

CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**PLANNING COMMISSION AGENDA**  
**July 18, 2018**  
**CITY COUNCIL CHAMBERS**  
**6:30 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER PLANNING COMMISSION:** Thomas Scott, Vice Chair John Arnaz, Jennifer Lane, Kevin Mallory, Ross Jackson, Aaron Ralls, Chair Justin Raithel

*Any documents produced by the City and distributed to the Planning Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers. The meeting is available to view via webcast on the City's website the day after the meeting.*

**PLEDGE OF ALLEGIANCE**

**CITIZEN COMMUNICATION:** The Planning Commission welcomes and encourages participation in City Planning Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

**MINUTES**

The minutes of June 20, 2018 will be presented for approval.

**NEW BUSINESS**

**1. PN 18-137 Target Remodel Commercial Design Review and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from Kimley-Horn and Associates for Commercial Design Review Approval of exterior modifications to an existing 138,416-square-foot Target store at 430 Blue Ravine Road. The zoning designation for the site is C-2 PD (Central Business, Planned Development District) and the General Plan designation is CCD (Central Commercial Mixed-Use District). The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA). **(Project Planner: Assistant Planner, Josh Kinkade / Applicant: Moe Hirani)**

**2. PN 18-025 Quick Quack Car Wash Tentative Parcel Map and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from Quick Quack Development, LLC for approval of a Tentative Parcel Map to subdivide an existing 2.68-acre property located at 1750 Cavitt Drive into two individual parcels. The zoning classification for the site is SP 95-1 and the General Plan land-use designation is CC. The project is categorically exempt from environmental review pursuant to Section 15315 (Minor Land Divisions) of the California Environmental Quality Act. **(Project Planner: Principal Planner, Steve Banks / Applicant: Quick Quack Development, LLC)**

**3. PN 18-126 340 Plaza Drive Commercial Design Review and Determination that the Project is Exempt from CEQA**

A Public Hearing to consider a request from Enterprise Rent-A-Car for Commercial Design Review Approval for remodeling of an existing 3,297-square-foot commercial building and an existing 8,000-square-foot commercial building located at 340 Plaza Drive. The zoning classification for the site is C-3 PD and the General Plan land-use designation is CA. The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA). **(Project Planner: Principal Planner, Steve Banks / Applicant: Enterprise Rent-A-Car)**

**4. PN 18-070 Prospect Ridge Subdivision Planned Development Permit Modification and Residential Design Review**

A Public Hearing to consider a request from Capital Valley Homes for a Planned Development Permit Modification and Residential Design Review Approval for 35 single-family residential units situated within the Prospect Ridge Subdivision located at 535 Levy Road. The zoning classification for the site is R-1-M PD and the General Plan land-use designation is SF. A Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were previously approved for the Prospect Ridge Subdivision project (PN 16-321) on July 25, 2017 in accordance with the California Environmental Quality Act (CEQA). **(Project Planner: Principal Planner, Steve Banks / Applicant: Capital Valley Homes)**

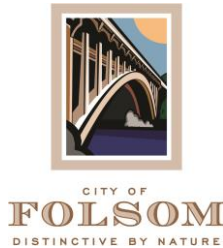
**PLANNING COMMISSION / PLANNING MANAGER REPORT**

The next Planning Commission meeting is scheduled for **August 1, 2018**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2<sup>nd</sup> Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6203 and FAX number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6203, (916) 355-7274 (fax) or [kmullett@folsom.ca.us](mailto:kmullett@folsom.ca.us). Requests must be made as early as possible and at least two-full business days before the start of the meeting.

**NOTICE REGARDING CHALLENGES TO DECISIONS**

The appeal period for Planning Commission Action: Any appeal of a Planning Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081. Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and or California Public Resources Code Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, the public hearing



**PLANNING COMMISSION MINUTES**  
**June 20, 2018**  
**CITY COUNCIL CHAMBERS**  
**6:30 P.M.**  
**50 Natoma Street**  
**Folsom, CA 95630**

**CALL TO ORDER PLANNING COMMISSION:** Vice Chair John Arnaz, Jennifer Lane, Kevin Mallory, Ross Jackson, Aaron Ralls, Thomas Scott, Chair Justin Raithel

**ABSENT:** Ralls, Raithel

**CITIZEN COMMUNICATION:** None

**MINUTES:** The minutes of June 6, 2018 were approved as submitted.

**NEW BUSINESS**

**1. PN 17-368 Revel Folsom Senior Living Planned Development and Conditional Use Permit and Consideration of a Mitigated Negative Declaration**

A Public Hearing to consider a request from Elliott Alta Vista/Wolff Enterprises for approval of a Planned Development Permit and Conditional Use Permit for development and operation of a 166-unit senior living community located on a 6-acre site located on the southeast corner of the intersection of Iron Point Road and Oak Avenue Parkway (APN: 072-2680-011). The zoning classification for the site is C-3 PD and the General Plan land-use designation is RCC. An Initial Study and Mitigated Negative Declaration have been prepared in accordance with the requirements of the California Environmental Quality Act (CEQA). **(Project Planner: Principal Planner, Steve Banks / Applicant: Elliott Alta Vista/Wolff Enterprises)**

COMMISSIONER SCOTT MOVED TO ADOPT THE MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM PREPARED FOR THE REVEL FOLSOM SENIOR LIVING COMMUNITY PROJECT (PN 17-368) PER ATTACHMENT 131; AND MOVED TO APPROVE A PLANNED DEVELOPMENT PERMIT FOR DEVELOPMENT OF THE REVEL FOLSOM SENIOR LIVING COMMUNITY PROJECT, WHICH INCLUDES A ONE TO FOUR-STORY, 181,200-SQUARE-FOOT BUILDING AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 79; AND MOVED TO APPROVE A CONDITIONAL USE PERMIT TO ALLOW THE REVEL FOLSOM SENIOR LIVING COMMUNITY TO OPERATE AT THE SUBJECT PROPERTY LOCATED AT THE SOUTH OF IRON POINT ROAD EAST OF ITS INTERSECTION WITH OAK AVENUE PARKWAY (APN NO. 072-2680-011) WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A&B, CEQA FINDINGS C-G, PLANNED DEVELOPMENT PERMIT FINDINGS H-O, CONDITIONAL USE PERMIT FINDING P,

AND CONDITIONS OF APPROVAL 1-69, WITH REMOVAL OF CONDITION NUMBER 12, "The project is subject to the Housing Trust Fund Ordinance, unless exempt by a previous agreement."

COMMISSIONER LANE SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: LANE, MALLORY, JACKSON, SCOTT  
NOES: ARNAZ  
ABSTAIN: NONE  
ABSENT: RALLS, RAITHEL

**2. PN 18-017 Folsom Central Plaza Pad Building Planned Development and Conditional Use Permit and Determination that the Project is Exempt from the California Environmental Quality Act (CEQA)**

A Public Hearing to consider a request from Nazareth Retail Holdings/Ottolini & Associates for approval of a Planned Development Permit and Conditional Use Permit for development of an 800 square foot commercial building (Dutch Bros.) with a drive-thru and a 5,000 square foot commercial building (Big O Tires) on a one-acre parcel. The project is categorically exempt from environmental review under section 15332 of the CEQA guidelines (Infill Development Projects). **(Project Planner: Principal Planner, Steve Banks / Applicant: Nazareth Retail Holdings/Ottolini & Associates)**

COMMISSIONER SCOTT MOVED TO APPROVE A PLANNED DEVELOPMENT PERMIT AND CONDITIONAL USE PERMIT FOR DEVELOPMENT OF AN 800 SQUARE FOOT COMMERCIAL BUILDING WITH A DRIVE-THRU AND A 5,000 SQUARE FOOT COMMERCIAL BUILDING ON A ONE-ACRE PARCEL AS ILLUSTRATED ON ATTACHMENT 2 WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A&B, CEQA FINDINGS C-E, PLANNED DEVELOPMENT PERMIT FINDINGS F-M, CONDITIONAL USE PERMIT FINDING N, AND CONDITIONS OF APPROVAL 1-46.

COMMISSIONER JACKSON SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: LANE, MALLORY, JACKSON, SCOTT, ARNAZ  
NOES: NONE  
ABSTAIN: NONE  
ABSENT: RALLS, RAITHEL

**3. PN 18-200 Folsom Municipal Code Title 17 Amendments and Determination that the Project is Exempt from the California Environmental Quality Act (CEQA)**

A Public Hearing to consider a request from the City of Folsom regarding an Ordinance amending certain provisions in Title 17 of the Folsom Municipal Code including Chapter 17.06 (Design Review) relating to projects exempt from design review process, design review submittal requirements, posting of the site, , and expiration and extension of approval; Chapter 17.08 (Zoning Plan and Adoption of Districts) relating to zoning plan content and district application; Section 17.16.020 (Permitted Uses) relating to permitted uses in the R-3 Neighborhood Apartment District; and Section 17.18.020 (Permitted Uses) relating to permitted uses in the R-4 General Apartment District. The ordinance is categorically exempt from environmental review under Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines. **(Project Planner: Senior Planner, Stephanie Henry)**

COMMISSIONER SCOTT MOVED TO RECOMMEND CITY COUNCIL APPROVAL OF ORDINANCE NO. \_\_\_\_ - AN ORDINANCE OF THE CITY OF FOLSOM AMENDING CERTAIN PROVISIONS IN TITLE 17 OF THE FOLSOM MUNICIPAL CODE INCLUDING CHAPTR 17.06 REGARDING DESIGN REVIEW; CHAPTER 17.08 REGARDING ZONING PLAN AND ADOPTION OF DISTRICTS; SECTION 17.16.020 REGRDING PERMITTED USES IN THE R-3 NEIGHBORHOOD APARTMENT DISTRICT; AND SECTION 17.18.020 REGARDING PERMITTED USES IN THE R-4 GENERAL APARTMENT DISTRCT WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A&B, CEQA FINDING C.

COMMISSIONER JACKSON SECONDED THE MOTION, WHICH CARRIED THE FOLLOWING VOTE:

AYES: MALLORY, JACKSON, SCOTT, ARNAZ  
NOES: LANE  
ABSTAIN: NONE  
ABSENT: RALLS, RAITHEL

**PLANNING MANAGER REPORT**

None

RESPECTFULLY SUBMITTED,

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Kelly Mullett, SENIOR OFFICE ASSISTANT

**APPROVED:**

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Justin Raithel, CHAIRMAN

**PLANNING COMMISSION STAFF REPORT**

<b>PROJECT TITLE</b>	Target Remodel Commercial Design Review and Determination that the Project is Exempt from CEQA
<b>PROPOSAL</b>	Request for Commercial Design Review Approval for exterior modifications to an existing 138,416-square-foot Target store
<b>RECOMMENDED ACTION</b>	Approve, based upon findings and subject to conditions of approval
<b>OWNER/APPLICANT</b>	Mark Schlanser (for Target Corp)/Kimley-Horn and Associates
<b>LOCATION</b>	430 Blue Ravine Road
<b>SITE CHARACTERISTICS</b>	The existing Target store is a part of the Folsom Square Commercial Center. All parcels within the center are developed.
<b>GENERAL PLAN DESIGNATION</b>	CCD (Central Commercial Mixed-Use District)
<b>ZONING</b>	C-2 PD (Central Business, Planned Development District)
<b>ADJACENT LAND USES/ZONING</b>	North: Natomas Heights Subdivision (R-1-M) South: Folsom Square and East Bidwell Street (C-1 PD) beyond East: Willow Creek Estates South across Blue Ravine Road (C-2 PD) West: Commercial land (C-2 PD)
<b>FUTURE ACTION</b>	Issuance of Building Permits

**APPLICABLE CODES**

FMC 17.06, Design Review  
FMC 17.22, Commercial Land Uses

**ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA)

**ATTACHMENTS**

1. Site Plan
2. Project Narrative
3. Proposed Elevations and Street View, dated April 11, 2018
4. Proposed Materials, dated June 29, 2018
5. Site Photos
6. Photographs of Commercial Buildings in Close Proximity to Project Site

**PROJECT PLANNER**

Josh Kinkade, Assistant Planner

**BACKGROUND**

On December 4, 1996, the Planning Commission approved the construction of a 134,000-square-foot Target store with a garden center at the Folsom Square mixed-use commercial center. As a part of the project, a 60,000-square-foot attached retail building and a 5,000-square-foot pad building were approved in north of the Target store. On June 19, 2002, the Planning Commission approved the development of a 77,250-square-foot Mervyn’s store in lieu of the previously approved retail buildings. In April of 2006, the Planning Commission approved a Planned Development Permit Modification to add 8,270 square feet of retail space to the existing Target store and to reduce the area of the existing garden center by 5,438 square feet.

**APPLICANT’S PROPOSAL**

The applicant, Kimley-Horn and Associates, is requesting Commercial Design Review approval for exterior modifications to an existing 138,416-square-foot Target store located at 430 Blue Ravine Road. The proposed project consists of a new color and material scheme at the store entrance and new color accents along the front and side of the building. No changes to the form of the building or site work are proposed as part of this application. The remodel will consist of painting the main entry area brown, adding red composite accents around the main entrance and along the garden center in the front and adding brown composite panels along the right side elevation. Proposed elevations and color board are shown in Attachments 3 and 4. All new paint on the remainder of the building will match the existing paint scheme.

**ARCHITECTURE / DESIGN**

Folsom Municipal Code (“FMC”) Chapter 17.06 governs design review. The intent of the City Council in enacting that chapter, as relevant here, was to assure that buildings and structures are in good taste, good design, harmonious with surrounding developments, and in general contribute to the preservation of Folsom’s reputation as a place of beauty and quality. In enacting Chapter 17.06 the City Council also intended to prevent the development of structures which do not meet applicable design standards, are of inferior quality, or are likely to have a depreciating effect on the local environment or surrounding areas by reason of appearance or value.

Pursuant to FMC Section 17.06.030, the design and architecture of significant exterior modifications to existing commercial structures must be submitted to the Planning Commission for review. "Significant exterior modifications" include, but are not limited to, design changes to building facades, introduction of new building materials, and changes in roof design or materials.

The Planning Commission may approve, conditionally approve, or deny a design review application. FMC Section 17.06.080(A) requires the Planning Commission to consider various criteria when evaluating design review projects. Many of the criteria are inapplicable to projects involving exterior modifications to existing structures because they relate to new construction. The criteria that may relate to analysis of a design review application for a project involving exterior modifications to an existing structure include:

1. Exterior elevations and/or perspective drawings of structures featuring building height, description of all building materials, building colors, screening of utility meters and mechanical equipment;
2. Design, placement, dimension, colors of all proposed signs and exterior graphics. This shall include building materials, lighting systems and intensity of signs and temporary signs and shall apply to all temporary as well as permanent signing;
3. Additions to patio area including, but not limited to, awnings, sunshades, and trellis;

With respect to this project, the proposed building modifications, as described in the applicant's proposal above, have been designed to reflect a more modern architectural theme, break up the existing long stretches of unbroken wall with new materials and colors and better draw customers to the main entrance of the store.

Architectural design guidelines were established for the Folsom Square Shopping Center as part of the Planned Development Permit which was approved by the Planning Commission in 1990. The intent of the Folsom Square Design Guidelines is not to limit individual creativity, but rather to create a framework for a strong collective statement. Color and materials, architectural form, roof lines, and other design details are intended to provide continuity. As a result, the Design Guidelines emphasize the following areas relative to architecture and design:

- Building forms should be of simple geometry. Predominant design elements shall include rectangular forms with strong horizontal roof lines.
- The primary building materials, particularly wall planes, should be concrete, steel, masonry, or stucco; with stone, tile masonry, or cast concrete forms.
- The predominant building color should be of light earth tones or warm gray.
- Recesses that create interplay of light and shadow, covered walkways, colonnades, arcades, overhangs, and openings that create interest are encouraged.



- The appropriate use of awnings, arcades, trellises, or other shade structures is strongly encouraged.
- The predominant use of flat roofs is preferred.

In reviewing the architecture and design of the proposed building modifications, City staff determined that the applicant generally incorporated a number of the required design elements recommended by the Folsom Square Design Guidelines. The predominant building colors will remain earth tones, and the primary wall material will remain stucco. The proposed new colors and materials will provide accents at the main entrance and key points of the building that will break up the long walls and add interest to the structure. Staff also determined that the proposed project utilizes materials and colors that are complimentary to the other commercial buildings within the Folsom Square Shopping Center, including the Home Goods, and Jo-Ann Fabric and Crafts, which are all contiguous to the project site.

The project does not propose any changes to existing circulation or parking. Accessible spaces will be kept in their current locations.

Staff forwards the following design recommendations to the Commission for consideration:

1. This approval is for exterior modifications to an existing 138,416-square-foot Target store. The applicant shall submit building plans that comply with this approval, and the attached building elevations dated April 11, 2018.
2. The design, materials, and colors shall be consistent with the submitted building elevations, color renderings, and materials samples, to the satisfaction of the Community Development Department.
3. Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features.
4. Utility equipment such as transformers, electric and gas meters, electrical panels, and junction boxes shall be screened by walls and or landscaping.
5. All exterior building-attached light fixtures shall be shielded and directed downward and away from adjacent properties and public rights-of-way. Lighting shall be equipped with a timer or photo condenser.

These recommendations are included in the conditions of approval presented for consideration by the Planning Commission (Condition No. 13).

Staff finds that the proposed project complies with the overall design of the Folsom Square Shopping Center, and that the proposed colors and materials are compatible with that of the existing building.

## **SIGNAGE**

The applicant is not proposing any signage with this particular Commercial Design Review application. Signage is subject to the sign regulations established by the Folsom Square Sign Criteria and Folsom Municipal Code, Section 17.59. Staff recommends that all future signs for the project comply with the Folsom Square sign criteria and the Folsom Municipal Code. Condition No. 11 is included to reflect this requirement.

## **ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA). Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

## **RECOMMENDATION/PLANNING COMMISSION ACTION**

MOVE TO APPROVE COMMERCIAL DESIGN REVIEW FOR EXTERIOR MODIFICATIONS TO THE EXISTING 138,416-SQUARE-FOOT TARGET STORE LOCATED AT 430 BLUE RAVINE ROAD, AS ILLUSTRATED ON ATTACHMENTS 3 AND 4 WITH THE FOLLOWING FINDINGS AND CONDITIONS OF APPROVAL (NO. 1-17).

## **GENERAL FINDINGS**

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

## **CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 EXISTING FACILITIES OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.

## **DESIGN REVIEW FINDINGS**

- F. THE PROPOSED PROJECT COMPLIES WITH THE GENERAL PLAN AND ZONING ORDINANCES OF THE CITY.
- G. THE PROPOSED PROJECT PROVIDES COMPATIBILITY OF BUILDING MATERIALS, TEXTURES, AND COLORS WITH SURROUNDING DEVELOPMENT AND CONSISTENCY WITH THE GENERAL DESIGN THEME OF

THE NEIGHBORHOOD.

Submitted,



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Pam Johns  
Community Development Director

## CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR TARGET STORE COMMERCIAL DESIGN REVIEW (PN 18-137)  
430 BLUE RAVINE ROAD**

	Mitigation Measure	When Required	Responsible Department
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> <li>• Site Plan, dated April 11, 2018</li> <li>• Proposed Elevations, dated April 11, 2018</li> <li>• Proposed Materials, dated June 29, 2018</li> </ul> <p>This project approval is for the Target Store Commercial Design Review, which includes exterior modifications to an existing 138,416-square-foot Target store located at 430 Blue Ravine Road, as shown on the above-referenced plans. Modifications may be made to the above-referenced plans to respond to site-specific conditions of approval as set forth herein.</p>	B	CD (P)(E)
2.	<p>Building plans and any required civil engineering plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.	<p>The project approval granted under this staff report shall remain in effect for one year from final date of approval (July 18, 2019). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR TARGET STORE COMMERCIAL DESIGN REVIEW (PN 18-137)  
430 BLUE RAVINE ROAD**

Mitigation Measure	When Required	Responsible Department
<p>4. The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney's fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
<b>DEVELOPMENT COSTS AND FEE REQUIREMENTS</b>		
5.	B	CD (P)(E)
6.	B	CD (P) (E)

**CONDITIONS OF APPROVAL FOR TARGET STORE COMMERCIAL DESIGN REVIEW (PN 18-137)  
430 BLUE RAVINE ROAD**

	<b>Mitigation Measure</b>	<b>When Required</b>	<b>Responsible Department</b>
7.	If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)
8.	This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Quimby, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations, or other exactions imposed on this project has begun. The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
9.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
10.	The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)

**SITE DEVELOPMENT REQUIREMENT**

		CD (P)
11.	<p>All signs for the project shall comply with the sign regulations established by the Folsom Square Sign Criteria and Chapter 17.59 of the Folsom Municipal Code.</p>	B
12.	<p>Final landscape and irrigation plans for the project shall be prepared by a registered landscape architect and approved by staff prior to issuance of a building permit. Said plans shall include a refurbished landscape design with all on-site landscaping specifications and details. All landscape plans shall implement water conservation measures as set forth in the Model Water Efficiency Landscape Ordinance required by AB 1881 and Government Code Sections 65593, 65595 and 65596. The State of California Model Water Efficiency Landscape Ordinance found in California Code of Regulations Title 23, Chapter 2.7 Section 490 et seq. shall apply to the project. The City is contemplating adoption of its own Water Efficiency Landscape Ordinance. Should the City adopt such an ordinance then provisions of the adopted ordinance shall apply to the project.</p>	B



**SITE DEVELOPMENT REQUIREMENT**

13.		<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> <li>1. This approval is for exterior modifications to an existing 138,416-square-foot Target store at 430 Blue Ravine Road. The applicant shall submit building plans that comply with this approval, the attached building elevations dated April 11, 2018.</li> <li>2. The design, materials, and colors of the two remodeled commercial buildings shall be consistent with the submitted building elevations, color renderings, materials samples, and color scheme to the satisfaction of the Community Development Department.</li> <li>3. Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features.</li> <li>4. Utility equipment such as transformers, electric and gas meters, electrical panels, and junction boxes shall be screened by walls and or landscaping.</li> <li>5. All exterior building-attached light fixtures shall be shielded and directed downward and away from adjacent properties and public rights-of-way. Lighting shall be equipped with a timer or photo condenser.</li> </ol>	B	CD (P)
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**NOISE REQUIREMENT**

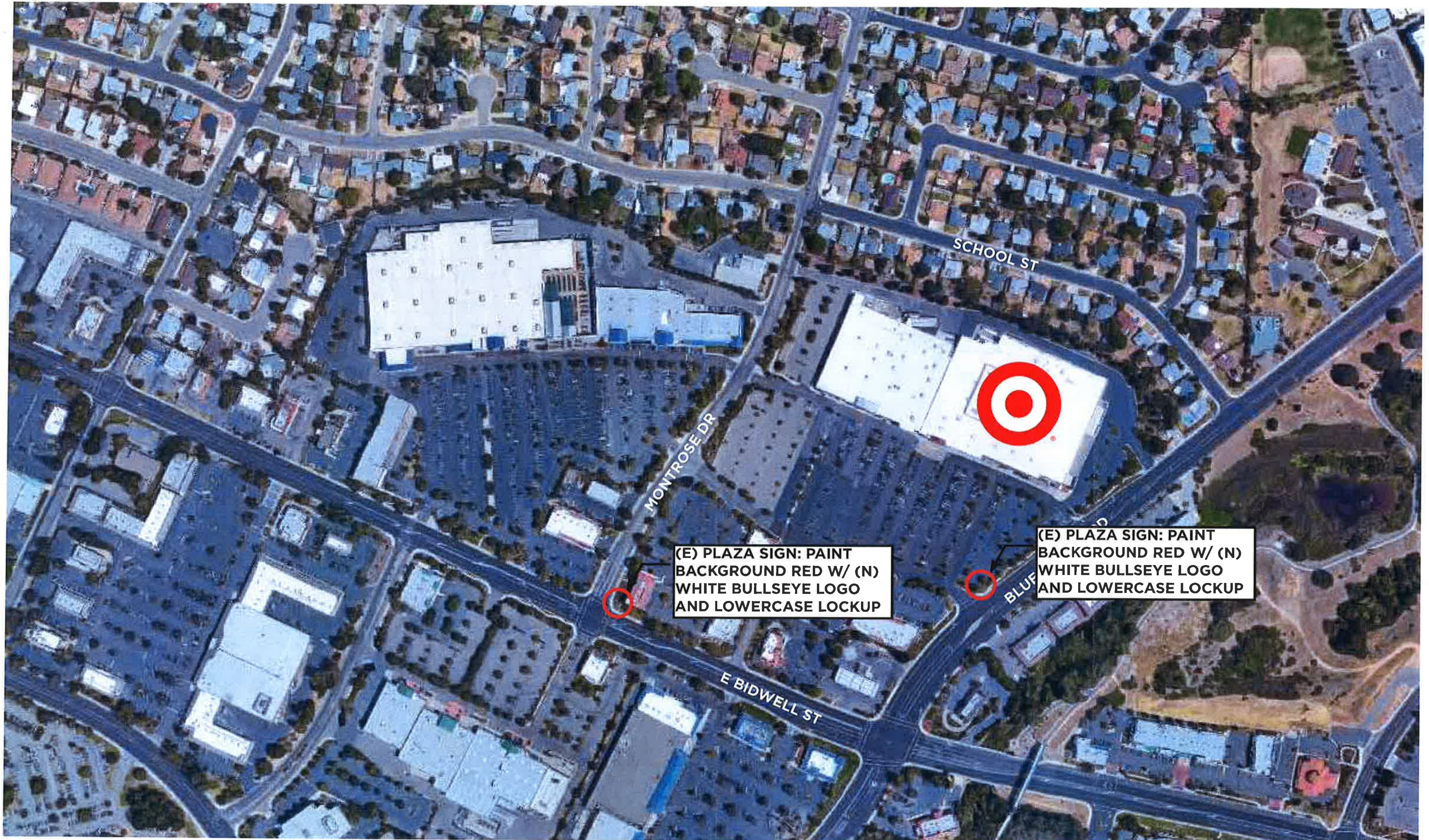
14.	Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. Construction equipment shall be muffled and shrouded to minimize noise levels.	B	CD (P)(E)
<b>FIRE DEPARTMENT REQUIREMENT</b>			
15.	Approved building address numbers shall be placed near the main entrance on the building in such a position as to be plainly visible and legible from the street fronting the property. Numbers shall be either externally or internally-illuminated on a lighting circuit powered dusk to dawn and the color shall contrast with their background. The size of the address numbers shall be a minimum of 10 inches.	B	FD
16.	Plans and specifications must be submitted and approved by the City of Folsom Fire Department prior to the start of construction.	B	FD

**POLICE/SECURITY REQUIREMENTS**

17.	The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:	B	PD
	<ul style="list-style-type: none"> <li>• A security guard shall be on-duty at all times at the site or a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings).</li> <li>• Security measures for the safety of all construction equipment and unit appliances shall be employed.</li> <li>• Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting.</li> </ul>		

# Attachment 1

## Site Plan



Attachment 2  
Project Narrative



## MEMORANDUM

To: City of Folsom, Planning Department  
From: Tyler Whaley P.E., Kimley-Horn and Associates, Inc.  
Date: June 28, 2018  
Subject: ***Planning Application: Design Review  
Target Store T1098 – Project Narrative***

---

### DESIGN STATEMENT

From a design perspective, the store appears dated by incongruous building elements, minimal exterior glazing, and large unbroken wall panels. Like many Target stores of a similar vintage, store visibility for guests approaching the site has become compromised by maturing and overgrown landscape and the advancement of surrounding retail development.

