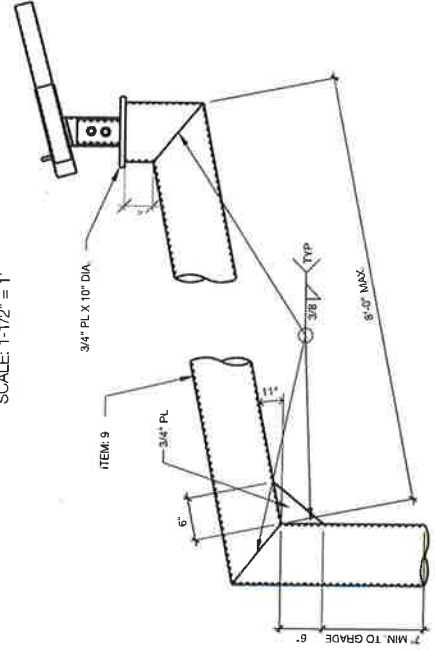
DETAIL 5: COLUMN TO RAFTER
SCALE: 1-1/2" = 1'



DETAIL 6: PIER FOOTING
SCALE: NTS



DETAIL 2: Y-CONNECTOR
SCALE: 1-1/2" = 1'



DETAIL 3: CANTI COLUMN TO RAFTER
SCALE: 1-1/2" = 1'

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www.SHSHADE.com

PRODUCT
JOINED MEGA SPAN HP STRUCTURES
SIZE (L X W X H)
(1)55' X 70' X 10

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LOCATION
414 Glenn Drive
Folsom, CA 95630
PROJECT
FOLSOM CAR WASH AND LUBE

ENGINEERING



DRAWN BY
Andrew Kookemoo
Revisions
1: 1/28/19

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DESCRIPTION
Structural Details

06

Attachment 7
Sun Exposure Letter Provided by
Southern Hemisphere Shade Inc.



100 Pringle Avenue
Suite 515
Walnut Creek, CA 94596
CompWestInsurance.com

February 12, 2019

Calstra Car Wash
Jon Tilford
414 Glenn Drive
Folsom, CA 95630
jon@folsomcarwash.com

RE: Policy Number 5501722

Dear Jon:

Per our discussion, your car wash operation must have a formal Heat Illness Prevention Program. See California Code of Regulations, Title 8, Section 3395. <https://www.dir.ca.gov/title8/3395.html>. The standard requires access to shade & water, emergency response procedures and acclimatization measures. I have attached a related model program, which can be revised as necessary to meet your needs.

The regulation states that continuous shade access must be present when temperatures exceed 80 degrees Fahrenheit. The shade must be located as close as practicable to the areas where employees are working. As such, an overhang structure(s) for employees who prep, detail and dry automobiles is recommended.

If you have questions regarding this recommendation, Cal/OSHA standard or other loss control matters, please contact me.

Sincerely,

Cindy Ramos MBA, ARM
Loss Control Director
CompWest Insurance Company
415-593-5181
cramos@compwestinsurance.com



Heat Illness Prevention Program

Folsom Glenn Car Wash & Auto Lube

CompWestInsurance.com
1-888-CompWest

CompWest
Avalon Group

185346

CompWest Insurance Company is a member of AF Group. All policies are underwritten by a licensed insurer, subsidiary of AF Group.

This program is a guide to compliance with California Code of Regulations, Title 8, Section 3395 Heat Illness Prevention. By following the policies and procedures outlined in this document, workers will be able to recognize and mitigate the symptoms of heat illness. They will also be able to respond in an actual heat related emergency.

Availability of Water and Shade

It is the sole responsibility of the employer to provide water to all employees. The water available must be free, fresh, cool, and placed in a practical location. Consider shaded areas, and break locations. One quart per hour must be made available to each employee at the start of the shift, (two gallons for an eight hour shift). Provisions will be made to replenish water supplies periodically. Employees will be encouraged to drink plenty of water. Under no circumstances will an employee be denied a drink of water.

The employer has designated Jon Tilford, General Manager, and Michael Weisz, Office Manager, to oversee and implement the water portion of the program. This includes, but is not limited to:

- The provision of water coolers, cups, bottles, and the water itself.
- Replenishing water and supplies daily.
- Purchasing and maintaining any items or equipment previously stated.
- The coordination of a replacement if he or she happens to be absent.
- The ultimate responsibility of making sure that each job site has water, and any related equipment, before the start of each work day.

The employer will provide shade when the temperature exceeds 80 degrees Fahrenheit. Shade areas will be open to the air, or provided with ventilation or cooling. Enough shade will be provided to accommodate the number of employees on break, or recovery period, at any given time (consider lunch and cool down rest periods.) Shade will be in a practical location, and as close to the workers as possible. Employees will not be forced into contact with one another in the shaded area. Under no circumstances will an employee be denied access to shade.