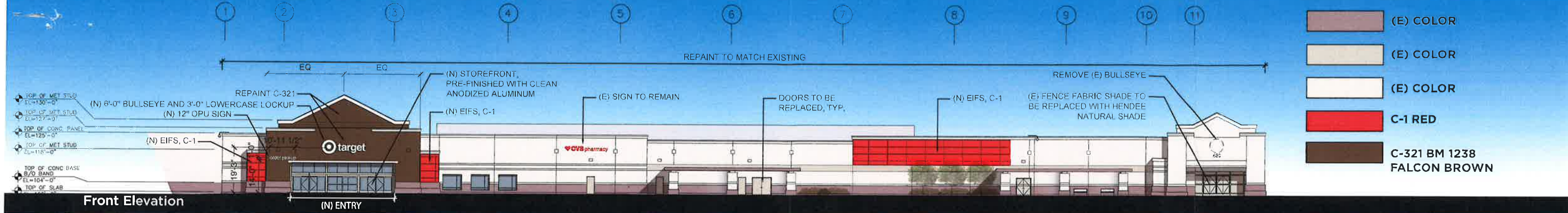
### EXTERIOR SCOPE OF WORK SUMMARY:

Target's design intent for the proposed exterior work is as follows:

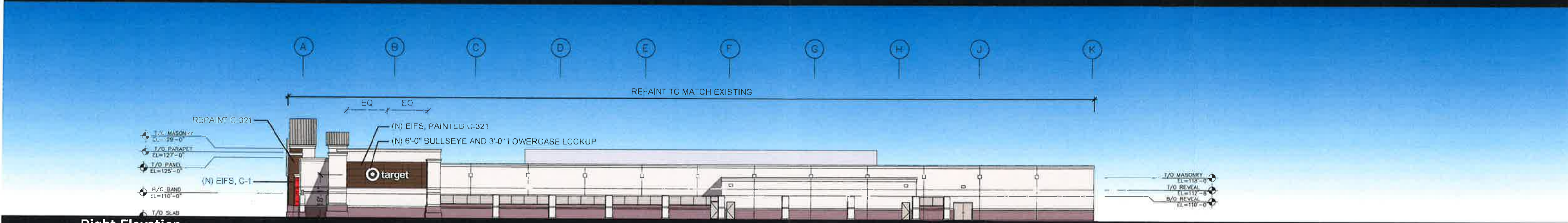
- Refresh and update the architecture of the older existing building with specific emphasis on the main entrance and front facade. The building will be re-designed to make the appearance more current and feel less dated. The existing store finishes will be removed and replaced with new material for a brighter, cleaner more contemporary presentation.
- Add visual interest and articulation to the building facade using materials, textures and wall plane changes. Target's proposed design introduces new material at the front wall by adding an Exterior Insulation and Finish System (EIFS) to the existing exterior wall. EIFS is a rigid exterior insulation product applied as a modular system. The board itself comes coated with a glass-fiber mesh for durability which can then be painted and takes on the visual characteristics of that paint finish. We can achieve the look of stucco and a raised finish on a façade – without the time, prep, or weight of traditional stucco.
- All four sides of the building will be repainted. A new color palette will be introduced for the exterior utilizing warm tones. The remainder of the building exterior, including sides and rear, will be painted per the Exterior Elevation exhibit.
- Enhance store visibility and improve navigation for guests arriving by car, bicycle, or on foot.
- Improve the visibility of store signage by using new internally illuminated signs near current sign locations.
- New signs are proposed to coordinate with the new building exterior and to provide brand recognition for Target and the pharmacy.
- The existing site will not be altered.

## **Attachment 3**

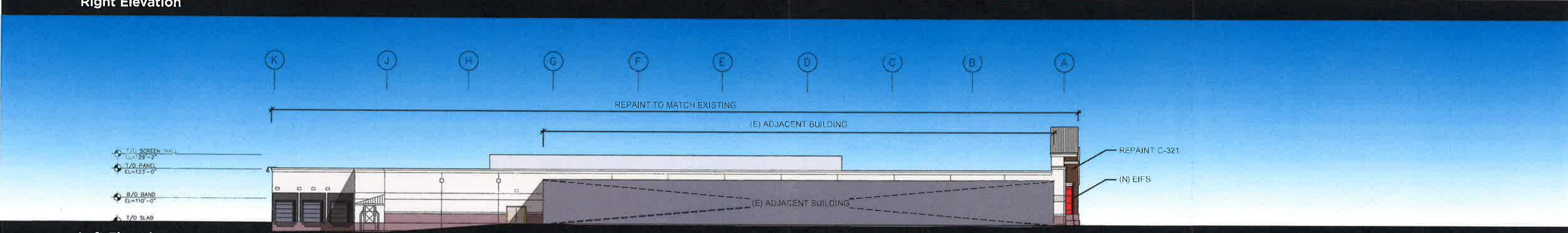
**Proposed Elevations and Street View, dated April 11, 2018**



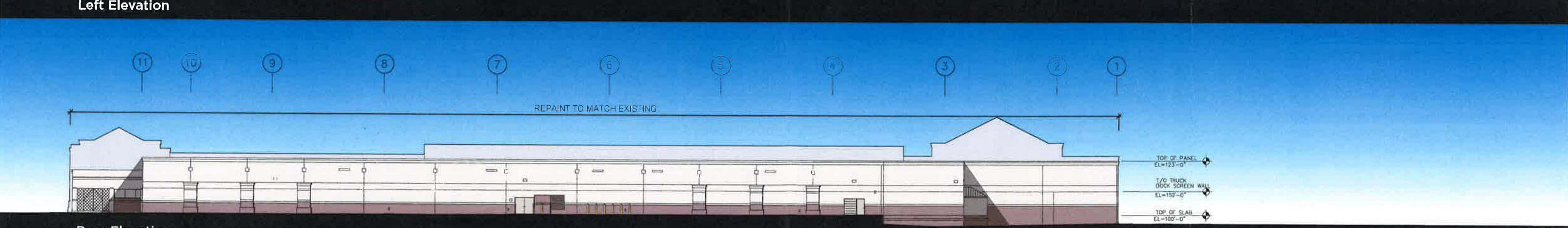
Front Elevation



Right Elevation



Left Elevation

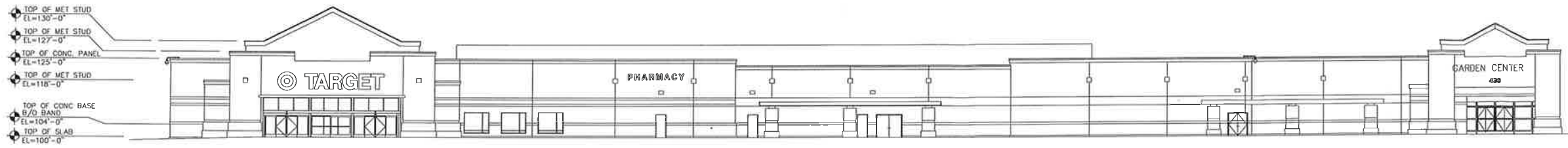


Rear Elevation

# T-1098 FOLSOM, CA: Exterior Elevation Refresh

Proposed Elevations  
April 11, 2018

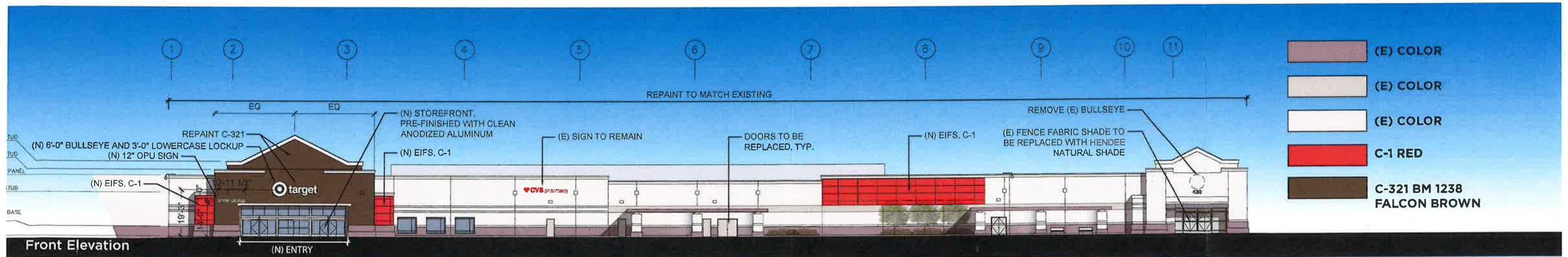




Existing Front Elevation



Street View



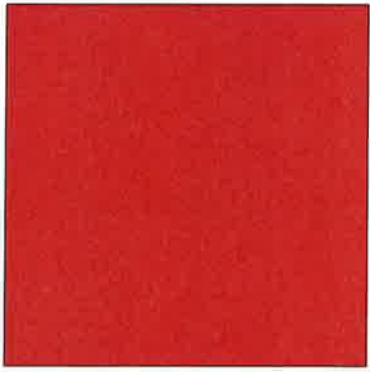
Proposed Front Elevation

T-1098 FOLSOM, CA: Exterior Elevation Refresh

April 11, 2018

## Attachment 4

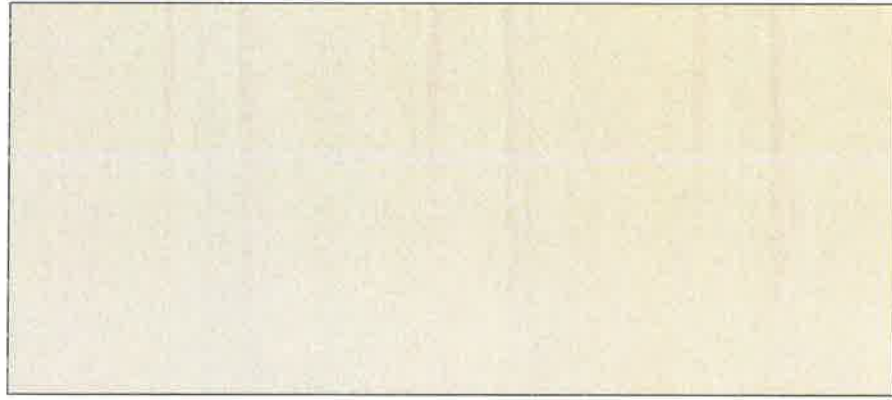
Proposed Materials, dated June 29, 2018



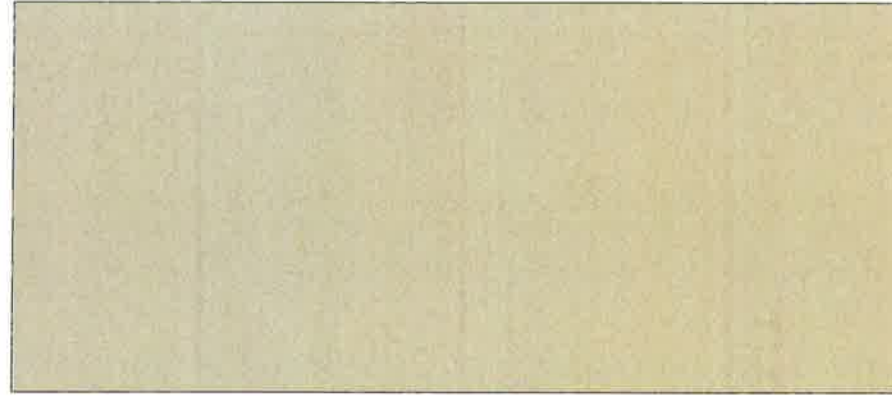
C-1 RED



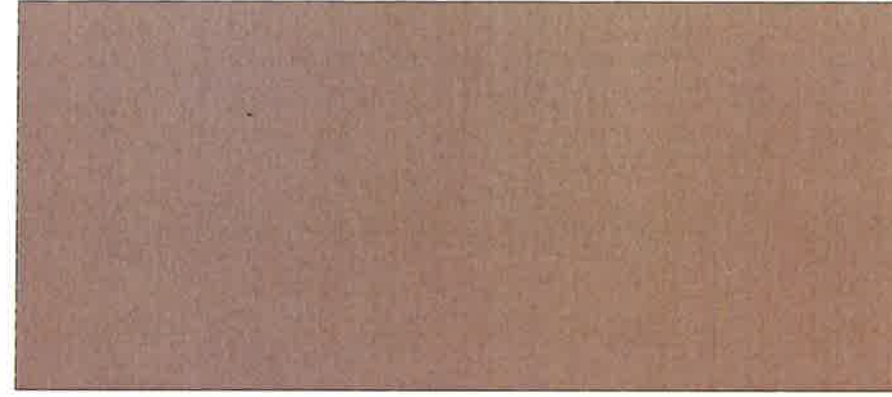
C-321 BM 1238  
FALCON BROWN



(E) TAN



(E) BEIGE GREY



(E) BROWN

# T-1098 Folsom, CA: Exterior Elevation Refresh

**Proposed Materials**  
April 17, 2018

## Attachment 5

### Site Photos



Photo 1: View of storefront entrance facing south.



Photo 2: View of storefront entrance facing north.

**Kimley»Horn**

765 The City Drive, Suite 200  
 Orange, California 92868  
 Phone (714)939-1030

**Site Photos**

**Target Store T0827 Remodel  
 3000 Harbison Dr.  
 Vacaville, CA 95687**



Photo 3: Pharmacy sign south of store entrance.



Photo 4: View of southern corner of building facing north.

**Kimley»Horn**

765 The City Drive, Suite 200  
 Orange, California 92868  
 Phone (714)939-1030

**Site Photos**

**Target Store T0827 Remodel  
 3000 Harbison Dr.  
 Vacaville, CA 95687**



Photo 5: Aerial view of store facing east.

**Kimley»Horn**

765 The City Drive, Suite 200  
Orange, California 92868  
Phone (714)939-1030

**Site Photos**

**Target Store T0827 Remodel  
3000 Harbison Dr.  
Vacaville, CA 95687**

## Attachment 6

### Photographs of Commercial Buildings in Close Proximity to Project Site







**PLANNING COMMISSION STAFF REPORT**

<b>PROJECT TITLE</b>	Quick Quack Car Wash Tentative Parcel Map
<b>PROPOSAL</b>	Request for approval of a Tentative Parcel Map to subdivide an existing 2.68-acre property into two individual parcels
<b>RECOMMENDED ACTION</b>	Approve, based upon findings and subject to conditions of approval
<b>OWNER/APPLICANT</b>	Quick Quack Development, LLC
<b>LOCATION</b>	Southeast corner of the intersection of Iron Point Road and Cavitt Drive (1750 Cavitt Drive)
<b>ASSESSOR'S PARCEL NO</b>	072-2270-014
<b>SITE CHARACTERISTICS</b>	The project site is partially developed with 3,599-square-foot car wash and associated site improvements including two driveways, drive aisles, parking, sidewalks, underground utilities, site lighting, landscaping, and a trash/recycling enclosure. A small area within the southern portion of the site is currently undeveloped
<b>GENERAL PLAN DESIGNATION</b>	Community Commercial (CC)
<b>ZONING</b>	SP 95-1 (Broadstone Unit No. 3 Specific Plan) with an underlying land use designation of C-2 (Community Commercial)
<b>ADJACENT LAND USES/ZONING:</b>	North: Iron Point Road with Single-Family Residential Development (SP 95-1) Beyond South: Open Space (SP 95-1) with Commercial Development and U.S. Highway 50 Beyond East: Open Space (SP 95-1) with Commercial Development (SP 95-1) and Serpa Way Beyond

West: Cavitt Drive with Commercial  
Development (SP 95-1) Beyond

**PREVIOUS ACTION**

Planning Commission approval of a Planned Development Permit for development of a 3,599-square-foot car wash facility (Quick Quack Car Wash) on December 7, 2016

**FUTURE ACTION**

Approval of the Parcel Map

**APPLICABLE CODES**

FMC 16.24, Parcel Maps  
FMC 17.22, Commercial Land Use Zones  
FMC 17.57, Parking Requirements  
Broadstone Unit No. 3 Specific Plan (SP 95-1)

**ENVIRONMENTAL REVIEW**

The project is exempt from environmental review under Section 15315 (Minor Land Divisions) of the California Environmental Quality Act (CEQA) Guidelines

**ATTACHMENTS**

1. Vicinity Map
2. Tentative Parcel Map, dated May 22, 2018
3. Site Photographs

**PROJECT PLANNER**

Steve Banks, Principal Planner

**BACKGROUND**

On December 7, 2016, the Planning Commission approved a Planned Development Permit for development of a 3,599-square-foot Quick Quack Car Wash facility on a 2.68-acre site located at the southeast corner of the intersection of Iron Point Road and Cavitt Drive. As part of the aforementioned project, a small portion of the project site was intentionally left unimproved in anticipation of future development of the south side of the property. Subsequently, the Quick Quack Car Wash facility was constructed and the business began operations on April 11, 2018.

**APPLICANT'S PROPOSAL**

The applicant, Quick Quack Development, is requesting approval of a Tentative Parcel Map to subdivide an existing 2.68-acre parcel located at 1750 Cavitt Drive into two individual parcels. Proposed Parcel 1, which includes an existing 3,599-square-foot car wash facility and associated site improvements, is 1.82-acres in size. Parcel 2, which is partially improved with driveways, drive aisles, parking, a sidewalk, site lighting, and landscaping, is 0.86-acres in size. The unimproved portion of Parcel 2 is expected to be developed with an oil change facility under a separate development application. The applicant is also proposing to dedicate reciprocal access easements for common use of the project driveways on Cavitt Drive, the internal drive aisles, and

the internal parking spaces. In addition, the applicant is proposing to dedicate reciprocal easements for utilities, drainage, water, and sanitary sewer.

### **GENERAL PLAN AND ZONING COMPLIANCE**

The General Plan land use designation of the site is CC (Community Commercial) and the zoning classification for the site is SP 95-1 (Broadstone Unit No. 3 Specific Plan) with an underlying land use designation of C-2 (Community Commercial), which is similar to the City's C-2 (Central Business District) zoning designation. The Specific Plan designation corresponds with the General Plan land use designation. The proposed project is consistent with both the General Plan land use and Specific Plan designations, as retail and commercial uses are identified as a permitted land use in the specific plan for this site. In addition, the proposed project (which includes creation of two separate parcels) meets all of the development requirements set forth in the Broadstone Unit No. 3 Specific Plan including minimum lot area, minimum lot width, maximum building coverage, building setbacks, and parking.

### **TENTATIVE PARCEL MAP**

As referenced earlier within this report, the applicant is requesting approval of a Tentative Parcel Map to subdivide the 2.68-acre project site into two separate parcels with the intent of allowing each parcel to be sold and operated independently from the other parcel. The newly created parcels, which are 1.82-acres (Parcel 1) and 0.86-acres (Parcel 2) in size respectively, will include an existing building, driveways, drive aisles, sidewalks, parking spaces, site lighting, landscaping, and trash/recycling enclosures. In addition, the new parcels will share driveway access on Cavitt Drive. Staff recommends that the applicant dedicate reciprocal access easements for common use of the project driveways on Cavitt Drive, the internal drive aisles, and the internal parking spaces on the Parcel Map. In addition, staff recommends that the applicant dedicate private easements for utilities, drainage, water, and sanitary sewer on the Parcel Map. Condition Nos. 10 and 11 are included to reflect this requirement.

### **ENVIRONMENTAL REVIEW**

This property was not involved in a division of a larger parcel in the last two years. The property does not have an average slope greater than 20 percent. The property division is in conformance with the General Plan and Zoning, and no variances or exceptions are required. In addition, all services and access to the proposed parcels are provided to local standards. Therefore, based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

### **RECOMMENDATION/PLANNING COMMISSION ACTION**

MOVE TO APPROVE THE QUICK QUACK CAR WASH TENTATIVE PARCEL MAP PROJECT CREATING TWO (2) PARCELS AS ILLUSTRATED IN ATTACHMENT 2, WITH THE FOLLOWING FINDINGS AND CONDITIONS (NO. 1-11);

### **GENERAL FINDINGS**

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.

- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE BROADSTONE UNIT NO. 3 SPECIFIC PLAN.

**CEQA FINDINGS**

- C. THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15315 (MINOR LAND DIVISIONS) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHER IN THE EXEMPT CLASS.