The employer has designated Jon Tilford, General Manager, and Michael Weisz, Office Manager, to oversee and implement the shade portion of the program. This includes, but is not limited to:

- The overview of the jobsite and designation of shade. (Does suitable shade exist, i.e. trees)
- The Provision of any materials needed (tent, stakes, poles, etc).
- Purchasing and maintenance of any related supplies.
- The coordination of a replacement if he or she happens to be absent
- The ultimate responsibility of making sure that each job site has shade, and any related equipment, before the start of each work day.

Emergency Response Procedures

It is the responsibility of the employer to implement emergency response procedures. These procedures include, but are not limited to:

- Ensuring that effective communication and observation are maintained at the work site, so that employees can quickly and effectively contact a supervisor or emergency responders.
- Any potential signs of heat illness will be addressed in accordance to the perceived severity of the illness, either by communication with the effected employee, preventative cool-down rest or water break, first aid, or contact with emergency responders.

- Any employee displaying signs of heat illness will not be left alone or sent home, without first being offered aid, or other medical services.
- Emergency responders will be contacted by a designated employee(s), when signs of severe heat illness are present. These include loss of consciousness, disorientation, staggering, vomiting, etc.

The employer has designated Jon Tilford, General Manager, and Michael Weisz, Office Manager, to oversee and implement the emergency response portion of the program. This includes, but is not limited to:

- The ability to recognize signs and symptoms of heat illness.
- Basic first aid skills to respond to heat illness.
- The ability to quickly and effectively communicate information to emergency responders.
- Geographical knowledge of the jobsite and the surrounding area, and the ability to give clear and precise directions.
- The coordination of a replacement, if he or she happens to be absent.

High Heat Procedures and Exemptions

Employers within the following industries must implement special high-heat procedures, when the temperature equals or exceeds 95 degrees Fahrenheit:

- Agriculture
- Construction
- Landscaping
- Oil & Gas Extraction
- Transportation or delivery of agricultural products, construction materials or other heavy materials, unless operating an air-conditioned vehicle that does not include loading or unloading.

These procedures include:

- Ensuring that communication is maintained between supervisor and employees. (Direct observation, voice, radio).
- Observing employees for signs and symptoms of heat illness (at least one of the following).
 - Supervisor or designee observation (per 20 employees).
 - Mandatory buddy system.
 - Regular communication with a sole employee.
 - Other effective means of observation.
- Designating an employee(s) authorized to contact emergency responders.
- Frequently reminding employees to drink plenty of water.
- Pre shift tool box talks to review the Heat Illness Prevention Plan, encourage employees to drink water, and remind them of their right to a cool-down rest when needed.

Agricultural employees working outdoors also have special considerations for high-heat procedures.

- When temperatures reach 95 degrees or above, the employer will ensure that an employee takes an extra 10 minute preventive cool-down rest period every 2 hours. This rest is required.
- The extra 10-minute preventive cool-down rest period every 2 hours, is able to extend into overtime periods (i.e. extra rest after 10 or 12 hours of work).

Acclimatization Methods and Procedures

The employer has designated Jon Tilford, General Manager, and Michael Weisz, Office Manager, to oversee and implement the acclimatization portion of the program. This includes, but is not limited to:

- Supervising, or designating a monitor to, any employee new to a high heat area for the first 14 days of employment.
- Communicating regularly to the new employee to ensure that he or she is acclimatizing to the heat properly.
- Accommodating the new employee, to the best degree possible, during the first 14 days of employment, or during heat conditions.
- The coordination of a replacement supervisor, if he or she happens to be absent.
- The added responsibility of observation of all employees during a heat wave, defined as, any day in which the predicted high temperature for the day will be at least 80 degrees Fahrenheit, and at least 10 degrees higher than the average high daily temperature in the preceding five days.

PROTECTING OUR WORKERS

INTRODUCTION

To help protect outdoor workers exposed to sunlight, **OSHA** has issued recommendations to safeguard employees from harmful ultraviolet (UV) radiation.

Working in co-operation with the American Cancer Association, they advise almost all skin cancers, approximately 99% of non-melanoma skin cancers and 95% of melanoma, are caused by extended exposure to UV radiation from the sun. They are therefore the direct result of exposure to the UV rays in sunlight.

Both basal cell and squamous cell cancers are the most common types of skin cancer and tend to be found on regularly sun-exposed parts of the body. The risk of melanoma, a more serious but less common type of skin cancer, is also related to sun exposure.