**TENTATIVE PARCEL MAP FINDINGS**

- F. THE PROPOSED TENTATIVE PARCEL MAP IS CONSISTENT WITH THE GENERAL PLAN, THE BROADSTONE UNIT NO. 3 MASTER PLAN, THE CITY'S SUBDIVISION ORDINANCE, AND OTHER APPLICABLE PROVISIONS OF THE FOLSOM MUNICIPAL CODE, AND THE SUBDIVISION MAP ACT IN THAT THE PROJECT IS SUBJECT TO CONDITIONS OF APPROVAL THAT WILL ENSURE THAT THE PROJECT IS DEVELOPED IN COMPLIANCE WITH CITY STANDARDS.
- G. THE DESIGN OF THE TENTATIVE PARCEL MAP AND THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND UNAVOIDABLE INJURE FISH OR WILDLIFE OR THEIR HABITAT.
- H. THE DESIGN OF THE TENTATIVE PARCEL MAP AND THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE PUBLIC HEALTH OR SAFETY PROBLEMS.
- I. THE DESIGN OF THE TENTATIVE PARCEL MAP AND THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS FOR ACCESS THROUGH OR USE OF, PROPERTY WITHIN THE PROPOSED TENTATIVE PARCEL MAP.
- J. THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.
- K. THE SITE IS PHYSICALLY SUITABLE FOR THE DENSITY OF DEVELOPMENT.

Submitted,

  
PAM JOHNS  
Community Development Director

**CONDITIONS**

See attached tables of conditions for which the following legend applies.

<b>RESPONSIBLE DEPARTMENT</b>		<b>WHEN REQUIRED</b>	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR THE QUICK QUACK CAR WASH TENTATIVE PARCEL MAP PROJECT (PN 18-025)**  
**1750 CAVITT DRIVE**  
**TENTATIVE PARCEL MAP**

Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> <li>• Tentative Parcel Map, dated May 22, 2018</li> </ul> <p>The project is approved for the Quick Quack Car Wash Facility Tentative Parcel Map, which includes subdividing an existing 2.68-acre parcel into two individual parcels. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p>	M	CD (P)(E)
2.	<p>The project approval granted under this staff report shall remain in effect for two years from final date of approval (July 18, 2020). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	M	CD (P)
3.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney's fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD



**DEVELOPMENT COSTS AND FEE REQUIREMENTS**

4.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	M	CD (P)(E)
5.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	M	CD (E)
6.	The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	M	CD (P)(E)
7.	If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	M	CD (P)(E)
<b>MAP REQUIREMENTS</b>			
8.	The owner/applicant shall provide a digital copy of the recorded Parcel Map (in AutoCAD format) to the Community Development Department.	M	CD (E)
9.	The owner/applicant shall provide the Folsom-Cordova Unified School District with a copy of the recorded Parcel Map.	M	CD (P)
10.	The owner/applicant shall dedicate reciprocal access easements for common use of the project driveways on Cavitt Drive, the internal drive aisles, and the internal parking spaces on the Parcel Map.	M	CD (E)
11.	The owner/applicant shall dedicate private easements for utilities, drainage, water, and sanitary sewer on the Parcel Map.	M	CD (E)

Attachment 1

Vicinity Map

# Vicinity Map



Attachment 2

Tentative Parcel Map, Dated May 22, 2018

**LEGEND**

DESCRIPTIONS	(P) PROPOSED	(E) EXISTING
STORM DRAIN		
SANITARY SEWER		
WATER MAIN		
FIRE SERVICE		
CONDUIT		
SHORT OF WKT LINE		
ELECTRICAL LINE		
GAS LINE		
TELEPHONE LINE		
JOINT TRENCH		
FENCE		
WOOD FENCE		
WROUGHT IRON FENCE		
WOOD FENCE WITH		
SIDEWALK WITH		
CURB AND CUTTER		
ELEVATION		
TREE TO BE REMOVED		
TREE TO REMAIN, CONSTRUCT TEMPORARY FENCE		

TENTATIVE PARCEL MAP FOR:  
**QUICK QUACK CAR WASH**  
 1750 CAVITT DRIVE  
 CALIFORNIA  
 CITY OF FOLSOM



VICINITY MAP  
 NOT TO SCALE



**GENERAL NOTES**

ADDITIONAL PARCEL NUMBER: 024-270-014

ZONING ZONING: C-3F(2)-1

PROPOSED ZONING: COMMERCIAL

PROPOSED USE: CAR WASH

NUMBER OF PROPOSED LOTS: 7

NUMBER OF PROPOSED UNITS: 7

NET AREA: 2.69 AC

OWNER/DEVELOPER: QUICK QUACK DEVELOPMENT LLC, 10000 BROADWAY, SUITE 100, FOLSOM, CA 95630

ENGINEER: BURRELL CONSULTING GROUP, INC., 10000 BROADWAY, SUITE 100, FOLSOM, CA 95630

**UTILITY DISTRICTS:**

SANITARY SEWER: CITY OF FOLSOM

WATER: CITY OF FOLSOM

ELECTRICITY: CALIFORNIA ELECTRICITY SERVICE COMPANY

TELEPHONE: CITY OF FOLSOM

TELEVISION: CITY OF FOLSOM

ALTERNATE GAS & ELECTRICITY: CITY OF FOLSOM

**PUBLIC SERVICES:**

SCHOOL DISTRICT: COLSON EDUCATIONAL SERVICES DISTRICT

FIRE DISTRICT: CITY OF FOLSOM

POST OFFICE: CITY OF FOLSOM

**NOTES:**

1. PLUMBING, MECHANICAL, AND/OR WELLS WILL BE AWARDED SEPARATELY.

2. THIS TENTATIVE MAP IS A GRAPHIC REPRESENTATION OF THE LAND AND DOES NOT CONSTITUTE A WARRANTY OF TITLE. THE CITY OF FOLSOM DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY OF FOLSOM IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS TENTATIVE MAP. THE CITY OF FOLSOM IS NOT RESPONSIBLE FOR ANY DAMAGES, INCLUDING ATTORNEY'S FEES, ARISING FROM THE USE OF THIS TENTATIVE MAP. THE CITY OF FOLSOM IS NOT RESPONSIBLE FOR ANY DAMAGES, INCLUDING ATTORNEY'S FEES, ARISING FROM THE USE OF THIS TENTATIVE MAP.

3. PARCELS ARE SUBJECT TO PRIVATE RECORDS, EASEMENTS, FOR PAVING, UTILITIES, TRAILING, WATER AND SANITARY SERVICE.

**BENCHMARK**

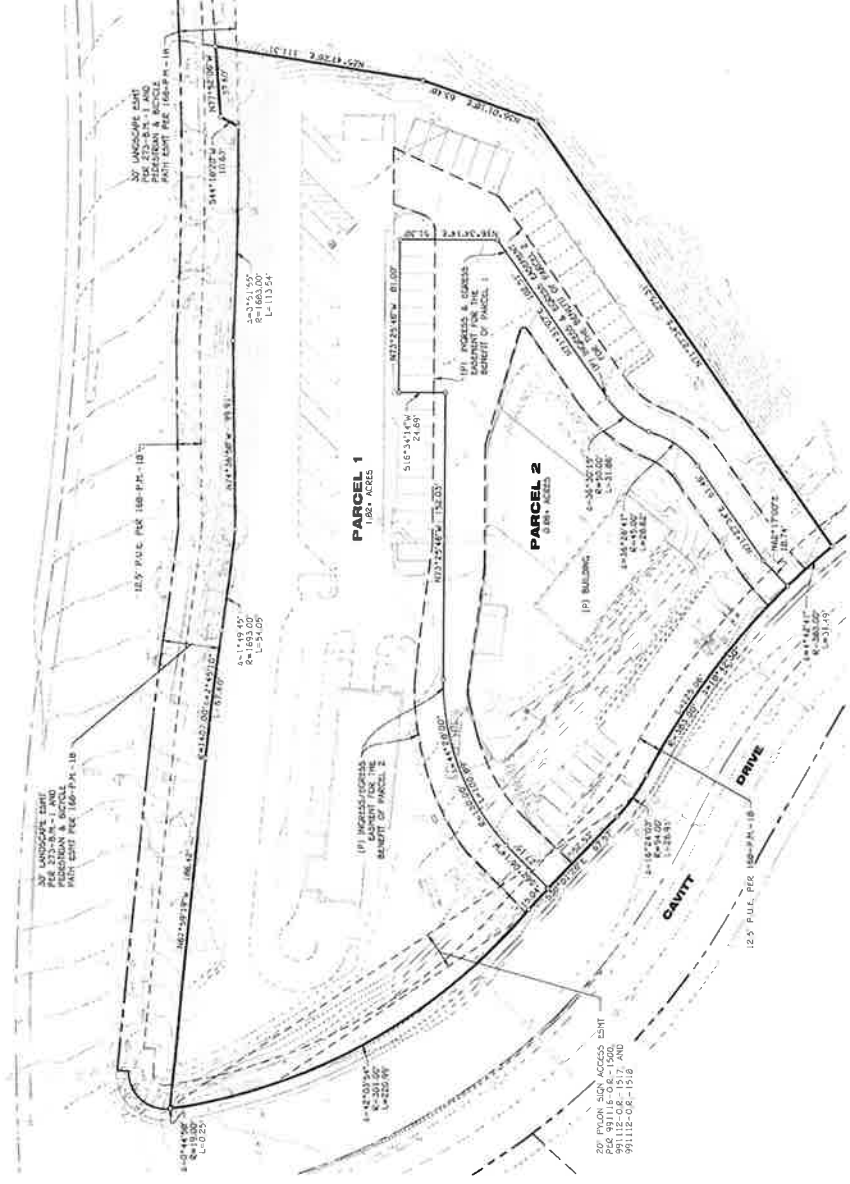
SECTION: 44.75 DATE: 04-04-2018

DESCRIPTION: BENCHMARK OVER THE SOUTHERN PACIFIC CO. ROAD, 81 FEET NORTHEAST OF THE SOUTHERN PACIFIC CO. ROAD, ABOUT 4 FEET ABOVE THE GROUND ABOUT LEVEL.

**TENTATIVE PARCEL MAP FOR:**  
**QUICK QUACK CAR WASH**  
**1750 CAVITT DRIVE**  
 SHEET 1 OF 1  
 MAY 22, 2018



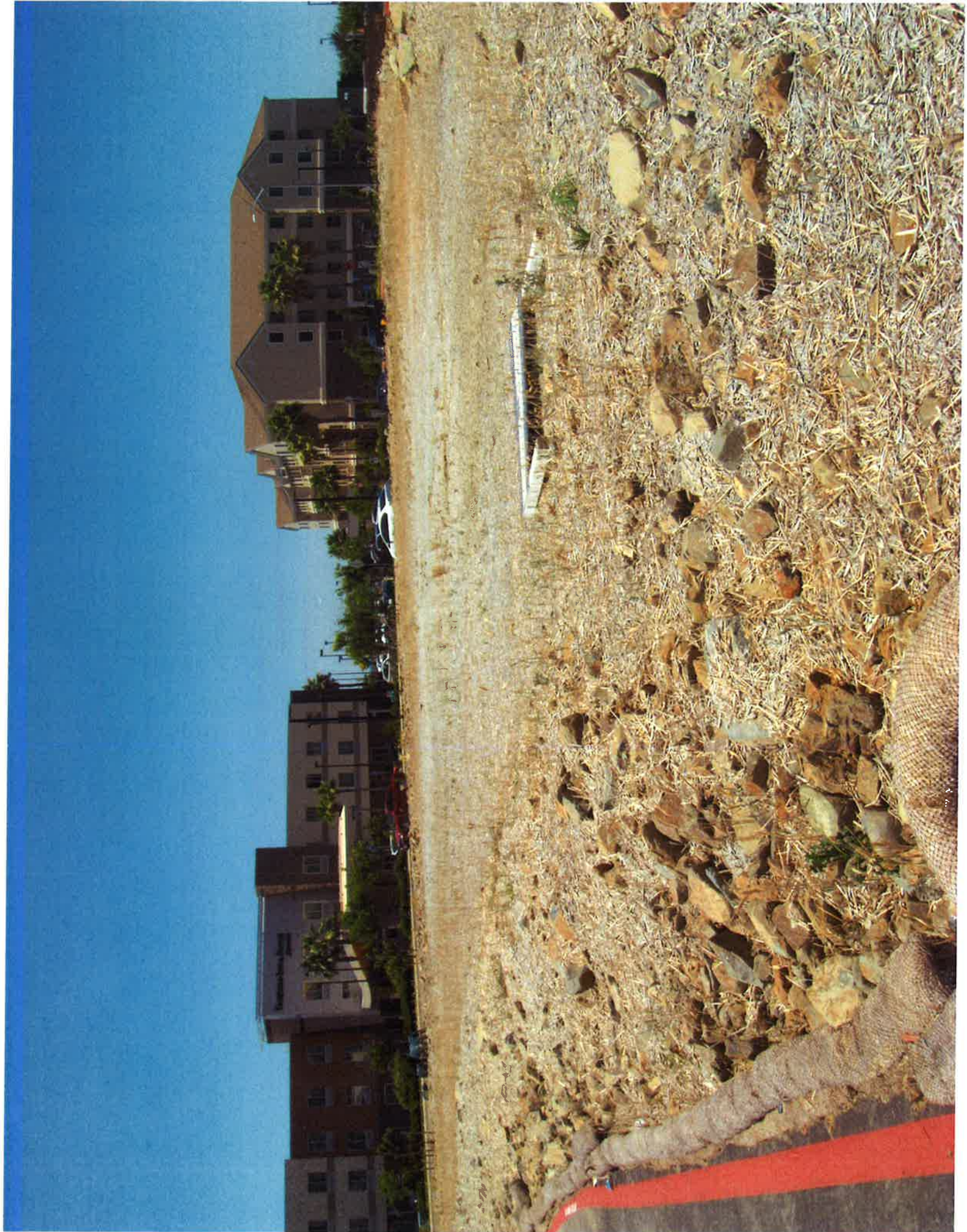
1901 Rivergate Way, Suite 100, Folsom, CA 95630 (916) 731-8898



20' PAVEN SIGN ACCESS EASEMENT  
 991112-08-15.7 AND  
 991112-08-15.8

Attachment 3  
Site Photographs









**PLANNING COMMISSION STAFF REPORT**

<b>PROJECT TITLE</b>	340 Plaza Drive Commercial Design Review
<b>PROPOSAL</b>	Request for Commercial Design Review Approval for remodeling of an existing 3,297-square-foot commercial building and an existing 8,000-square-foot commercial building located at 340 Plaza Drive
<b>RECOMMENDED ACTION</b>	Approve, based upon findings and subject to conditions of approval
<b>OWNER/APPLICANT</b>	The Gathering Place/Enterprise Rent-A-Car
<b>LOCATION</b>	340 Plaza Drive
<b>SITE CHARACTERISTICS</b>	The 4.51-acre project site is fully developed with three commercial buildings and associated site improvements including two driveways, drive aisles, parking, a playground, landscaping, site lighting, and trash/recycling enclosures
<b>GENERAL PLAN DESIGNATION</b>	CA (Specialty Commercial)
<b>ZONING</b>	C-3 PD (General Commercial, Planned Development District)
<b>ADJACENT LAND USES/ZONING</b>	North: Open Space (OSC) with Single-Family Residential Development Beyond South: Plaza Drive with Commercial Development (C-3 PD) Beyond East: Commercial Development (C-3 PD) with Parkshore Drive Beyond West: Commercial Development (C-3 PD) with Open Space Beyond

**PREVIOUS ACTION**

Approval of a Commercial Design Review Application for remodeling of three existing commercial buildings located at 340 Plaza Drive on March 20, 2002 by the Community Development Department

**FUTURE ACTION**

Issuance of Building Permits

**APPLICABLE CODES**

FMC 17.06, Design Review  
FMC 17.22, Commercial Land Uses  
FMC 17.57, Parking Requirements  
FMC 17.59, Signs

**ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA)

**ATTACHMENTS**

1. Vicinity Map
2. Site Plan, dated April 4, 2018
3. Building Elevations, dated April 4, 2018
4. Color and Materials Board
5. Floor Plan, dated April 4, 2018
6. Site Photographs

**PROJECT PLANNER**

Steve Banks, Principal Planner

**BACKGROUND**

On March 20, 2002, the Community Development Department approved a Commercial Design Review Application that involved remodeling of three commercial buildings (The Gathering Place Church) situated on a 4.51-acre property located at 340 Plaza Drive. Subsequently, the three aforementioned buildings were remodeled and The Gathering Place Church began operations within all three buildings. Currently, The Gathering Place Church operates out of one of the three buildings (a 21,576-square-foot building located at the rear of the subject property), while Results Transformation Center occupies another of the buildings (an 8,000-square-foot building located at the front of the property). The third building (3,297-square-foot building), which is currently unoccupied, is also located at the front of the property adjacent to the 8,000-square-foot building. On April 10, 2018, the applicant submitted the subject Commercial Design Review Application to the Community Development Department.

**APPLICANT'S PROPOSAL**

The applicant, Enterprise Rent-A-Car, is requesting Commercial Design Review approval to remodel an existing 3,297-square-foot commercial building (Enterprise Rent-A-Car) and an existing 8,000-square-foot commercial building (Results Transformation Center) located at 340 Plaza Drive. The proposed project includes modifications to the exterior building facades, introduction of a new color scheme, and construction of minor site accessibility improvements.

In relation to exterior building modifications, the proposed project includes a number of significant changes including: replacing the blue ceramic tiles with a combination of stucco and stone veneer wainscoting, installing new charcoal-tinted window glazing, and adding crown molding at the top of the tower entry elements. The proposed project also includes the reuse of some existing design elements including the aluminum storefront systems and the flying buttresses. The proposed color scheme features beige (Moderate White) as the primary color with a white shade (Pure White) as the accent color. Other notable colors include black (Tricorn Black) for the window glazing and a natural blend (Cliffstone Manzanita) for the stone veneer wainscoting. Site accessibility improvements include designating an accessible parking stall, constructing an accessible curb ramp, and striping of an accessible path of travel.

### **ARCHITECTURE/SITE DESIGN**

As described earlier within this report, the proposed project includes a range of architectural enhancements to the existing 3,297-square-foot and 8,000-square-foot buildings located at 340 Plaza Drive. One of the more prominent changes is the remodeling of the two building entrances facing Plaza Drive to create a more refined and contemporary appearance. Other notable modifications include replacing the existing blue ceramic tiles with stucco, adding stone veneer wainscoting to the base of the columns on all building elevations, installing a new charcoal-tinted window glazing, incorporating crown molding at the roofline of the two building entrances. The proposed project also includes a significant change to the existing color scheme of the commercial building. The new color scheme focuses on the use of more earth tone colors such as Cliffstone Manzanita, Moderate White, and Pure White, whereas the existing color scheme features vibrant blue-toned colors.

The project site is located adjacent to the Humbug-Willow Creek corridor, thus it is subject to the Humbug-Willow Creek Design Guidelines. The Humbug-Creek Design Guidelines are primarily focused on issues related to site design and planning, but do provide some general guidance with respect building design, building materials, and building colors. Staff has determined that the proposed project is consistent with these Design Guidelines.

The project site is not located in a shopping center or area where specific design standards or architectural guidelines have been established with the exception of the Humbug-Willow Creek Design Guidelines. As a result, staff considered the design, materials, and colors of existing commercial buildings located in close proximity to the project site when evaluating the proposed project. The majority of the buildings in the project area, which were constructed in the 2000-2007 timeframe, feature contemporary architectural designs. Common building materials in the project area include stucco, textured concrete masonry units, stone veneer, and river rock. There are a wide array of building colors in the project area including modest earth tones to more vibrant accent colors.

In reviewing this particular application, staff also took into consideration existing design guidelines at established office developments and shopping centers (Broadstone Marketplace, Folsom Gateway, etc) throughout the City as well as basic planning principals that the Community Development Department encourages commercial developers to implement. The following list highlights building and site features staff is looking for relative to architecture and design:

- The architectural design of buildings should consider the site, relationship to other structures, streetscapes, and climatic orientations.
- Structures with long uninterrupted exterior walls should be avoided, where possible. Walls should have varied forms to create shadows and provide relief that softens the architecture.
- Recesses that create interplay of light and shadow, covered walkways, colonnades, arcades, overhangs, and openings that create interest are encouraged.
- The appropriate use of awnings, arcades, trellises, or other shade structures is strongly encouraged.
- Natural materials which are simple and easy to maintain such as stone, wood, stucco, and masonry should be encouraged. Materials such as textured or patterned concrete are considered compatible building accents.

In reviewing the architecture and design of the proposed building modifications, City staff determined that the proposed project incorporates a significant number of the unique design elements including; the use of prominent tower entry features, cornice elements, columns, flying buttresses, and wainscoting. Staff also determined that the proposed project will create more visual interest through the use of multiple building materials including stucco and stone veneer. Lastly, staff determined that the proposed earth tone color scheme blends well with the new architectural design of the commercial building and promotes a more contemporary visual appearance.

As discussed previously within this report, the proposed project is located in an area where there is a mixture of contemporary building designs, materials, and colors. While there are no established design guidelines for the project site or the surrounding buildings, staff has concluded that the applicant has proposed a design for the project that incorporates many of the key design principals necessary for an attractive and high quality building. As such, staff determined that the proposed project utilizes a design (including materials and colors) that is complimentary to existing buildings in the vicinity of project site while also enhancing the overall appearance of the project area. Staff forwards the following design recommendations to the Commission for consideration:

1. This approval is for remodeling of a one-story, 3,297-square-foot commercial building and remodeling of a one-story, 8,000-square-foot commercial building associated with the 340 Plaza Drive project. The applicant shall submit building plans that comply with this approval, the attached building elevations dated April 4, 2018.
2. The design, materials, and colors of the two remodeled commercial buildings shall be consistent with the submitted building elevations, color renderings, materials samples, and color scheme to the satisfaction of the Community Development Department.

3. Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features.
4. Utility equipment such as transformers, electric and gas meters, electrical panels, and junction boxes shall be screened by walls and or landscaping.
5. All exterior building-attached light fixtures shall be shielded and directed downward and away from adjacent properties.

These recommendations are included in the conditions of approval presented for consideration by the Planning Commission (Condition No. 14).

### **Parking**

The subject property, which features three commercial buildings occupied by The Gathering Place Church, Results Transformation Center, and future Enterprise Rent-A-Car respectively, has 238 on-site parking spaces. The Folsom Municipal Code (FMC, Section 17.57.040 Off-Street Parking Requirements) requires that churches and other places of worship provide one parking space per four seats in the main assembly area. The Gathering Place Church has a main assembly area of approximately 700 seats, thus 175 parking spaces are required for this use. The Folsom Municipal Code does not have a specific parking requirement for health and fitness clubs. However, in reviewing parking requirements for other jurisdictions in the Sacramento region, a conservative parking ratio of one parking space per three hundred square feet of floor area was noted. Results Transformation Center has 8,000 square feet of floor area, thus 27 parking spaces are required for this use. The Folsom Municipal Code requires that retail commercial uses provide one parking spaces per two hundred square feet of floor area. The proposed Enterprise Rent-A-Car business has 3,297 square feet of floor area, thus 17 parking spaces are required for this use. Based on the aforementioned analysis, staff has determined that the proposed project meets the parking requirements of the Folsom Municipal Code by providing 238 parking spaces whereas 219 parking spaces are required.

### **Signage**

Project identification for the proposed project includes a combination of wall-mounted signs located on the front (south) building elevation. The 3,297-square-foot pad building will feature three wall signs located on the south building elevation that read “enterprise”, “truck rental”, and “rent-a-car”. The applicant has not provided specific design details (size, materials, colors, etc.) for the aforementioned wall signs with the subject application. Staff recommends that all future signs for the project comply with the Folsom Municipal Code (FMC, Section 17.59, Signs). In addition, staff recommends that the applicant obtain a sign permit for all future wall signs. Condition No. 11 is included to reflect these requirements.

### **ENERGY AND WATER CONSERVATION**

To reduce impacts in terms of energy and water consumption, the proposed project is required to meet the 2014 Title 24 Building Envelope Energy Efficiency Standards. The project will be allowed to achieve this performance standard through a combination of measures to reduce energy use for heating, cooling, water heating and ventilation. Because energy use for each different system type (i.e., heating, cooling, water heating, and ventilation) as well as appliances

is defined, this method will also easily allow for application of individual measures aimed at reducing the energy use of these devices in a prescriptive manner.

To ensure water conservation is being achieved, the proposed project is required to comply with all State and local rules, regulations, Governor's Declarations, and restrictions including but not limited to: Executive Order B-29-15 issued by the Governor of California on December 1, 2015 relative to water usage and conservation, requirements relative to water usage and conservation established by the State Water Resources Control Board, and water usage and conservation requirements established within the Folsom Municipal Code, (Section 13.26 Water Conservation), or amended from time to time. Condition No. 13 is included to reflect these requirements.

**ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA).

**RECOMMENDATION/PLANNING COMMISSION ACTION**

MOVE TO APPROVE THE 340 PLAZA DRIVE COMMERCIAL DESIGN REVIEW PROJECT (PN 18-126), WHICH INCLUDES REMODELING OF AN EXISTING 3,297-SQUARE-FOOT COMMERCIAL BUILDING AND REMODELING OF AN EXISTING 8,000-SQUARE-FOOT BUILDING LOCATED AT 340 PLAZA DRIVE AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 5 WITH THE FOLLOWING FINDINGS AND CONDITIONS OF APPROVAL (NO. 1-17).

**GENERAL FINDINGS**

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

**CEQA FINDING**

- C. THE PROJECT IS CATEGORICALLY EXEMPT UNDER SECTION 15301 EXISTING FACILITIES OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

**DESIGN REVIEW FINDINGS**

- D. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN AND THE ZONING ORDINANCE.
- E. THE PROJECT PROVIDES COMPATIBILITY OF BUILDING MATERIALS, TEXTURES AND COLORS WITH SURROUNDING DEVELOPMENT AND CONSISTENCY WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

Submitted,



PAM JOHNS

Community Development Director

### CONDITIONS

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		



**CONDITIONS OF APPROVAL FOR 340 PLAZA DRIVE COMMERCIAL DESIGN REVIEW PROJECT (PN 18-126)**  
**340 PLAZA DRIVE**  
**COMMERCIAL DESIGN REVIEW**

Mitigation Measure		When Required	Responsible Department
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> <li>• Site Plan, dated April 4, 2018</li> <li>• Building Elevations, dated April 4, 2018</li> <li>• Color and Materials Board</li> <li>• Floor Plan, dated April 4, 2018</li> </ul> <p>This project approval is for Commercial Design Review for remodeling of an existing 3,297-square-foot commercial building and remodeling of an existing 8,000-square-foot existing commercial building located at 340 Plaza Drive, as shown on the above-referenced plans. Modifications may be made to the above-referenced plans to respond to site-specific conditions of approval as set forth herein.</p>	B	CD (P)(E)
2.	<p>Building plans and any required civil engineering plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.	<p>The project approval granted under this staff report shall remain in effect for one year from final date of approval (July 18, 2019). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR 340 PLAZA DRIVE COMMERCIAL DESIGN REVIEW PROJECT (PN 18-126)**  
**340 PLAZA DRIVE**  
**COMMERCIAL DESIGN REVIEW**

Mitigation Measure		When Required	Responsible Department
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney’s fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD
<b>DEVELOPMENT COSTS AND FEE REQUIREMENTS</b>			
5.	<p>The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.</p>	B	CD (P)(E)
6.	<p>The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.</p>	B	CD (P) (E)

**CONDITIONS OF APPROVAL FOR 340 PLAZA DRIVE COMMERCIAL DESIGN REVIEW PROJECT (PN 18-126)**  
**340 PLAZA DRIVE**  
**COMMERCIAL DESIGN REVIEW**

Mitigation Measure		When Required	Responsible Department
7.	If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the improvement plans or beginning inspection, whichever is applicable.	B	CD (P)(E)
8.	This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Quimby, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (July 18, 2018). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
9.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
10.	The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)
<b>SITE DEVELOPMENT REQUIREMENTS</b>			
11.	All signs for the project shall comply with the <u>Folsom Municipal Code</u> . In addition, the owner/applicant shall obtain a sign permit for all future wall signs.	B	CD (P)

**CONDITIONS OF APPROVAL FOR 340 PLAZA DRIVE COMMERCIAL DESIGN REVIEW PROJECT (PN 18-126)**  
**340 PLAZA DRIVE**  
**COMMERCIAL DESIGN REVIEW**

Mitigation Measure	When Required	Responsible Department
12.	B	CD (P)
13.	B, OG	CD (P)(E)

Final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for location, height, aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits. All lighting, including but not limited to free-standing parking area lights, landscape/walkway lights, and building-attached lights shall be designed to be screened, shielded, and directed downward onto the project site and away from adjacent properties and public rights-of-way. Lighting shall be equipped with a timer or photo condenser. In addition, pole-mounted parking lot lights shall utilize a low-intensity, energy efficient lighting method.

The proposed project shall comply with all State and local rules, regulations, Governor's Declarations, and restrictions including but not limited to: Executive Order B-29-15 issued by the Governor of California on December 1, 2015 relative to water usage and conservation, requirements relative to water usage and conservation established by the State Water Resources Control Board, and water usage and conservation requirements established within the Folsom Municipal Code, Chapter 13.26 Water Conservation), or amended from time to time.

**ARCHITECTURE/DESIGN REQUIREMENT**

14.	<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> <li>This approval is for remodeling of a one-story, 3,297-square-foot commercial building and remodeling of a one-story, 8,000-square-foot commercial building associated with the 340 Plaza Drive project. The applicant shall submit building plans that comply with this approval, the attached building elevations dated April 4, 2018.</li> <li>The design, materials, and colors of the two remodeled commercial buildings shall be consistent with the submitted building elevations, color renderings, materials samples, and color scheme to the satisfaction of the Community Development Department.</li> <li>Roof-mounted mechanical equipment, including satellite dish antennas, shall not extend above the height of the parapet walls. Ground-mounted mechanical equipment shall be shielded by landscaping or trellis type features.</li> <li>Utility equipment such as transformers, electric and gas meters, electrical panels, and junction boxes shall be screened by walls and or landscaping.</li> <li>All exterior building-attached light fixtures shall be shielded and directed downward and away from adjacent properties.</li> </ol>	B	CD (P)
<b>NOISE REQUIREMENT</b>			
15.	<p>Compliance with Noise Control Ordinance and General Plan Noise Element shall be required. Hours of construction operation shall be limited from 7:00 a.m. to 6:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays. No construction is permitted on Sundays or holidays. Construction equipment shall be muffled and shrouded to minimize noise levels.</p>	B	CD (P)(E)
<b>FIRE DEPARTMENT REQUIREMENT</b>			
16.	<p>The buildings shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and improved by the Fire Department.</p>	B	FD

**POLICE/SECURITY REQUIREMENTS**

17.		<p>The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:</p> <ul style="list-style-type: none"> <li>• A security guard shall be on-duty at all times at the site or a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings).</li> <li>• Security measures for the safety of all construction equipment and unit appliances shall be employed.</li> <li>• Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting.</li> </ul>	B	PD
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Attachment 1

Vicinity Map

# Vicinity Map



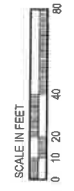
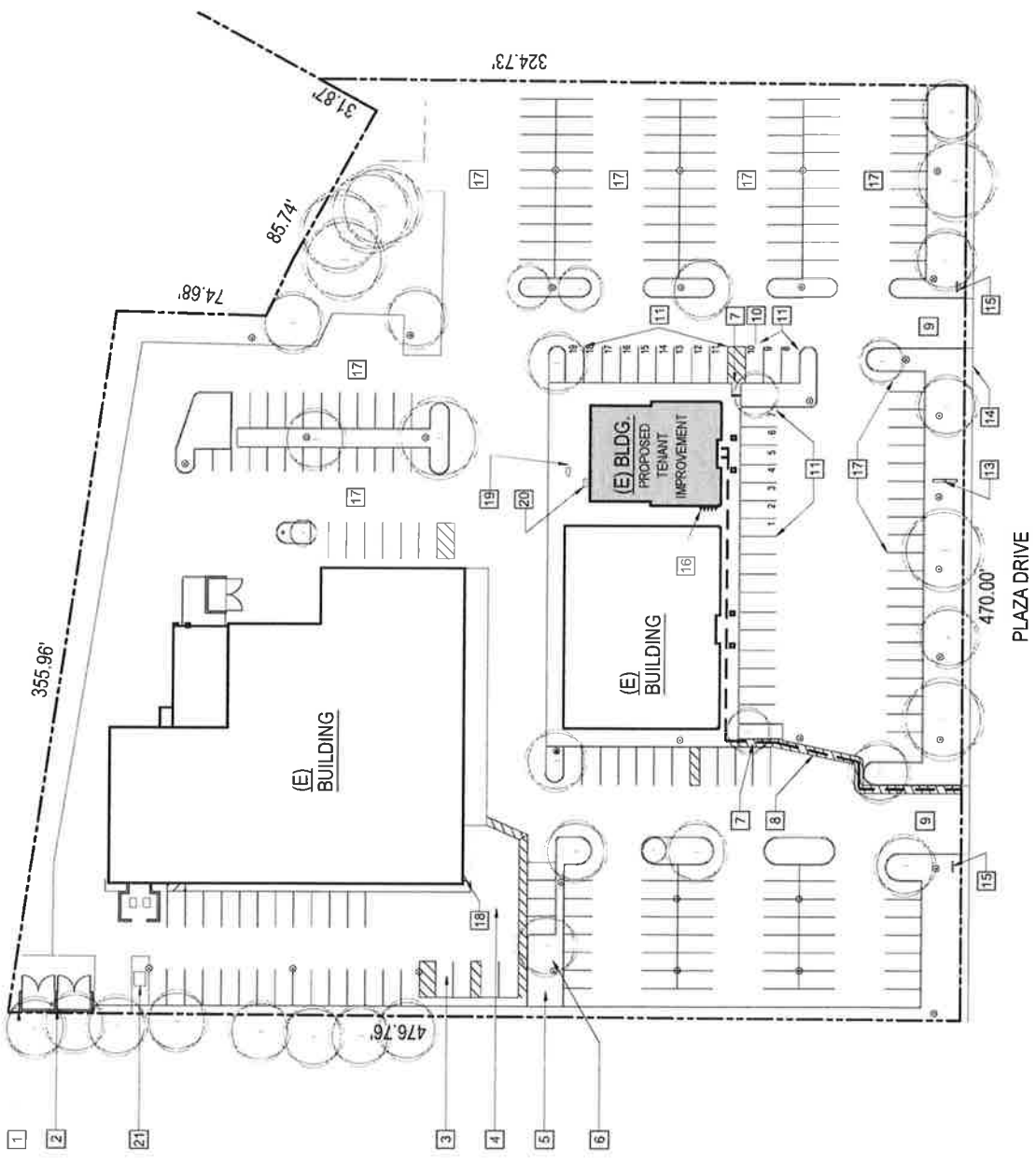


## Attachment 2

Site Plan, dated April 4, 2018

- SITE PLAN KEYNOTES**
- 1 (E) PROPERTY LINE, TYPICAL
  - 2 (E) TRASH ENCLOSURE
  - 3 (E) ACCESSIBLE PARKING SPACE, TYPICAL
  - 4 (E) ASPHALT PAVED PARKING LOT, TYP.
  - 5 (E) LANDSCAPE PLANTER, TYPICAL
  - 6 (E) TREE, TYPICAL
  - 7 ACCESSIBLE CURB RAMP
  - 8 ACCESSIBLE PATH OF TRAVEL. ANY LEVEL CHANGES BETWEEN 1/4" AND 1/2" REQUIRES BEVELED EDGES AND NOT GREATER THAN 1:2 SLOPE
  - 9 (E) DRIVEWAY
  - 10 ACCESSIBLE PARKING SPACE
  - 11 CUSTOMER AND EMPLOYEE PARKING SPACES
  - 12 (E) LIGHT POST
  - 13 (E) POLE SIGN TO BE REFACED WITH NEW SIGNAGE
  - 14 (E) SIDEWALK
  - 15 (E) ACCESSIBLE ENTRANCE PARKING SIGN
  - 16 BIKE RACK (5)
  - 17 INVENTORY PARKING, TYPICAL U.N.O
  - 18 (E) GAS METER
  - 19 (E) BACK FLOW PREVENTER
  - 20 (E) FIRE RISER
  - 21 (E) TRANSFORMER

- NOTES:**
- 1. THE PROJECT DOES NOT PROPOSE TO CHANGE THE (E) GRADING OR DRAINAGE OF THE SITE.
  - 2. NO TREES TO BE REMOVED OR AFFECTED BY PROJECT.
  - 2. THE PROJECT DOES NOT PROPOSE NEW LANDSCAPING OR NEW TREES.
  - 3. THE PROJECT DOES NOT INCLUDE ADDITIONS TO THE EXISTING BUILDINGS.
  - 4. NO (E) FIRE LANES WILL BE BLOCKED OR REMOVED.
  - 5. PARKING LOT LIGHTING IS EXISTING TO REMAIN.



**SITE PLAN**  
SCALE: 1"=40'-0"

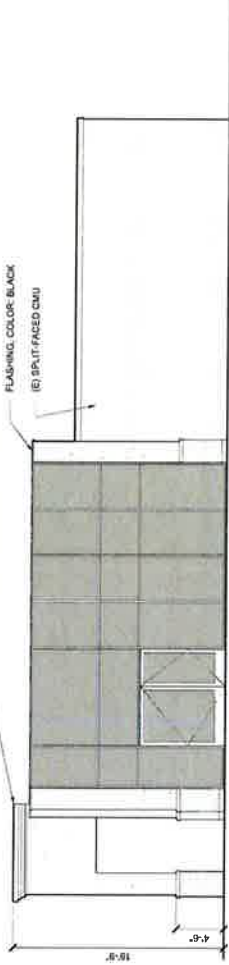
## Attachment 3

Building Elevations, dated April 4, 2018



CROWN MOLDING, COLOR: WHITE

FLASHING, COLOR: BLACK  
(E) SPLIT-FACED CMU



EAST (SIDE)

CROWN MOLDING, COLOR: WHITE

STUCCO PLASTER WALL FINISH, PAINTED MODERATE WHITE, TYP.  
STONE VENEER WAINSCOT, EL DORADO STONE 'CLIFFSTONE'  
MANZANITA, TYP.

ADHESIVE WINDOW SIGNAGE BY SEPARATE SUBMITTAL  
ILLUMINATED SIGNAGE BY SEPARATE SUBMITTAL  
BOX SIGN BY SEPARATE SUBMITTAL

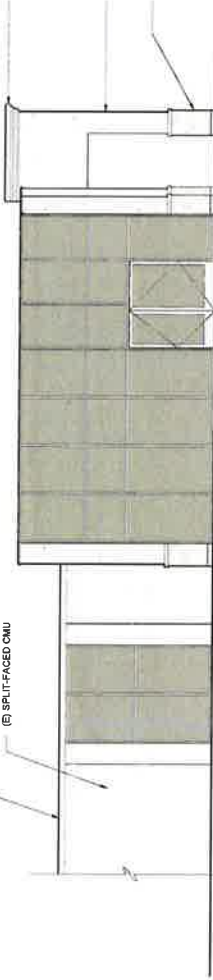


SOUTH (FRONT)

NEW CHARCOAL TINTED GLAZING TO BE  
INSTALLED IN (E) MILLIONS  
(E) ALUMINUM STOREFRONT

FLASHING, COLOR: BLACK  
(E) SPLIT-FACED CMU

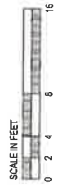
CROWN MOLDING, COLOR: WHITE



PARTIAL WEST (SIDE)

STUCCO PLASTER WALL FINISH, PAINTED MODERATE WHITE, TYP.

STONE VENEER WAINSCOT, EL DORADO  
STONE 'CLIFFSTONE' MANZANITA, TYP.



PROPOSED EXTERIOR ELEVATIONS  
SCALE: 3/16" = 1'-0"

## Attachment 4

### Color and Materials Board



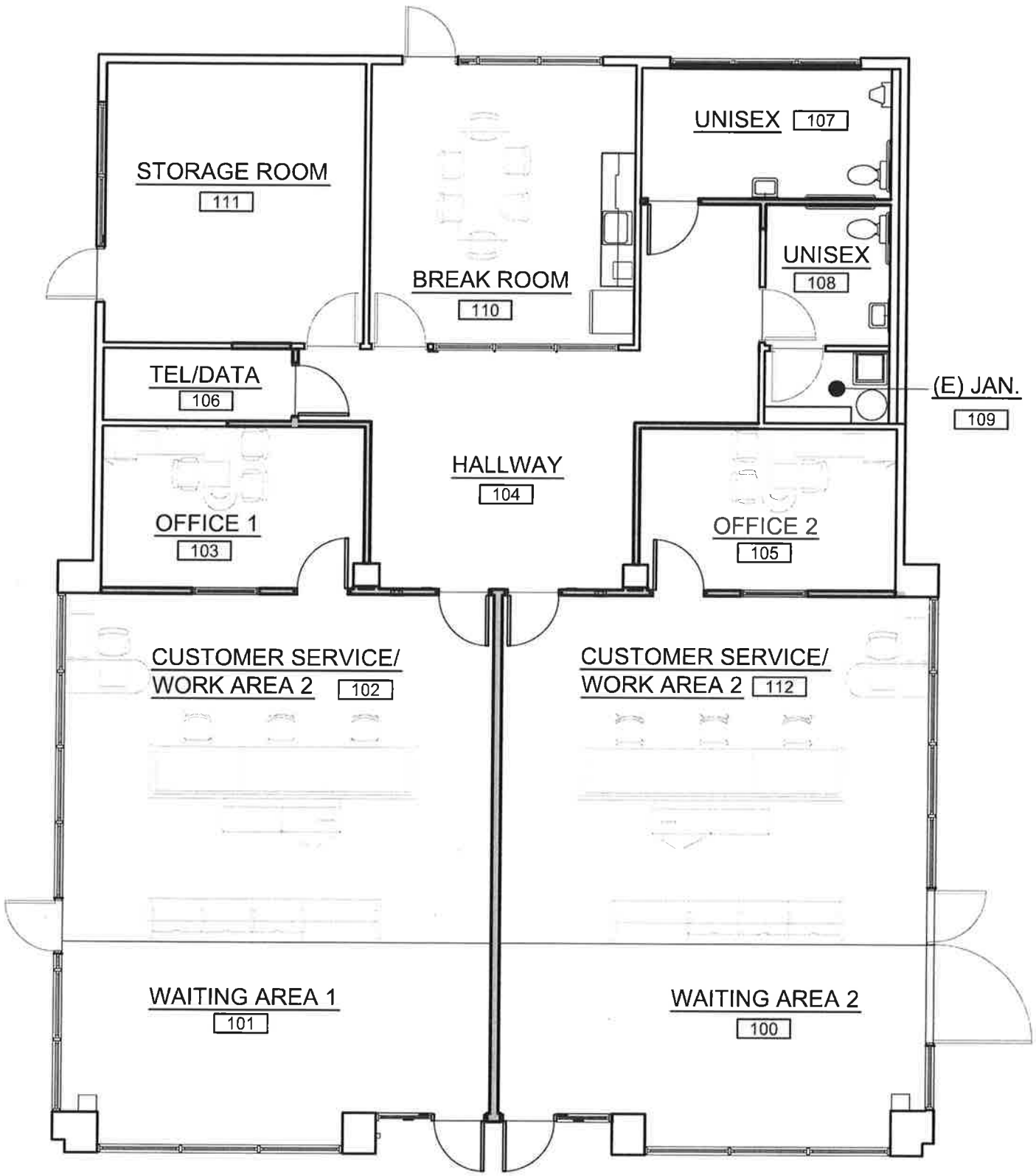
**EXTERIOR ELEVATION SOUTH FRONT (PLAZA DRIVE)**

**EXTERIOR MATERIALS/COLORS:**

<u>KEY NO.</u>	<u>LOCATION:</u>	<u>MANUF./DESCRIPTION:</u>	<u>COLOR:</u>
1	FIELD	SHERWIN WILLIAMS	SW 6140 / MODERATE WHITE (SATIN)
2	WAINSCOT	ELDORADO STONE	CLIFFSTONE MANZANITA
3	CROWN MOLDING	SHERWIN WILLIAMS	SW 7005 / PURE WHITE (SATIN)
4	MULLION	EXISTING	MILL ALUMINUM
5	FLASHING	SHERWIN WILLIAMS	SW 6258 / TRICORN BLACK

Attachment 5

Floor Plan, dated April 4, 2018



**FLOOR PLAN**

SCALE: 1/8"=1'-0"



**WALL LEGEND**

2X STUD WALL

(E) WALL TO REMAIN

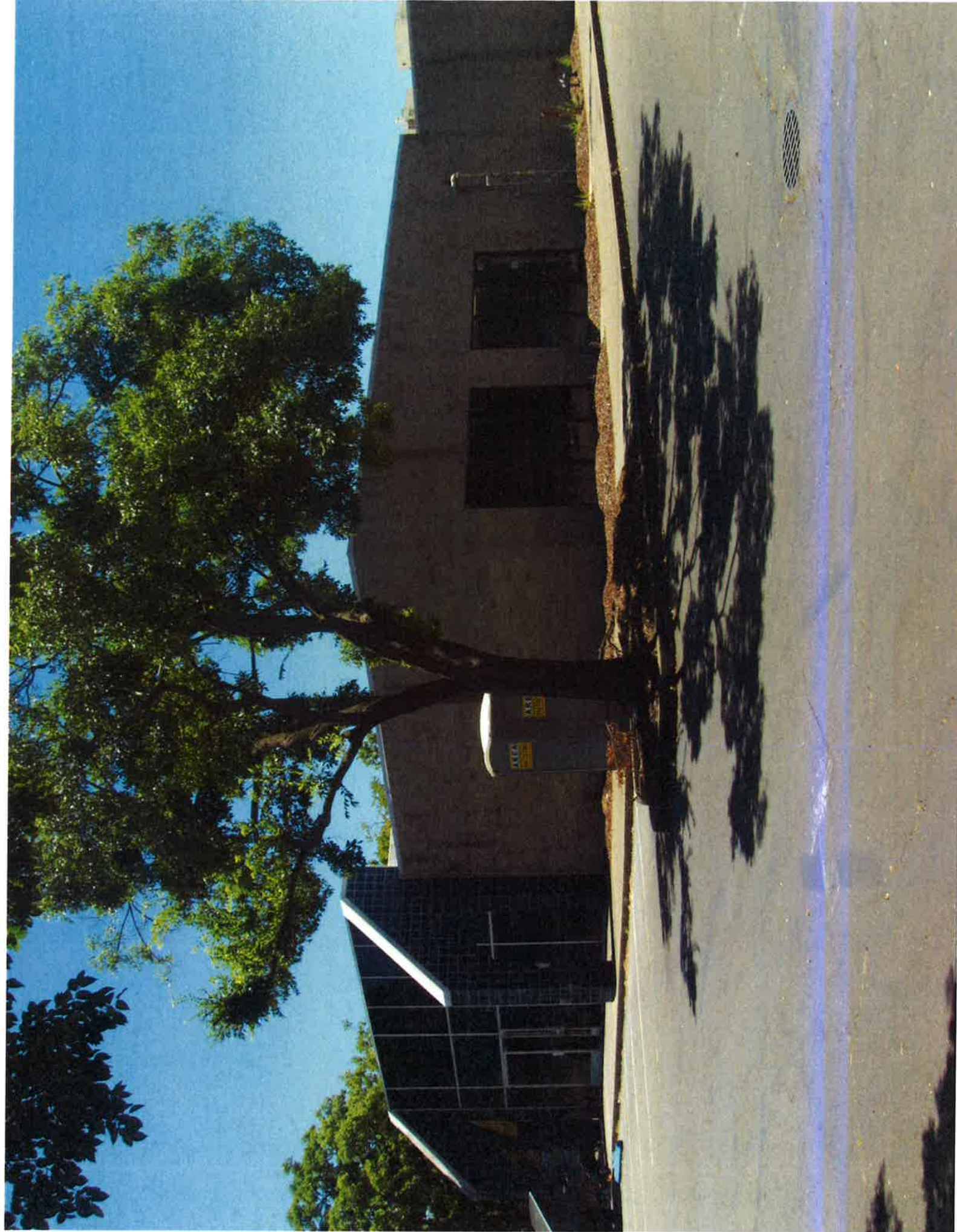




Attachment 6  
Site Photographs



340  
PARK DRIVE



## PLANNING COMMISSION STAFF REPORT

<b>PROJECT TITLE</b>	Prospect Ridge Subdivision Planned Development Permit Modification and Residential Design Review
<b>PROPOSAL</b>	Request for a Planned Development Permit Modification and Residential Design Review Approval for 35 single-family residential units situated within the Prospect Ridge Subdivision
<b>RECOMMENDED ACTION</b>	Approve, based upon findings and subject to conditions
<b>OWNER/APPLICANT</b>	Prospect Ridge, LLC/Capital Valley Homes
<b>LOCATION</b>	535 Levy Road
<b>SITE CHARACTERISTICS</b>	The project site has been rough graded and site improvements are in the process of being constructed
<b>GENERAL PLAN DESIGNATION</b>	SF (Single-Family)
<b>ZONING DESIGNATION</b>	R-1-M PD (Single-Family Small Lot, Planned Development District)
<b>ADJACENT LAND USES/ZONING</b>	North: Levy Road with Single-Family Residential (R-4 PD) and Commercial Development (M-2 PD) Beyond South: Sacramento-Placerville Joint-Powers Authority Transportation Corridor (M-2 PD) with the Humbug-Willow Creek Parkway (OSC) and Blue Ravine Road Beyond East: Levy Neighborhood Park (R-1-M PD) with Single-Family Residential Development (R-1-M PD) Beyond

West: Former Folsom Dog Resort Property (M-2 PD) and Future Masjid Bilal Community Center Property (M-2 PD) with Sibley Street Beyond

**PREVIOUS ACTION**

City Council approval of a General Plan Amendment, Rezone, Tentative Subdivision Map, and Planned Development Permit for development of a 35-unit single-family residential subdivision known as the Prospect Ridge Subdivision on July 25, 2017

**FUTURE ACTION**

Issuance of Building Permits

**APPLICABLE CODES**

FMC 17.06, Design Review  
FMC 17.13, Residential, Single-Family Dwelling, Small Lot District  
FMC 17.38, Planned Development District

**ENVIRONMENTAL REVIEW**

A Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were previously approved for the Prospect Ridge Subdivision project (PN 16-321) on July 25, 2017 in accordance with the California Environmental Quality Act (CEQA)

**ATTACHED REFERENCE MATERIAL**

1. Vicinity Map
2. Approved Site Plan for the Prospect Ridge Subdivision
3. Plotting Plan for the Prospect Ridge Subdivision
4. Lot Coverage Exhibit for the Prospect Ridge Subdivision
5. Building Elevations and Floor Plans, dated May 7, 2018
6. Building Renderings
7. Color and Materials Board
8. Site Photographs

**PROJECT PLANNER**

Steve Banks, Principal Planner

**BACKGROUND**

On July 25, 2017, the City Council approved a General Plan Amendment, Rezone, Tentative Subdivision Map, and Planned Development Permit for development of a 35-unit single-family residential subdivision (Prospect Ridge Subdivision) on a 9.64-acre site located 535 Levy Road. As part of the Planned Development Permit approval, development criteria were established for the Prospect Ridge Subdivision, which established specific standards for lot area, lot width, maximum building coverage, building setbacks, and building height. At the time of original project approval, the applicant indicated to City staff that modifications to the development criteria might be necessary once a specific homebuilder for the subdivision was identified. Subsequently, a homebuilder was selected for the subdivision and it was determined that a modification to the development criteria would be required to accommodate development of single-story homes on a

small number of lots (5 total) within the subdivision. In addition, architectural details for the approved Prospect Ridge Subdivision were not provided with the original development application; as a result, the applicant submitted the subject Planned Development Permit Modification and Design Review Application to the City.