OSHA'S POCKET CARD ON SUN EXPOSURE

OSHA's pocket card on harmful sun exposure recommends that workers who spend time outdoors protect themselves from harmful UV rays by wearing protective clothing that does not transmit visible light; broad-brimmed hats that protect the face, ears and neck; and UV ray-blocking sunglasses.

Workers should also frequently apply sunscreen with a Sun Protection Factor (SPF) of 15 or higher, and **seek the protection of shade between the hours of 10 a.m. and 4 p.m.**

Melanoma accounts for more than three-fourths of skin cancer-related deaths each year, though most skin cancers can be cured if detected early enough, according to OSHA. **Skin cancer and deaths resulting from melanoma are increasing rapidly in the United States even though fewer cases of most other cancer are being reported**, said the agency.

The pocket card is not a new standard or regulation, and it creates no legal obligations.

It is advisory in nature, informational in content, and is intended to provide safety advice for outdoor workers, said OSHA. The pocket card is available at the agency's Web site at www.osha.gov under publications.

PROVIDING SHADE FOR OUTDOOR WORKERS

Southern Hemisphere Shades Inc. has been providing much needed UV Ray protection to children and adults throughout the country for over 15 years. While we endeavor to provide esthetically pleasing shade structures to our communities, our prime objective is the protective benefits they offer.

Understanding it is the level of the UV rays that determine the danger factor, we have worked with companies around the world to provide shade membranes that eliminate the maximum amount of these rays.

PROTECTING OUR WORKERS

We are pleased to offer maximum shade producing structures that, while protecting our communities from the sun, have also been developed to produce maximum fire resistance. Some of the twenty available colors holding CSFM or ASTM E 84 verification...

MANUFACTURER PROVIDED DATA

COLOR	UPF	UVR	SHADE FACTOR	COLOR	UPF	UVR	SHADE FACTOR
Beige	13	97%	74%	Bottle Green	16	94%	91%
Brown	19	95%	93%	Blue (True)	14	93%	89%
Blue (Dove)	13	93%	90%	Blue (Navy)	23	96%	96%
Silver	19	95%	93%	Latte	18	95%	90%
Green(Forest)	24	96%	94%	Green (Mint)	18	95%	93%
Sun Blaze	14	94%	91%	Pearl Onyx	16	94%	86%

The extent of the UV elimination of our membranes varies with the color selection. The lowest protection is that provided by the Olive color, 91%.

During manufacture, the raw material has a UV protecting chemical added. This prevents any penetration of the fabric for the first five years. The chemical begins to break down at a measured rate each year. Factoring this in, most membranes have a life of 8 to 12 years with some providing as much as 15 years.

The life of the membrane is affected by a number of factors - extreme weather (wind, sun & snow) conditions are the most influential. A second component of wear is the tension of the membrane - if tension is maintained, there will be less movement resulting in less wear and tear and longer life. More controllable conditions include abrasive wearing by tree limbs, etc.

The **shade factor** is also an important detail in that it produces a sizable temperature reduction in the protected area.

It has been measured at between 15 and 25 degrees below the ambient temperatures. The membrane is a woven fabric with pin point sized pores allowing for any surrounding radiated hot air to pass through leaving behind cool shade. Solid membranes trap hot air as they do not have this feature. This factor reduces the potential for heat exhaustion.

Eliminates UV degradation - An often less realized advantage is the extended daily use and life of equipment, play structures, etc. The membrane prevents the sun from raising the temperature of play equipment thus allowing use of play equipment throughout most of the day. Eliminating UV will also decrease UV degradation and extend the equipment life beyond that of the manufacturer's warranty.

Provided by:

Southern Hemisphere Shades Inc.
Sacramento, CA

PROTECTING OUR WORKERS

Attachment 8 Site Photographs







Oil & Lube
Car Wash & Detail

Folsom

255-555-1111

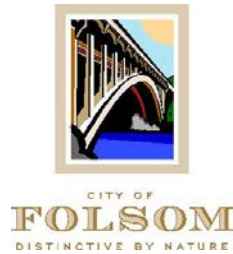


Havoline
Xpress lube

FREE Car Wash
with FULL SERVICE OIL CHANGE

ACDelco
6476265

NO LUBE 3



COMMUNITY DEVELOPMENT DEPARTMENT

DATE: 2/20/19 Planning Commission Meeting
TO: Chairman and Planning Commissioners
FROM: Community Development Department

Item #4

A Folsom Plan Area Update will be presented by Principal Planner, Desmond Parrington. Staff will provide the Planning Commission with an overview of the Specific Plan as well as an update of activities in the Folsom Plan Area. In anticipation of receiving three potential development applications later this year from the Folsom Ranch land owners, Westland Capital Partners, and their development partners, staff will discuss the proposed changes associated with those projects.