### **APPLICANT'S PROPOSAL**

The applicant, Capital Valley Homes, is requesting approval of a Planned Development Permit Modification and Residential Design Review for 35 single-family residential units situated within the previously approved Prospect Ridge Subdivision. Specifically, the applicant is requesting approval of a Planned Development Permit Modification to increase the maximum lot coverage for 5 of the 35 residential lots within the subdivision from 35% to 39% to allow for potential development of single-story homes on those particular lots.

The applicant is also requesting approval of a Residential Design Review application for 4 individual master plans within the subdivision. The master plans include 5 distinct California heritage-themed architectural styles (Farmhouse, French Country, Italianate, Spanish, and Traditional American) and 13 color and material alternatives. The proposed master plans, which include a combination of one-story and two-story homes, range in size from 1,876 to 2,942 square feet (3BR/2BA to 5BR/3BA) and include an attached two-car garage. The 5 classic design themes are characterized by a variety of unique architectural elements including varied roof shapes and forms, covered entries, front porches, prominent window design, and enhanced decorative elements. Proposed building materials include stucco, vertical board and batten siding, stone veneer, decorative wood shutters, decorative wrought iron, wood accents, themed garage doors, and concrete roof tiles. In addition, there are 13 distinct color and material alternatives available for each of the master plans resulting in 52 different visual expressions.

### **PLANNED DEVELOPMENT PERMIT**

The purpose of the Planned Development Permit process is to allow greater flexibility in the design of integrated developments than otherwise possible through strict application of land use regulations. The Planned Development Permit process is also designed to encourage creative and efficient uses of land. The applicant's intent, in this particular case, is to increase the maximum lot coverage for 5 of the 35 residential lots within the subdivision from 35% to 39% in order to accommodate potential development of single-story homes on lots 22-26. The applicant is requesting this modification to the lot coverage requirement due to the fact that these particular lots, which are situated on the downslope side of the street, are encumbered by a 30-foot-wide fuel modification buffer located along the rear property lines. The City required that the fuel modification buffer be placed along the south of the subdivision adjacent to the Humbug-Willow Creek corridor to ensure proper fire protection for the future residences.

The Planned Development Permit for the Prospect Ridge Subdivision project established a maximum lot coverage figure (35%) for individual residential lots located within the subdivision. As shown on the submitted lot coverage exhibit (Attachment 4), all of the proposed lots within the subdivision meet the maximum lot coverage requirement of 35% with the exception of 5 residential lots (Lots 22, 23, 24, 25, and 26), where the lot coverage is expected to be up to 39%. While the applicant is requesting approval of a lot coverage increase for 5 residential lots within the subdivision, the actual number of lots for which this lot coverage increase would be applicable is may be lower depending on the market demand for single-story homes within the development.

In evaluating the applicant's request to increase the maximum lot coverage for a certain number of residential lots within the subdivision, staff identified a number of community-wide benefits as well as advantages for the individual homebuyers. In addition, staff considered existing conditions within the subdivision relative to the required 30-foot-wide fuel modification buffer. In terms of community benefits, the proposed lot coverage increase will allow the applicant to provide additional single-story homes within the subdivision than otherwise would be allowed. The provision of more single-story homes ensures that there is architectural diversity within the subdivision, thus creating a more visual appealing street scene within the community. With respect to the individual homebuyer, the increase in maximum lot coverage allows the homebuyer a better opportunity to purchase a single-story master plan within the development.

As noted in the background section of this report, the City required the applicant to provide a 30-foot-wide fuel modification buffer within the subdivision along the southern project boundary. The fuel modification buffer resulted in a reduction in the size of the residential lots (including Lots 22-26) located on the south side of the street. The resulting smaller lot sizes led directly to the maximum lot coverage being exceeded for lots 22-26 within the subdivision. Based on the aforementioned factors, staff has determined that the proposed Planned Development Permit Modification to increase the maximum lot coverage will provide a community benefit as well as benefit to the individual homeowners within the subdivision.

### **Architecture/Design**

As described previously, the proposed project features 5 distinct architectural themes that have been chosen from the traditional heritage of California home styles including Farmhouse, French Country, Italianate, Spanish, and Traditional American as described below:

#### Farmhouse

The farmhouse architectural style, which first appeared in North America along the countryside of Quebec and Ontario, spread west during the 1700's. The early American farmhouse design featured simply built homes with wooden clapboard siding and porches that functioned as outdoor storage space. Through the years, the farmhouse design evolved and began incorporating a wide variety of different styles and architectural themes. The farmhouse design eventually morphed into a combination of several styles of architecture, including Cape Cod, Salt Box, Colonial, Greek Revival, and Southern Plantation. Today, the modern farmhouse style is most recognizable by its core design elements that consist of covered porches, white paint, dormer windows and classic symmetry of the windows and doors.

#### French Country

The French Country is a style that evolved out of medieval Tudor and Normandy architecture. This evolving character that eventually resulted in the English and French "Country Cottage" became extremely popular when the addition of stone and brick veneer details was developed in the 1920's. Although the French Country is looked upon as small and unpretentious, the style was quickly recognized as one of the most popular in America. Designs for the homes typically reflected the rural setting in which they evolved. Many established older neighborhoods across the United States contain homes with the charm and character of this unpretentious style. Roof pitches for these homes are steeper than traditional homes, and are comprised of gables, hips, and half-hip forms. The primary material is stucco with heavy use of stone and brick at bases, chimneys, and entry elements. Some of the most recognizable features for this style are the accent details in gable ends, sculptured swooping walls at the front elevation, and tower or alcove elements at the entry.

### Italianate

The Italian Villa was one of the most fashionable architectural styles in the United States in the 1860's. Appearing on architect-designed landmarks in larger cities, the style was based on formal and rigidly symmetrical palaces of the Italian Renaissance. Although residential adaptations generated less formality, traditional classical elements, such as the symmetrical facade, squared tower entry forms, arched windows, and bracketed eaves, persisted as the enduring traits of this style. When cast iron became a popular building material, it became a part of the Italianate vocabulary, embellishing homes with a variety of designs for balconies, porches, railings, and fences.

### Spanish

The Spanish Colonial style evolved in California and the southwest as an adaptation of Mission Revival infused with additional elements and details from Latin America. The style attained widespread popularity after its use in the Panama-California Exposition of 1915. Key features of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability, and contrasts of materials and textures.

### Traditional American

The Traditional American style features many different shapes and variations, with architectural details borrowed from classical design profiles. The style includes well-balanced upper and lower building massing, complimented with a wide variety of design details including gable roof forms, symmetrical porch details, wooden shutters, siding accents, and iron porch railing. The uniqueness of this style revolves around its broad use of design elements.

The project site is located adjacent to the Humbug-Willow Creek corridor, thus it is subject to the Humbug-Willow Creek Design Guidelines. The Humbug-Creek Creek Design Guidelines are primarily focused on issues related to site design and planning, and not necessarily building architecture and design. However the Design Guidelines do provide some general recommendations with regard to building design, building materials, and building colors. Staff has determined that the proposed project is consistent with these Design Guidelines.

The project site is not located within an area where specific residential design standards or architectural guidelines have been established. As a result, staff took into consideration existing design guidelines at established high quality residential subdivisions (Empire Ranch, the Parkway, Broadstone Unit No. 3, etc.) throughout the City and also the basic planning principals that the Community Development Department encourages residential developers to implement. The following list highlights building and site features staff is looking for relative to architecture and design:

- Provide a varied and interesting streetscene
- Choose appropriate massing and roof forms to define the architectural styles
- Provide enhanced style-appropriate details on the front building elevation
- Provide decorative window shelves or sill treatments



- Provide architectural projections (recessed windows, eaves, shutters, etc.)
- Provide garage doors that are consistent with the architecture of the building
- Provide variety in the garage door patterns
- Provide outdoor living spaces (porches, balconies, courtyards, etc.)

In reviewing the architecture and design of the project, staff determined that the design of the 4 proposed master plans (which also include five elevation plans, thirteen color and material alternatives, and 52 architectural and visual expressions) accurately reflect the level and type of high quality design features recommended by the various design guidelines that staff considered. Specifically, the master plans are responsive to views on all 4 building elevations and include a variety of unique architectural elements that create an interesting streetscape scene including: off-set building massing, a mixture of hip and gable roof forms, architectural projections, recessed second-story elements, decorative enhancements, and varied garage door designs.

The proposed building materials (stucco, vertical board and batten siding, stone veneer, decorative wood shutters, decorative wrought iron, wood accents, themed garage doors, and concrete roof tiles) are consistent with the materials recommended by the various design guidelines that were consulted. In addition, the proposed project includes distinct (earth-tone) color schemes that will enhance the visual interest of each of the master plans. Taking into consideration the aforementioned architectural details, materials, and colors, staff has determined that the design of the master plans is consistent with the design principles and high quality standards expected of residential development in the City. Based on the aforementioned analysis, staff forwards the following design recommendations to the Commission for consideration:

1. This approval is for 4, one and two-story master plans (5 building elevations with 13 color and material options and 52 visual expressions) for the Prospect Ridge Subdivision. The applicant shall submit building plans that comply with this approval and the attached building elevations dated May 7, 2018.
2. The design, materials, and colors of the proposed Prospect Ridge Subdivision single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.
3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roof-line, same elevation style, side-by-side, or across the street from each other.
4. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view from open space areas.
5. Decorative light fixtures shall be added to the front and rear building elevation of each Master Plan to the satisfaction of the Community Development Department.

6. A minimum of 2 trees (1 street tree and 1 accent tree) shall be planted in the front yard of each residential lot within the subdivision. A minimum of 3 trees are required along the street-side of all corner lots. All front yard irrigation and landscaping shall be installed prior to a Building Permit Final.
7. The increase in lot coverage from 35% to 39% shall only be applicable to single-story homes located on Lots 22-26 within the Prospect Ridge Subdivision.

These recommendations listed above are included in the conditions of approval presented for consideration by the Planning Commission (Condition No. 12).

### **ENERGY CONSERVATION**

To reduce impacts in terms of energy and water consumption, the proposed project is required to meet the 2017 Title 24 Building Envelope Energy Efficiency Standards. The project will be allowed to achieve this performance standard through a combination of measures to reduce energy use for heating, cooling, water heating and ventilation. Because energy use for each different system type (i.e., heating, cooling, water heating, and ventilation) as well as appliances is defined, this method will also easily allow for application of individual measures aimed at reducing the energy use of these devices in a prescriptive manner.

### **ENVIRONMENTAL REVIEW**

A Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were previously approved for the Prospect Ridge Subdivision Project (PN 16-321) on July 25, 2017 in accordance with the California Environmental Quality Act (CEQA). Staff has determined that no new impacts will result from this project that was not already considered with the previous approval. No further environmental review is required.

### **RECOMMENDATION/PLANNING COMMISSION ACTION**

MOVE TO APPROVE THE PLANNED DEVELOPMENT PERMIT MODIFICATION TO INCREASE THE MAXIMUM LOT COVERAGE FOR 5 OF THE 35 RESIDENTIAL LOTS WITHIN THE SUBDIVISION FROM 35% TO 39% AS ILLUSTRATED ON ATTACHMENT 4 FOR THE PROSPECT RIDGE SUBDIVISION PROJECT;

AND

MOVE TO APPROVE THE DESIGN REVIEW APPLICATION FOR 35 SINGLE-FAMILY RESIDENTIAL UNITS AS ILLUSTRATED ON ATTACHMENTS 2 THROUGH 7 FOR THE PROSPECT RIDGE SUBDIVISION PROJECT WITH THE FOLLOWING FINDINGS AND CONDITIONS (NO. 1-14).

### **GENERAL FINDINGS**

- A. NOTICE OF HEARING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND THE ZONING CODE OF THE CITY.

## **CEQA FINDING**

- C. A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING PROGRAM WERE PREVIOUSLY APPROVED FOR THE PROSPECT RIDGE SUBDIVISION PROJECT (PN 16-321) ON JULY 25, 2017 IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).
- D. NONE OF THE CONDITIONS DESCRIBED IN SECTION 15162 OF THE CEQA GUIDELINES CALLING FOR PREPARING OF A SUBSEQUENT EIR OR NEGATIVE DECLARATION HAVE OCCURRED AND NO NEW IMPACTS WILL RESULT FROM THIS PROJECT THAT WERE NOT ALREADY CONSIDERED WITH THE PREVIOUS APPROVAL

## **PLANNED DEVELOPMENT PERMIT FINDINGS**

- E. THE PROPOSED PROJECT COMPLIES WITH THE INTENT AND PURPOSES OF CHAPTER 17.38 (PLANNED DEVELOPMENT DISTRICT) OF THE FOLSOM MUNICIPAL CODE, OTHER APPLICABLE ORDINANCES OF THE CITY, AND THE GENERAL PLAN.
- F. THE PROPOSED PROJECT IS CONSISTENT WITH THE OBJECTIVES, POLICIES AND REQUIREMENTS OF THE DEVELOPMENT STANDARDS OF THE CITY.
- G. THE PHYSICAL, FUNCTIONAL AND VISUAL COMPATIBILITY BETWEEN THE PROPOSED PROJECT AND EXISTING AND FUTURE ADJACENT USES AND AREA CHARACTERISTICS IS ACCEPTABLE.
- H. THERE ARE AVAILABLE PUBLIC FACILITIES, INCLUDING BUT NOT LIMITED TO, WATER, SEWER AND DRAINAGE TO ALLOW FOR THE DEVELOPMENT OF THE PROJECT SITE IN A MANNER CONSISTENT WITH THIS PROPOSAL.
- I. THE PROPOSED PROJECT WILL NOT CAUSE UNACCEPTABLE VEHICULAR TRAFFIC LEVELS ON SURROUNDING ROADWAYS, AND THE PROPOSED PROJECT WILL PROVIDE ADEQUATE INTERNAL CIRCULATION, INCLUDING INGRESS AND EGRESS.
- J. THE PROPOSED PROJECT WILL NOT BE DETRIMENTAL TO THE HEALTH, SAFETY AND GENERAL WELFARE OF THE PERSONS OR PROPERTY WITHIN THE VICINITY OF THE PROJECT SITE, AND THE CITY AS A WHOLE.
- K. ADEQUATE PROVISION IS MADE FOR THE FURNISHING OF SANITATION SERVICES AND EMERGENCY PUBLIC SAFETY SERVICES TO THE DEVELOPMENT.
- L. AS CONDITIONED, THE PROPOSED PROJECT WILL NOT CAUSE ADVERSE ENVIRONMENTAL IMPACTS WHICH HAVE NOT BEEN MITIGATED TO AN ACCEPTABLE LEVEL.

**DESIGN REVIEW FINDINGS**

- M. THE PROJECT IS IN COMPLIANCE WITH THE GENERAL PLAN AND THE ZONING ORDINANCE.
- N. THE PROJECT CONFORMS TO THE AMENDED PROJECT-SPECIFIC DEVELOPMENT STANDARDS APPROVED THROUGH THE PLANNED DEVELOPMENT PERMIT PROCESS.
- O. THE PROJECT PROVIDES COMPATIBILITY OF BUILDING MATERIALS, TEXTURES AND COLORS WITH SURROUNDING DEVELOPMENT AND CONSISTENCY WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD

Submitted  
  
 \_\_\_\_\_  
 PAM JOHNS  
 Community Development Director

**CONDITIONS**

See attached tables of conditions for which the following legend applies.

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development	I	Prior to approval of Improvement Plans
(P)	Planning Division	M	Prior to approval of Final Map
(E)	Engineering Division	B	Prior to issuance of first Building Permit
(B)	Building Division	O	Prior to approval of Occupancy Permit
(F)	Fire Division	G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

**CONDITIONS OF APPROVAL FOR THE PROSPECT RIDGE SUBDIVISION PROJECT (PN 18-070)**

**535 LEVY ROAD**

**PLANNED DEVELOPMENT PERMIT MODIFICATION AND RESIDENTIAL DESIGN REVIEW**

Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
1.	<p>The applicant shall submit final site development plans to the Community Development Department that shall substantially conform to the exhibits referenced below:</p> <ul style="list-style-type: none"> <li>• Approved Site Plan for the Prospect Ridge Subdivision</li> <li>• Plotting Plan for the Prospect Ridge Subdivision</li> <li>• Lot Coverage Exhibit for the Prospect Ridge Subdivision</li> <li>• Building Elevations and Floor Plans, dated May 7, 2018</li> <li>• Building Renderings</li> <li>• Color and Materials Board</li> </ul>	B	CD (P)(E)
2.	<p>This project approval is for the Prospect Ridge Subdivision Planned Development Permit Modification and Residential Design Review, which includes architectural and design details for 35 single-family residential units situated within the Prospect Ridge Subdivision project. Implementation of the project shall be consistent with the above-referenced items as modified by these conditions of approval.</p> <p>Building plans shall be submitted to the Community Development Department for review and approval to ensure conformance with this approval and with relevant codes, policies, standards and other requirements of the City of Folsom.</p>	B	CD (P)(E)(B)
3.	<p>The project approvals granted under this staff report (Planned Development Permit Modification and Residential Design Review) shall remain in effect for two years from final date of approval (July 18, 2020). Failure to obtain the relevant building (or other) permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.</p>	B	CD (P)

**CONDITIONS OF APPROVAL FOR THE PROSPECT RIDGE SUBDIVISION PROJECT (PN 18-070)  
535 LEVY ROAD**

**PLANNED DEVELOPMENT PERMIT MODIFICATION AND RESIDENTIAL DESIGN REVIEW**

Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
4.	<p>The owner/applicant shall defend, indemnify, and hold harmless the City and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul any approval by the City or any of its agencies, departments, commissions, agents, officers, employees, or legislative body concerning the project. The City will promptly notify the owner/applicant of any such claim, action or proceeding, and will cooperate fully in the defense. The City may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if both of the following occur:</p> <ul style="list-style-type: none"> <li>• The City bears its own attorney's fees and costs; and</li> <li>• The City defends the claim, action or proceeding in good faith</li> </ul> <p>The owner/applicant shall not be required to pay or perform any settlement of such claim, action or proceeding unless the settlement is approved by the owner/applicant.</p>	OG	CD (P)(E)(B) PW, PR, FD, PD, NS
<b>DEVELOPMENT COSTS AND FEE REQUIREMENTS</b>			
5.	The owner/applicant shall pay all applicable taxes, fees and charges at the rate and amount in effect at the time such taxes, fees and charges become due and payable.	B	CD (P)(E)
6.	If applicable, the owner/applicant shall pay off any existing assessments against the property, or file necessary segregation request and pay applicable fees.	B	CD (E)
7.	The City, at its sole discretion, may utilize the services of outside legal counsel to assist in the implementation of this project, including, but not limited to, drafting, reviewing and/or revising agreements and/or other documentation for the project. If the City utilizes the services of such outside legal counsel, the applicant shall reimburse the City for all outside legal fees and costs incurred by the City for such services. The applicant may be required, at the sole discretion of the City Attorney, to submit a deposit to the City for these services prior to initiation of the services. The applicant shall be responsible for reimbursement to the City for the services regardless of whether a deposit is required.	B	CD (P)(E)

**CONDITIONS OF APPROVAL FOR THE PROSPECT RIDGE SUBDIVISION PROJECT (PN 18-070)  
535 LEVY ROAD**

**PLANNED DEVELOPMENT PERMIT MODIFICATION AND RESIDENTIAL DESIGN REVIEW**

	Mitigation Measure	Condition/Mitigation Measure	When Required	Responsible Department
8.		If the City utilizes the services of consultants to prepare special studies or provide specialized design review or inspection services for the project, the applicant shall reimburse the City for actual costs it incurs in utilizing these services, including administrative costs for City personnel. A deposit for these services shall be provided prior to initiating review of the Final Map, improvement plans, or beginning inspection, whichever is applicable.	B	CD (P)(E)
9.		This project shall be subject to all City-wide development impact fees, unless exempt by previous agreement. This project shall be subject to all City-wide development impact fees in effect at such time that a building permit is issued. These fees may include, but are not limited to, fees for fire protection, park facilities, park equipment, Humbug-Willow Creek Parkway, Light Rail, TSM, capital facilities and traffic impacts. The 90-day protest period for all fees, dedications, reservations or other exactions imposed on this project will begin on the date of final approval (July 18, 2018). The fees shall be calculated at the fee rate in effect at the time of building permit issuance.	B	CD (P)(E), PW, PK
10.		The owner/applicant agrees to pay to the Folsom-Cordova Unified School District the maximum fee authorized by law for the construction and/or reconstruction of school facilities. The applicable fee shall be the fee established by the School District that is in effect at the time of the issuance of a building permit. Specifically, the owner/applicant agrees to pay any and all fees and charges and comply with any and all dedications or other requirements authorized under Section 17620 of the Education Code; Chapter 4.7 (commencing with Section 65970) of the Government Code; and Sections 65995, 65995.5 and 65995.7 of the Government Code.	B	CD (P)

**ARCHITECTURE/SITE DESIGN REQUIREMENTS**

11.		<p>Final exterior building and site lighting plans shall be submitted for review and approval by Community Development Department for aesthetics, level of illumination, glare and trespass prior to the issuance of any building permits. The exterior building and site lighting will be required to achieve energy efficient standards by installing high-intensity discharge (mercury vapor, high pressure sodium, or similar) lamps. Lighting shall be equipped with a timer or photo condenser. Lighting shall be designed to be directed downward onto the project site and away from adjacent properties and public rights-of-way.</p>	B	CD (P)
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12.		<p>The project shall comply with the following architecture and design requirements:</p> <ol style="list-style-type: none"> <li>1. This approval is for four, one and two-story master plans (five building elevations with Thirteen color and material options and 52 visual expressions) for the Prospect Ridge Subdivision. The applicant shall submit building plans that comply with this approval and the attached building elevations dated May 7, 2018.</li> <li>2. The design, materials, and colors of the proposed Prospect Ridge Subdivision single-family residential units shall be consistent with the submitted building elevations, materials samples, and color scheme to the satisfaction of the Community Development Department.</li> <li>3. The Community Development Department shall approve the individual lot permits to assure no duplication or repetition of the same house, same roof-line, same elevation style, side-by-side, or across the street from each other.</li> <li>4. All mechanical equipment shall be ground-mounted and concealed from view of public streets, neighboring properties and nearby higher buildings. For lots abutting the open space areas, mechanical equipment shall be located out of view from open space areas.</li> <li>5. Decorative light fixtures shall be added to the front and rear building elevation of each Master Plan to the satisfaction of the Community Development Department.</li> <li>6. A minimum of two trees (one street tree and one accent tree) shall be planted in the front yard of each residential lot within the subdivision. A minimum of three trees are required along the street-side of all corner lots. All front yard irrigation and landscaping shall be installed prior to a Building Permit Final.</li> <li>7. The increase in lot coverage from 35% to 39% shall only be applicable to single-story homes located on Lots 22-26 within the Prospect Ridge Subdivision.</li> </ol>	B	CD (P) (B)
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<b>FIRE DEPARTMENT REQUIREMENT</b>		
13.	The building shall have illuminated addresses visible from the street or drive fronting the property. Size and location of address identification shall be reviewed and improved by the Fire Marshal.	B
<b>POLICE/SECURITY REQUIREMENT</b>		
14.	<p>The owner/applicant shall consult with the Police Department in order to incorporate all reasonable crime prevention measures. The following security/safety measures shall be required:</p> <ul style="list-style-type: none"> <li>• A security guard shall be on-duty at all times at the site or another approved security measure shall be in place including but not limited to a six-foot security fence shall be constructed around the perimeter of construction areas. (This requirement shall be included on the approved construction drawings).</li> <li>• Security measures for the safety of all construction equipment and unit appliances shall be employed.</li> <li>• Landscaping shall not cover exterior doors or windows, block line-of-sight at intersections or screen overhead lighting.</li> </ul>	B
		PD

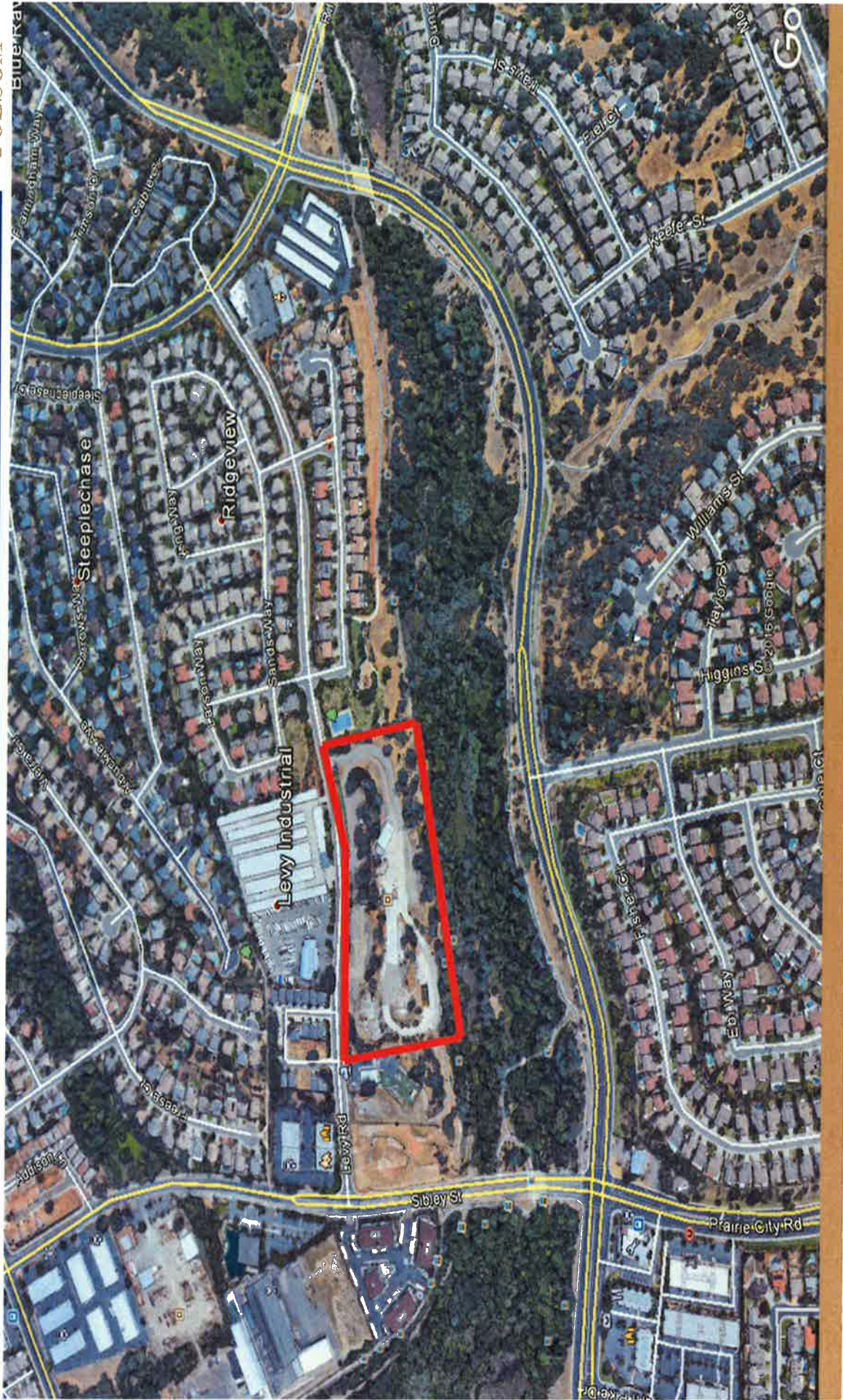
Attachment 1

Vicinity Map

# Vicinity Map



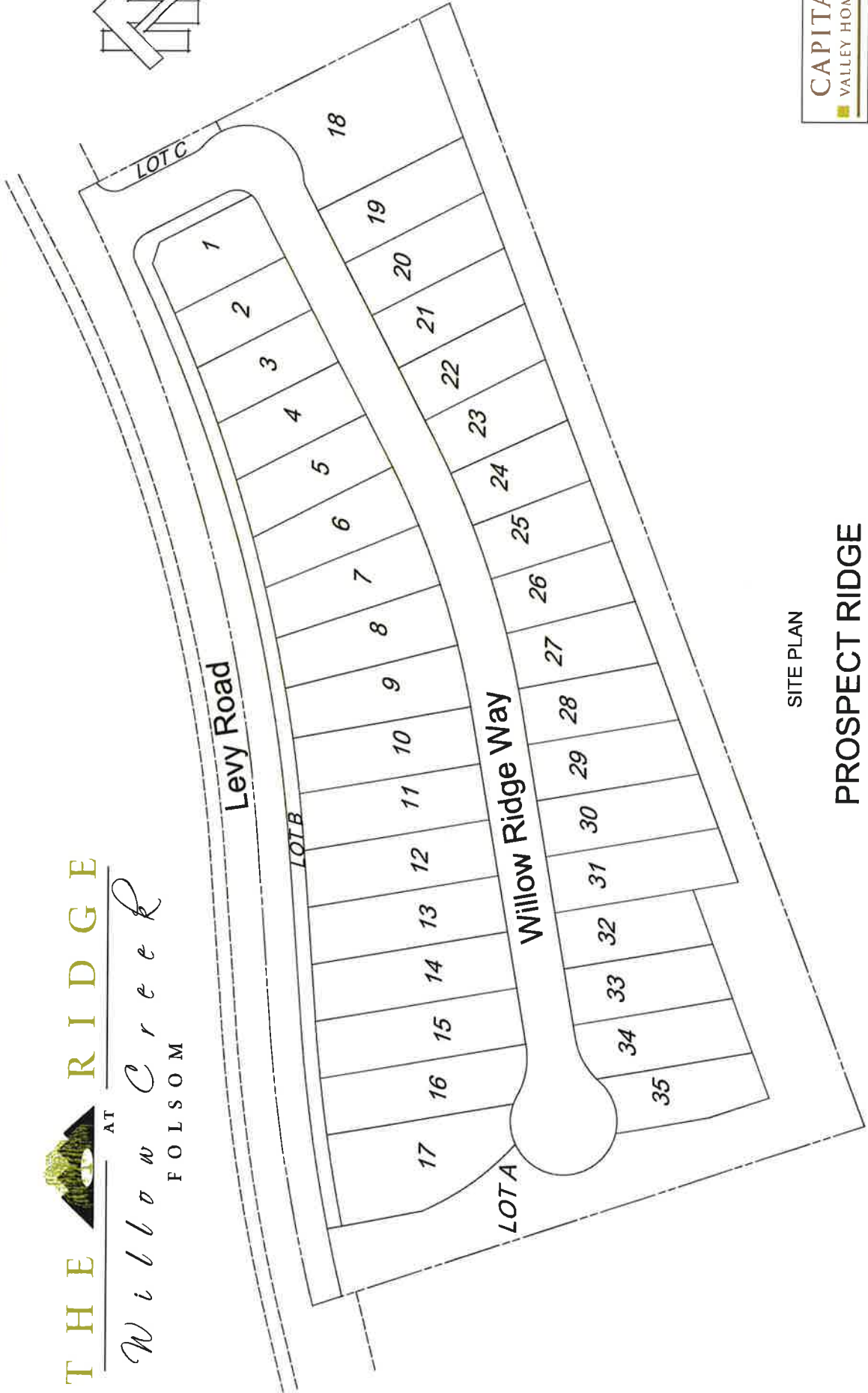
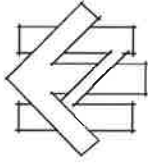
CITY OF  
**FOLSOM**



## Attachment 2

Approved Site Plan for the Prospect Ridge Subdivision

**THE RIDGE**  
AT  
*Willow Creek*  
FOLSOM



SITE PLAN

**PROSPECT RIDGE**



## Attachment 3

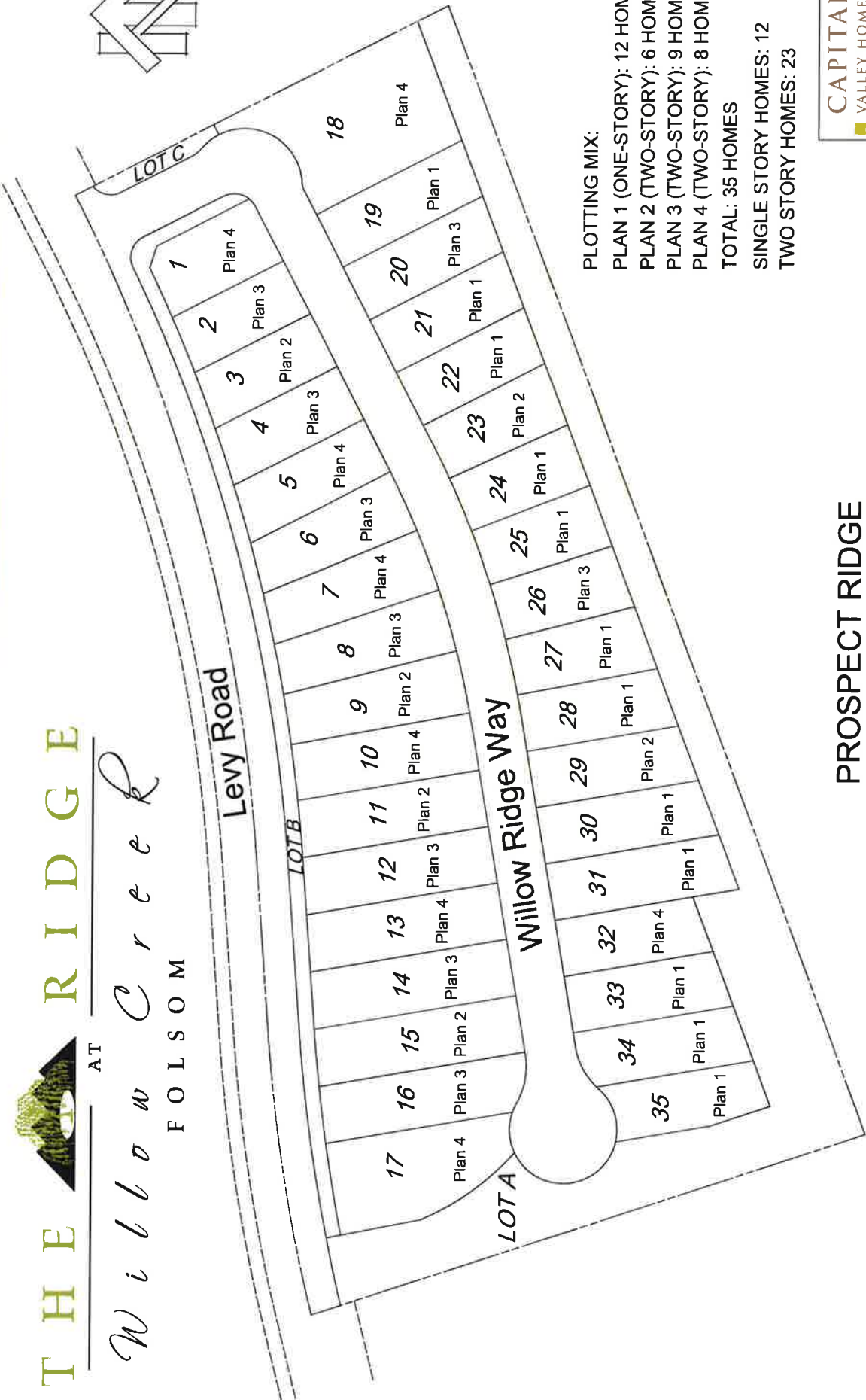
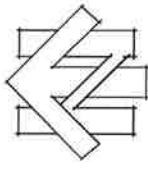
### Plotting Plan for the Prospect Ridge Subdivision

# THE RIDGE



AT *Willow Creek*

FOLSOM



**PLOTTING MIX:**

- PLAN 1 (ONE-STORY): 12 HOMES
- PLAN 2 (TWO-STORY): 6 HOMES
- PLAN 3 (TWO-STORY): 9 HOMES
- PLAN 4 (TWO-STORY): 8 HOMES
- TOTAL: 35 HOMES
- SINGLE STORY HOMES: 12
- TWO STORY HOMES: 23

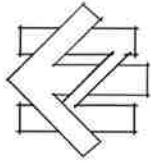


## PROSPECT RIDGE



## Attachment 4

### Lot Coverage Exhibit for the Prospect Ridge Subdivision



5 LOTS WHERE INCREASED  
LOT COVERAGE WOULD APPLY - 39%

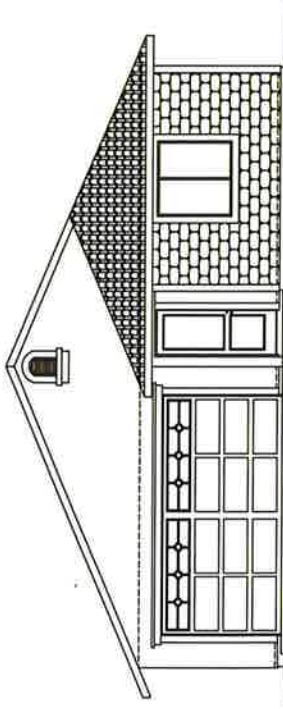


LOT COVERAGE EXHIBIT

# PROSPECT RIDGE

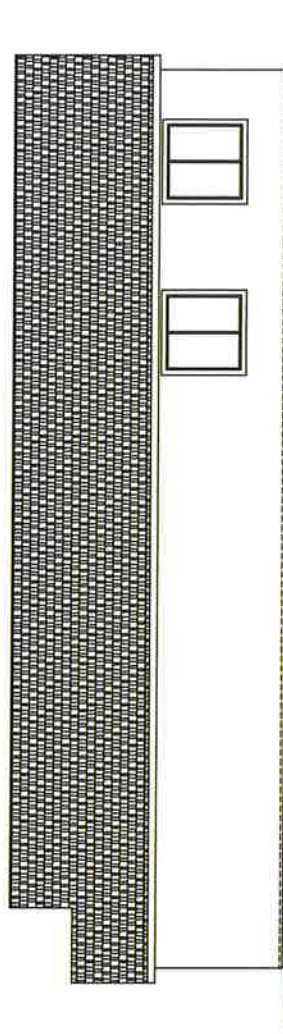
**Attachment 5**

**Building Elevations and Floor Plans  
Dated May 7, 2018**



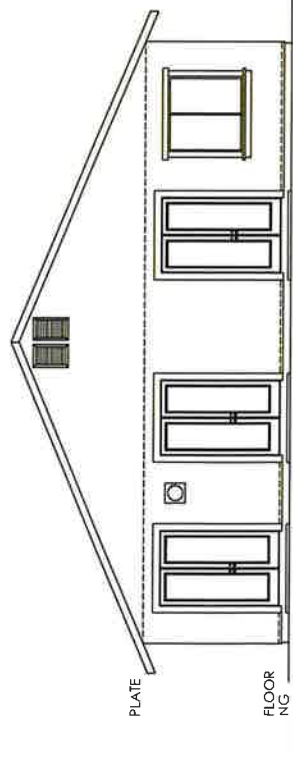
FRONT ELEVATION A  
1/8" = 1'-0"

PROSPECT RIDGE



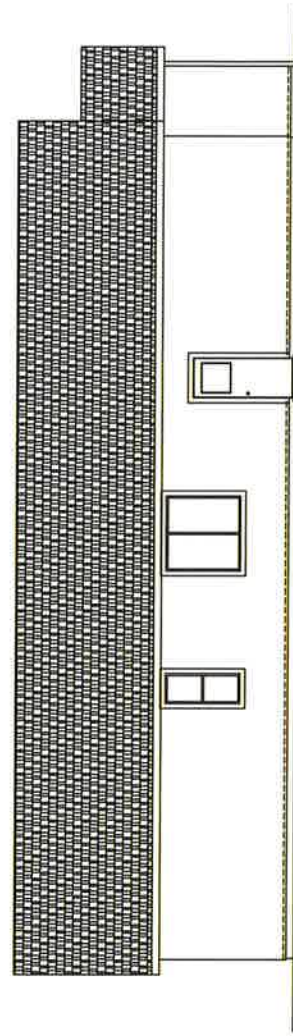
RIGHT SIDE ELEVATION A  
1/8" = 1'-0"

PROSPECT RIDGE



BACK ELEVATION A  
1/8" = 1'-0"

PROSPECT RIDGE



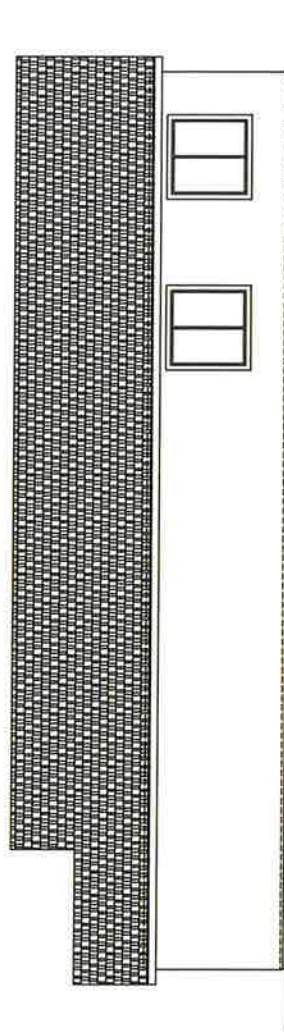
LEFT SIDE ELEVATION A  
1/8" = 1'-0"

PROSPECT RIDGE



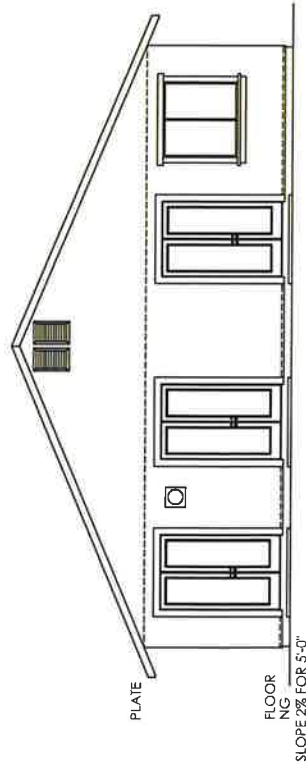
**FRONT ELEVATION B**  
1/8"=1'-0"

PROSPECT RIDGE



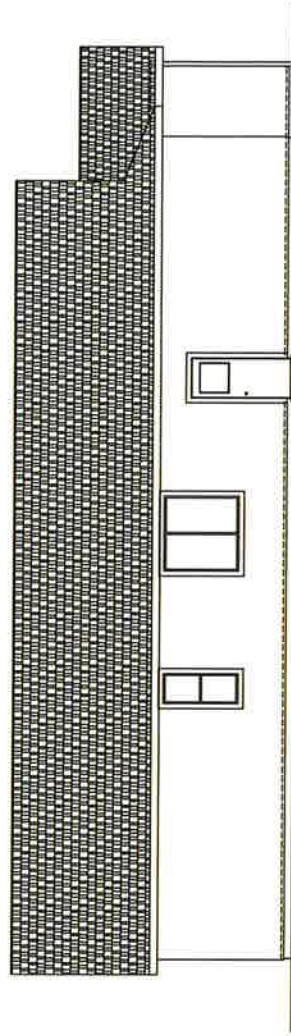
**RIGHT SIDE ELEVATION B**  
1/8"=1'-0"

PROSPECT RIDGE



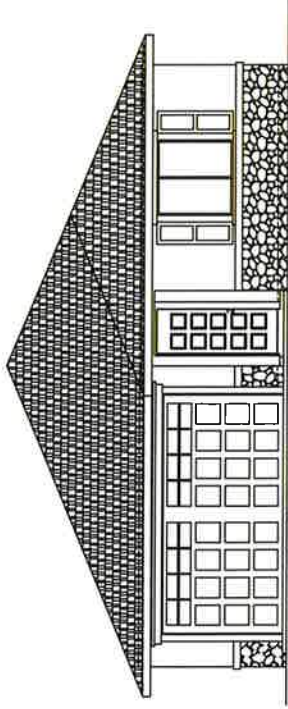
**BACK ELEVATION B**  
1/8"=1'-0"

PROSPECT RIDGE



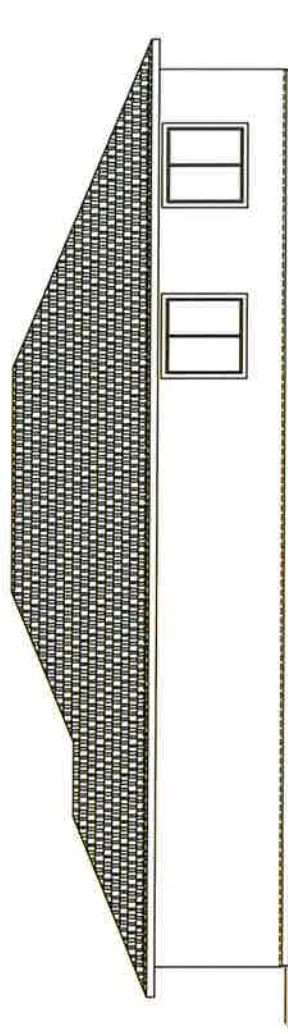
**LEFT SIDE ELEVATION B**  
1/8"=1'-0"

PROSPECT RIDGE



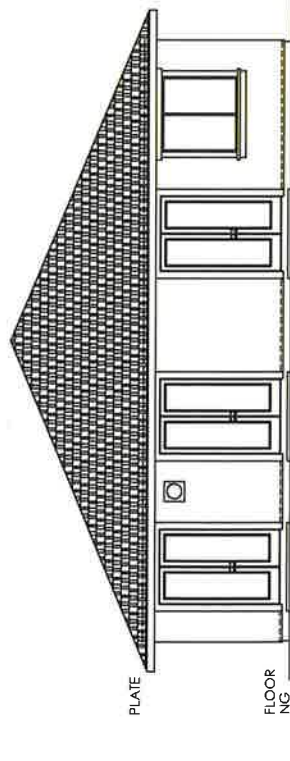
FRONT ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



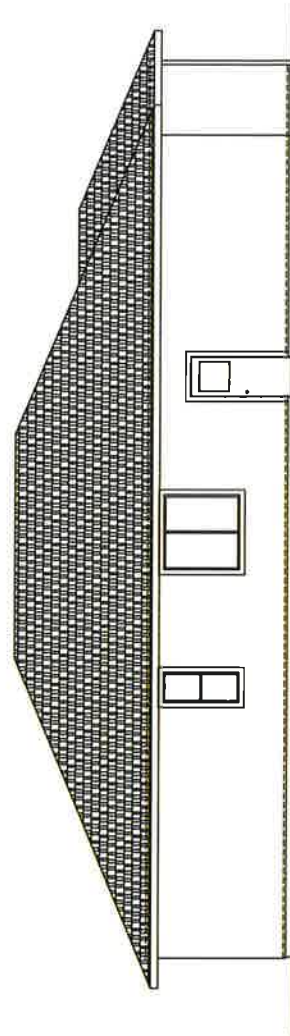
RIGHT SIDE ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



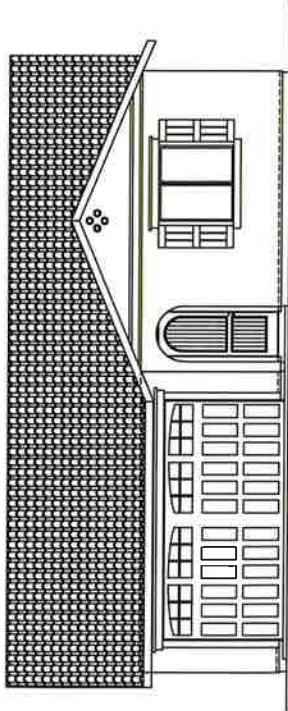
BACK ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



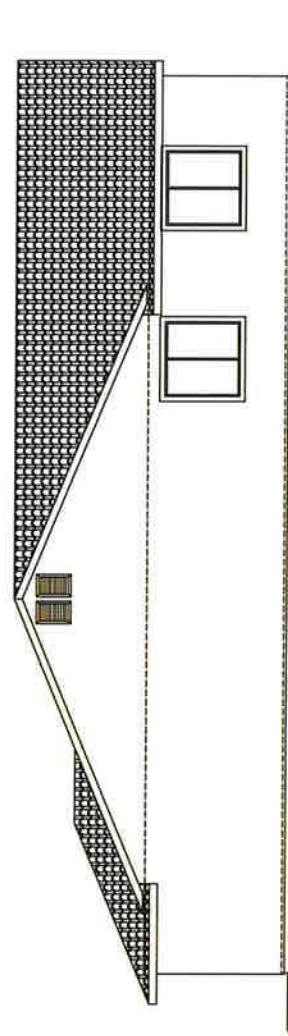
LEFT SIDE ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



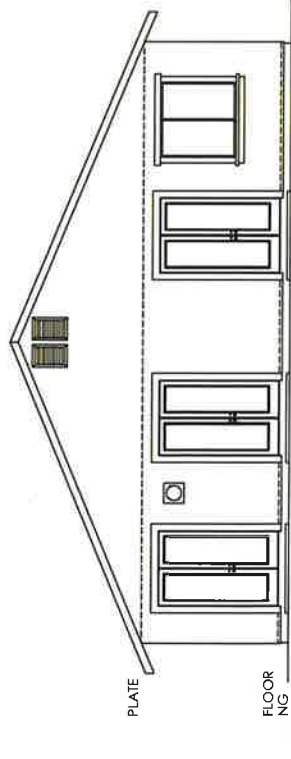
FRONT ELEVATION D  
1/8"=1'-0"

PROSPECT RIDGE



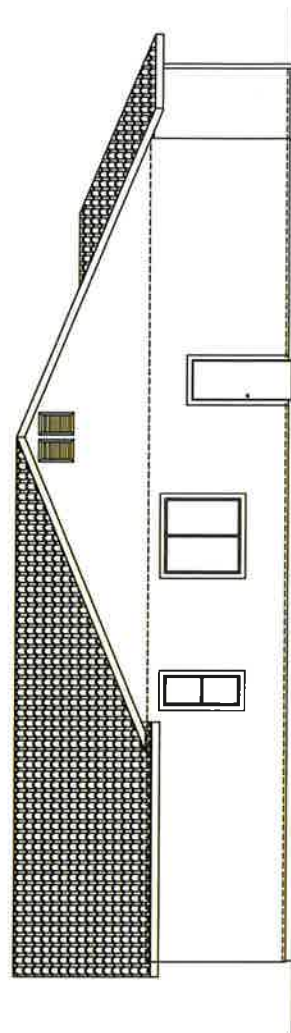
RIGHT SIDE ELEVATION D  
1/8"=1'-0"

PROSPECT RIDGE



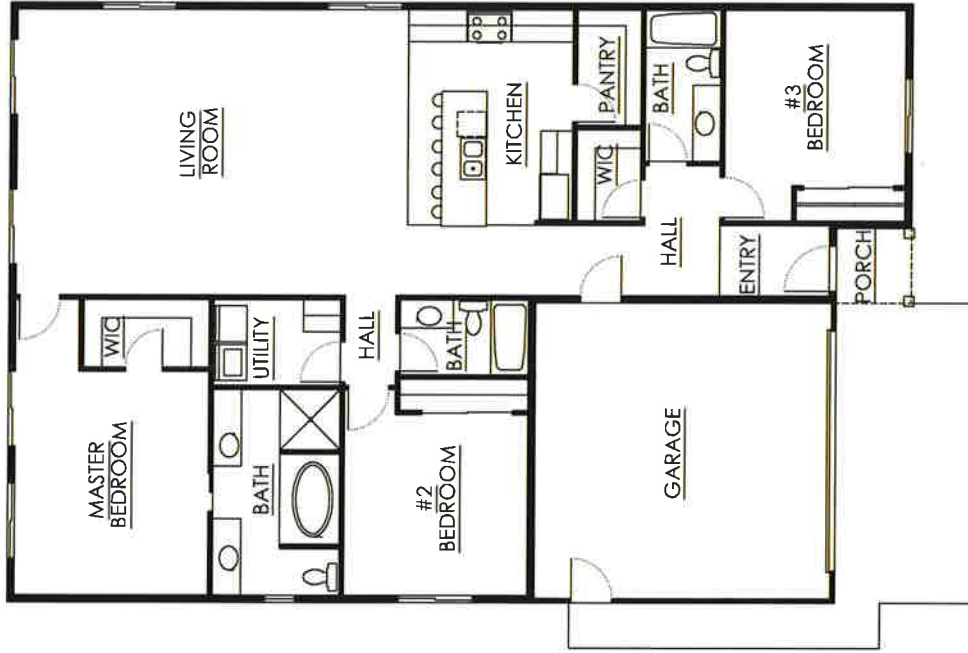
BACK ELEVATION D  
1/8"=1'-0"

PROSPECT RIDGE



LEFT SIDE ELEVATION D  
1/8"=1'-0"

PROSPECT RIDGE

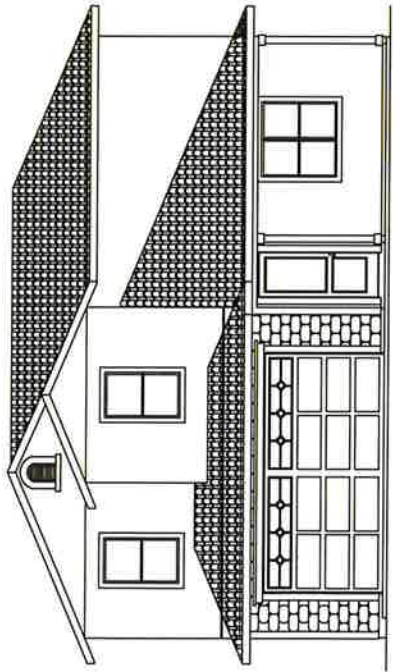


**FIRST FLOOR, FLOOR PLAN**

1875 SQ. FT. LIVING  
 400 SQ. FT. GARAGE  
 200 SQ. FT. PORCH  
 PROSPECT RIDGE

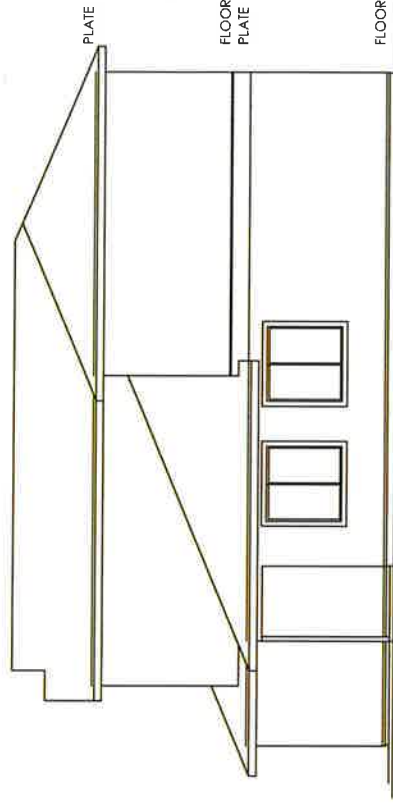
1/8"=1'-0"  
 NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS





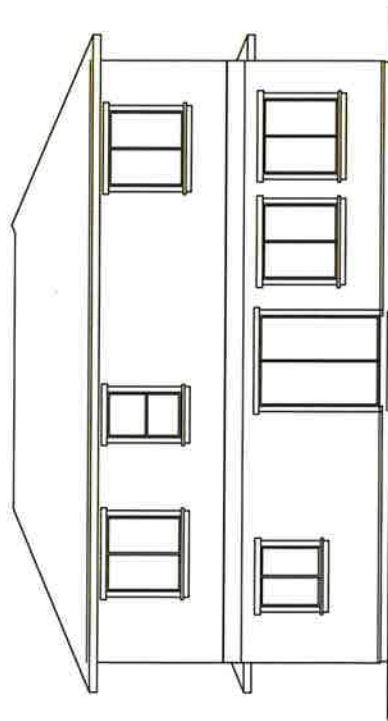
FRONT ELEVATION A  
1/8"=1'-0"

PROSPECT RIDGE



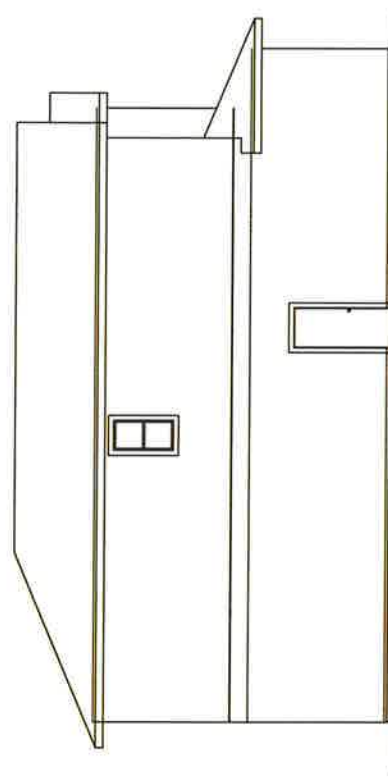
RIGHT SIDE ELEVATION A  
1/8"=1'-0"

PROSPECT RIDGE



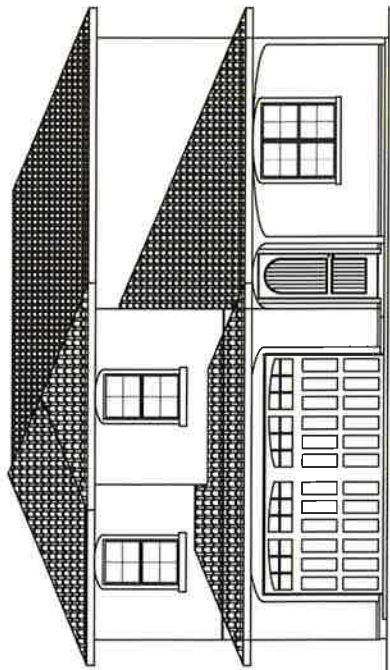
BACK ELEVATION A  
1/8"=1'-0"

PROSPECT RIDGE



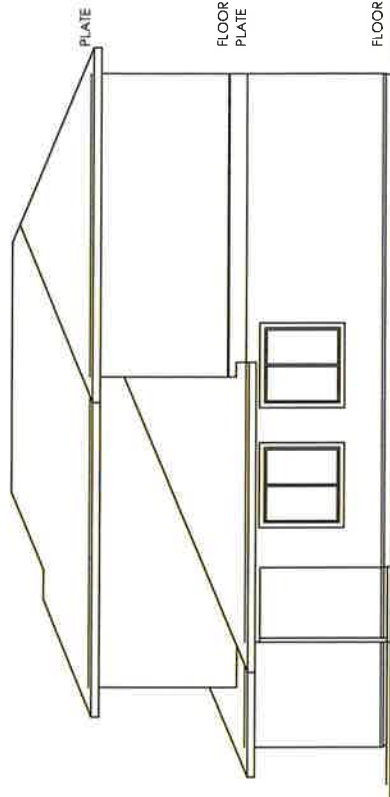
LEFT SIDE ELEVATION A  
1/8"=1'-0"

PROSPECT RIDGE



FRONT ELEVATION B  
1/8"=1'-0"

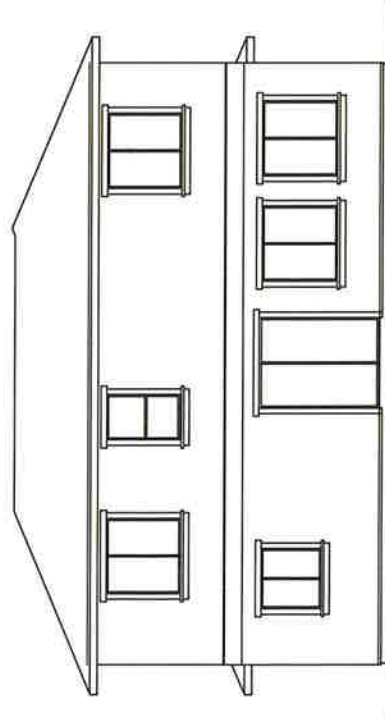
PROSPECT RIDGE



RIGHT SIDE ELEVATION B  
1/8"=1'-0"

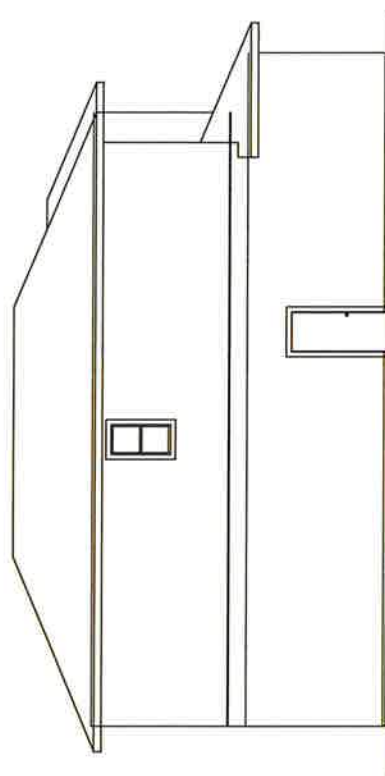
PROSPECT RIDGE

FLOOR SLOPE 2% FOR 5'-0"



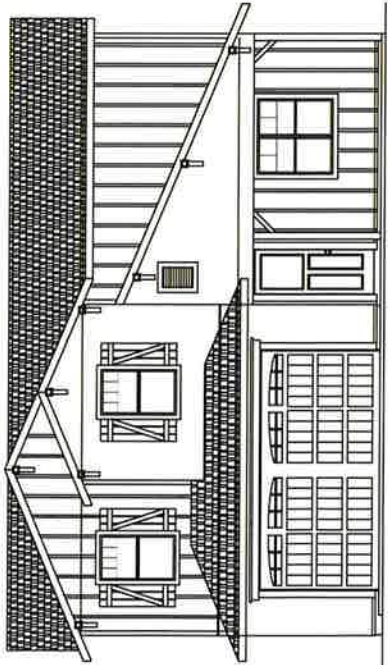
BACK ELEVATION B  
1/8"=1'-0"

PROSPECT RIDGE



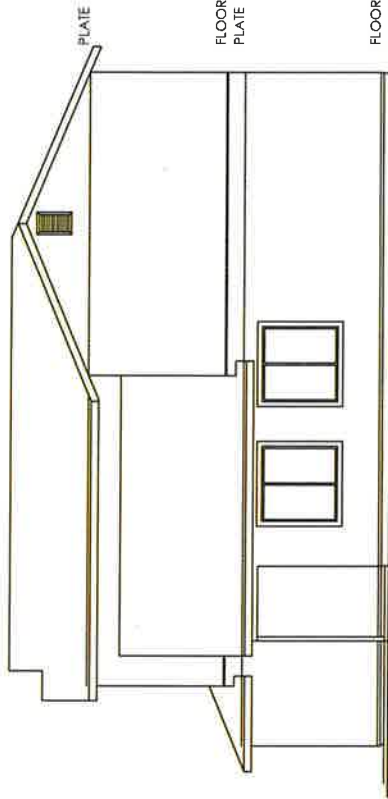
LEFT SIDE ELEVATION B  
1/8"=1'-0"

PROSPECT RIDGE



FRONT ELEVATION C  
1/8"=1'-0"

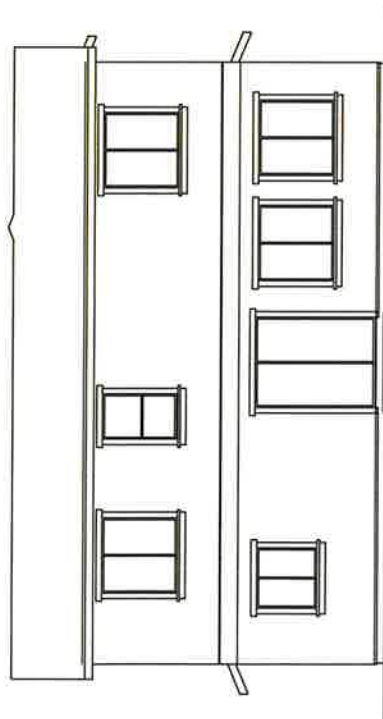
PROSPECT RIDGE



RIGHT SIDE ELEVATION C  
1/8"=1'-0"

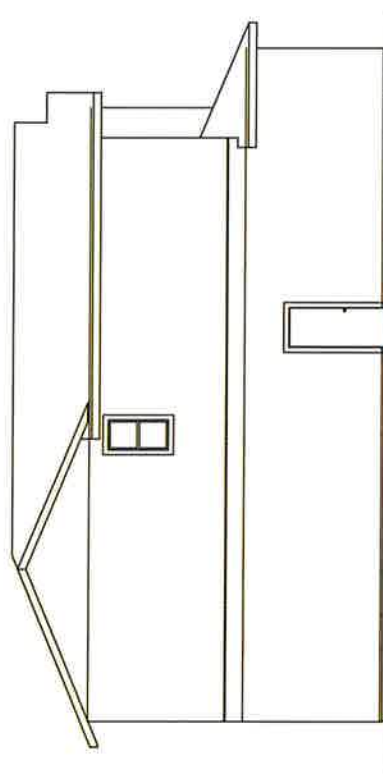
FLOOR SLOPE 2% FOR 5'-0"

PROSPECT RIDGE



BACK ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



LEFT SIDE ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



1099 SQ. FT. (FIRST)  
 1190 SQ. FT. (SECOND)  
 2289 SQ. FT. (TOTAL HOUSE)  
 485 SQ. FT. GARAGE  
 90 SQ. FT. PORCH

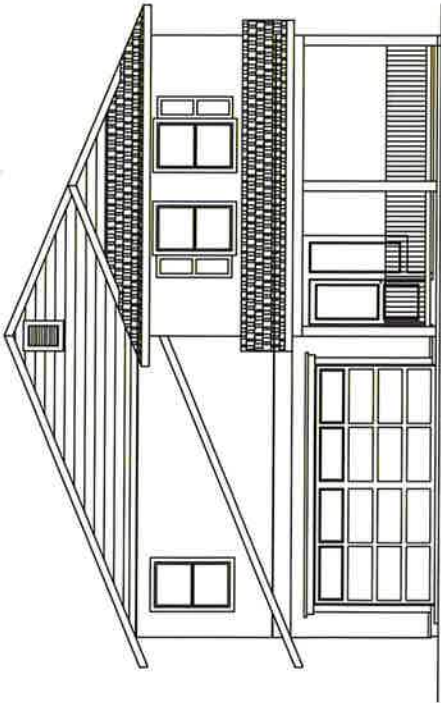
**FIRST FLOOR, FLOOR PLAN**

1/8"=1'-0"  
 NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

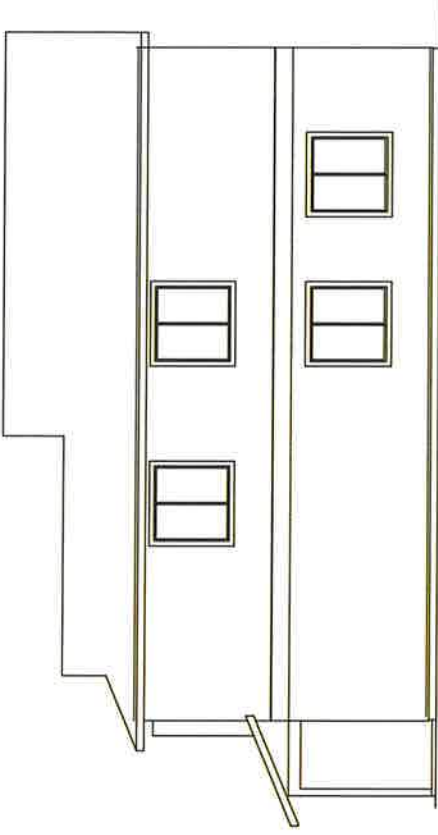


**SECOND FLOOR, FLOOR PLAN**

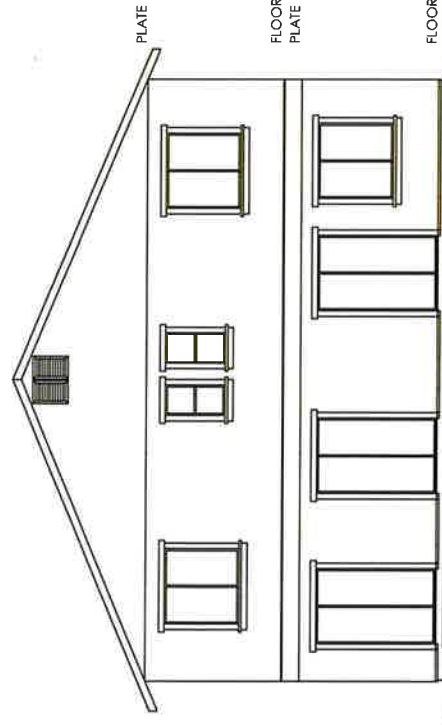
1/8"=1'-0"



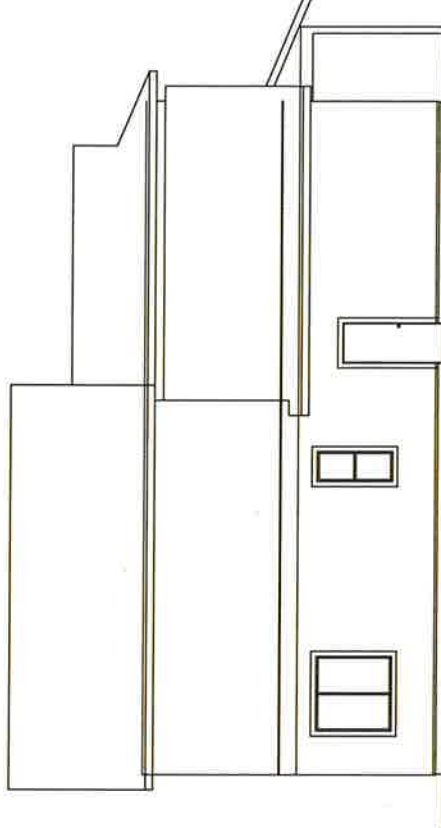
FRONT ELEVATION A  
1/8"=1'-0"  
PROSPECT RIDGE



RIGHT SIDE ELEVATION A  
1/8"=1'-0"  
PROSPECT RIDGE

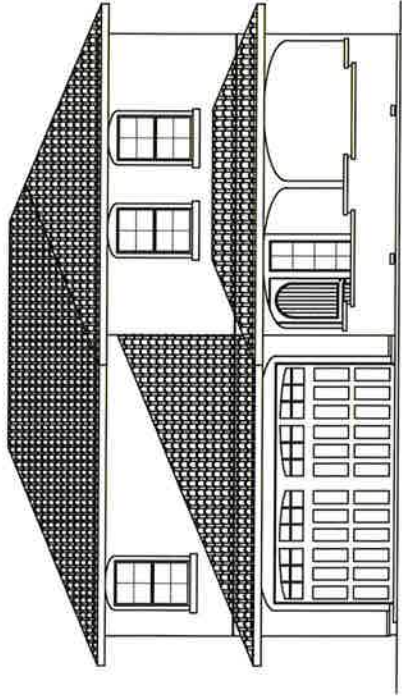


BACK ELEVATION A  
1/8"=1'-0"  
PROSPECT RIDGE



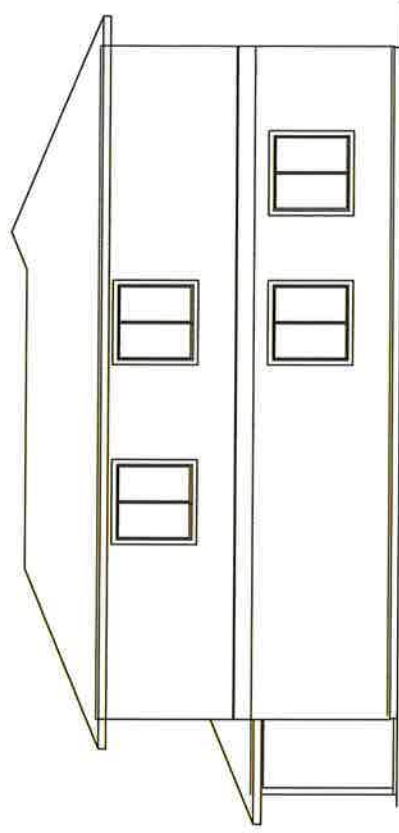
LEFT SIDE ELEVATION A  
1/8"=1'-0"  
PROSPECT RIDGE

FLOOR SLOPE 2% FOR 5'-0"



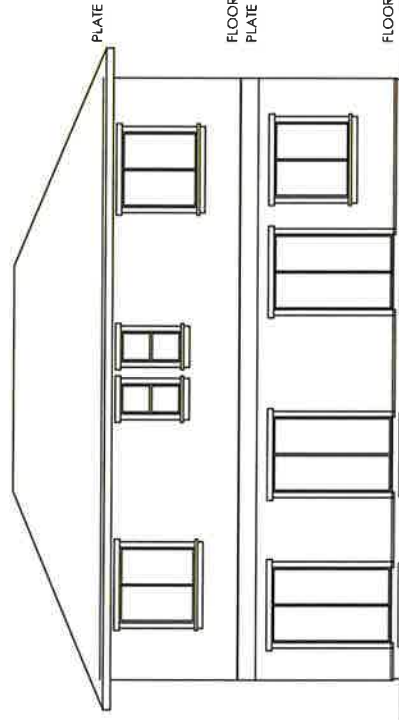
**FRONT ELEVATION B**  
1/8"=1'-0"

PROSPECT RIDGE



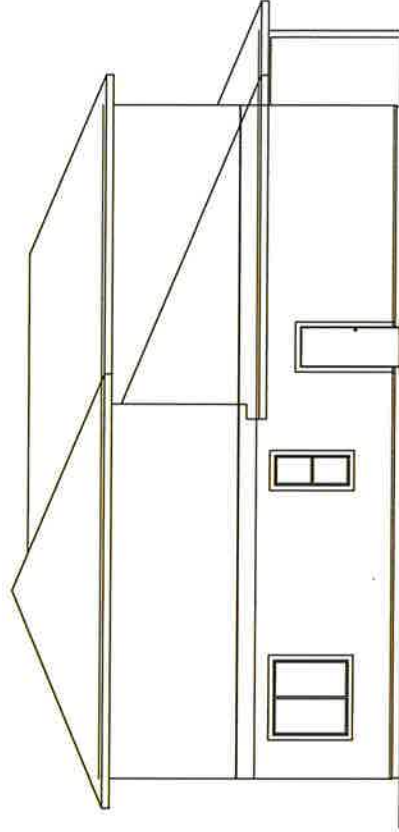
**RIGHT SIDE ELEVATION B**  
1/8"=1'-0"

PROSPECT RIDGE



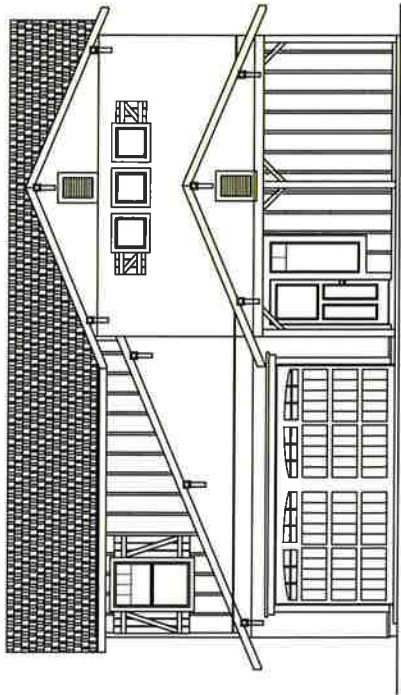
**BACK ELEVATION B**  
1/8"=1'-0"

PROSPECT RIDGE



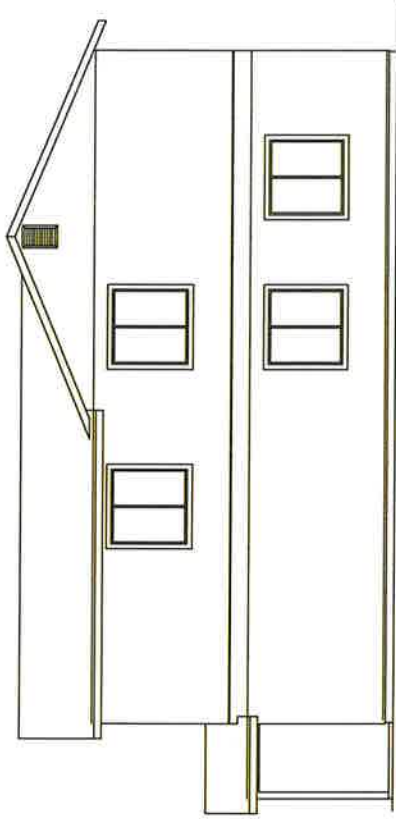
**LEFT SIDE ELEVATION B**  
1/8"=1'-0"

PROSPECT RIDGE



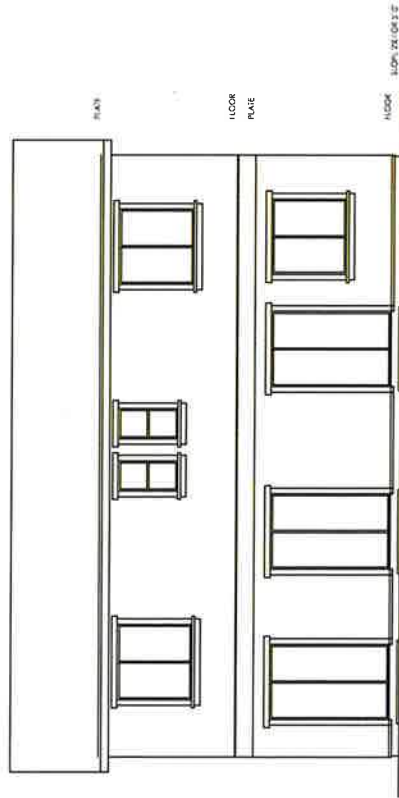
FRONT ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



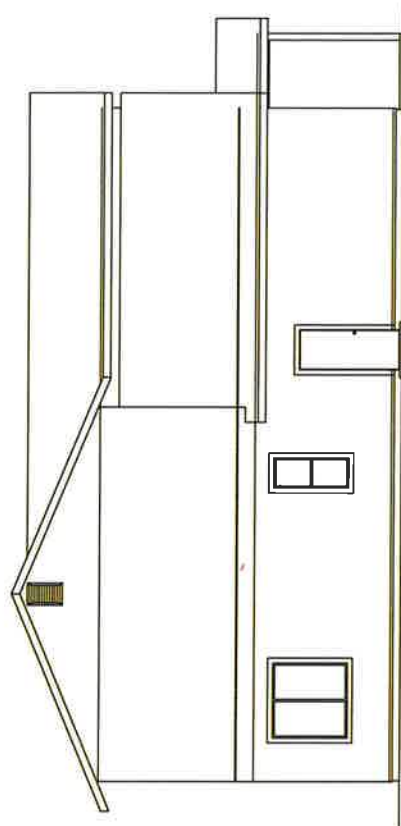
RIGHT SIDE ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



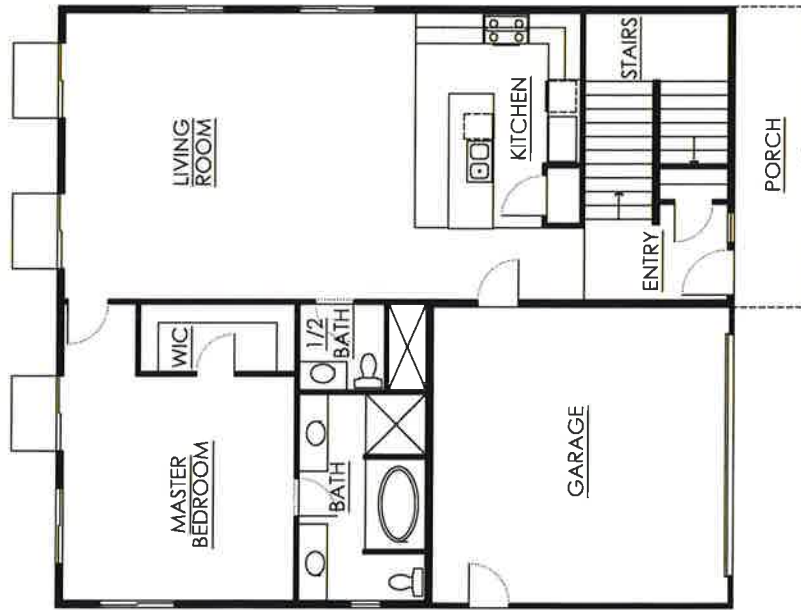
BACK ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



LEFT SIDE ELEVATION C  
1/8"=1'-0"

PROSPECT RIDGE



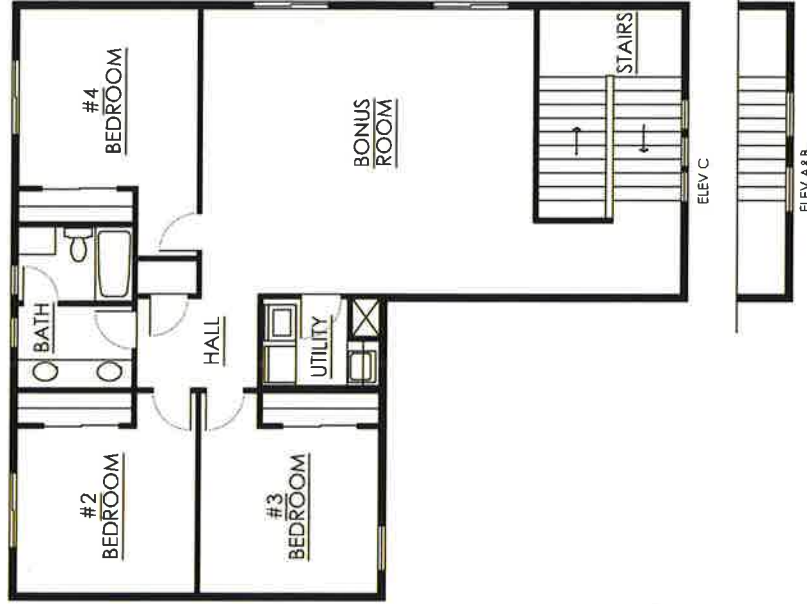
1400 SQ. FT. (FIRST)  
 1262 SQ. FT. (SECOND)  
 2662 SQ. FT. (TOTAL HOUSE)  
 400 SQ.FT. GARAGE  
 100 SQ.FT. PORCH

**FIRST FLOOR, FLOOR PLAN**

1/8" = 1'-0"

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

PROSPECT RIDGE



**SECOND FLOOR, FLOOR PLAN**

1/8" = 1'-0"

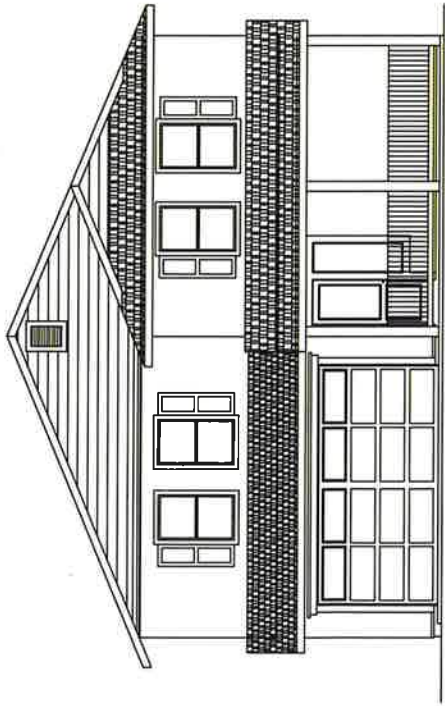
PROSPECT RIDGE



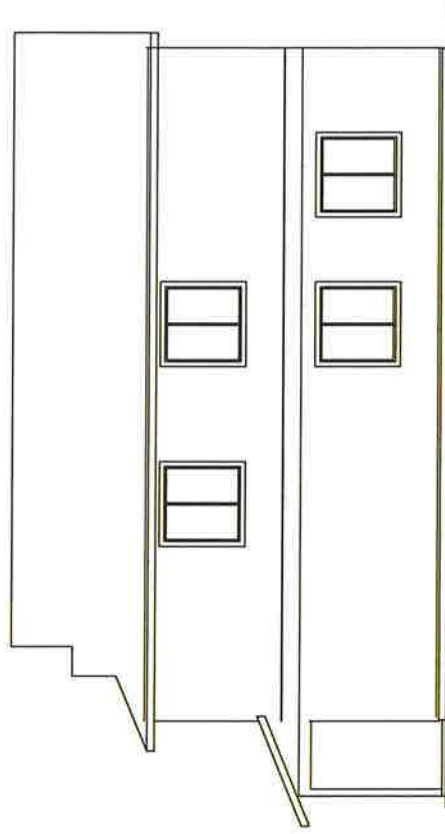
PLAN THREE | 2662 SQ.FT.

05/07/2018

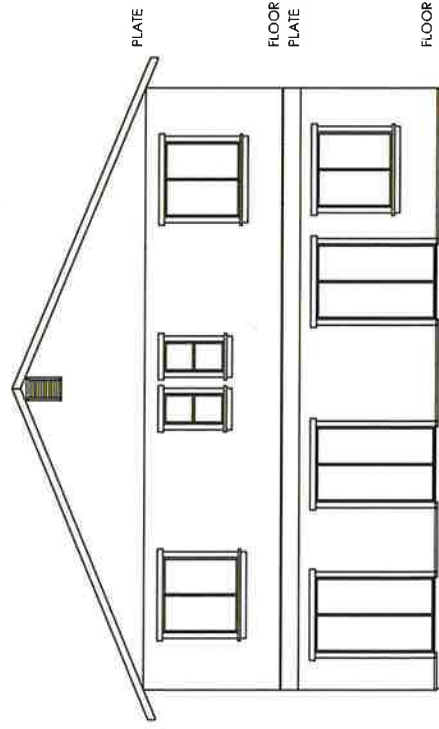




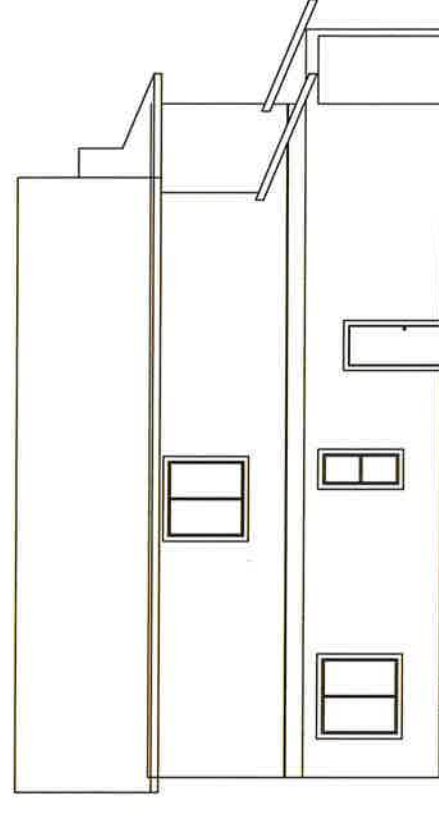
FRONT ELEVATION A  
1/8"=1'-0"  
PROSPECT RIDGE



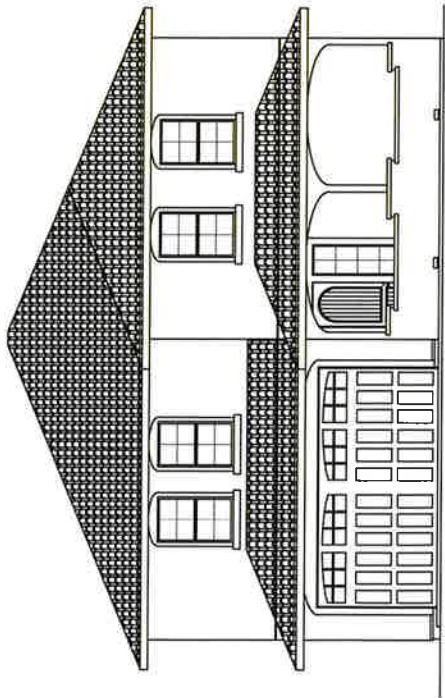
RIGHT SIDE ELEVATION A  
1/8"=1'-0"  
PROSPECT RIDGE



BACK ELEVATION A  
1/8"=1'-0"  
PROSPECT RIDGE

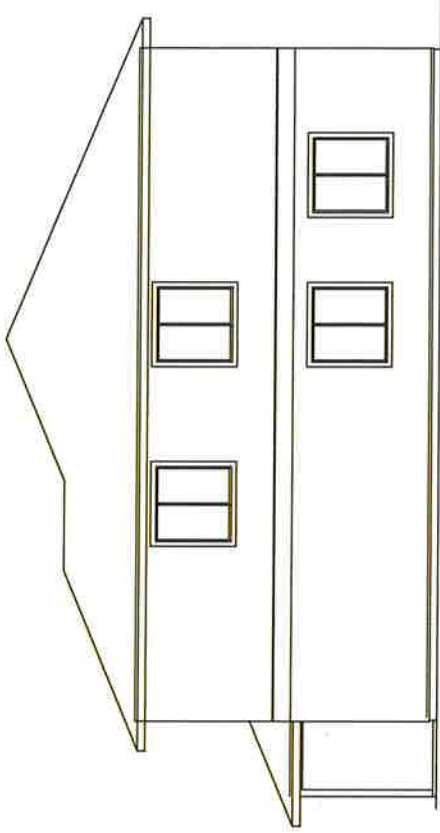


LEFT SIDE ELEVATION A  
1/8"=1'-0"  
PROSPECT RIDGE



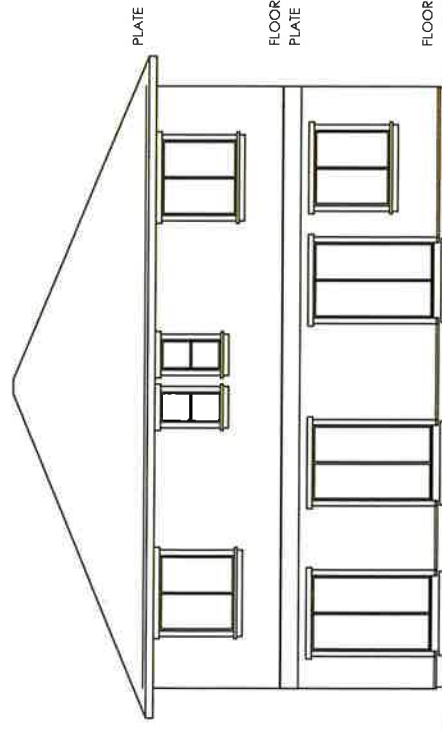
FRONT ELEVATION B  
1/8"=1'-0"

PROSPECT RIDGE



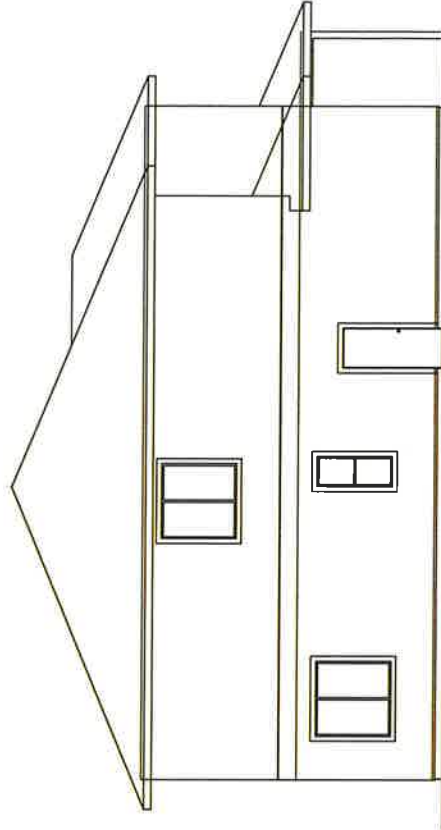
RIGHT SIDE ELEVATION B  
1/8"=1'-0"

PROSPECT RIDGE



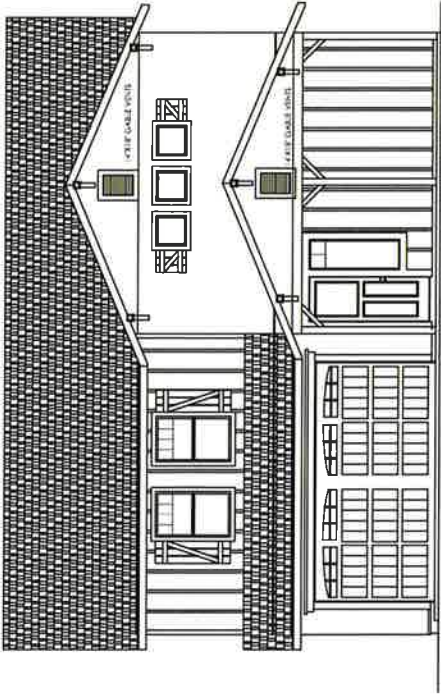
BACK ELEVATION B  
1/8"=1'-0"

PROSPECT RIDGE

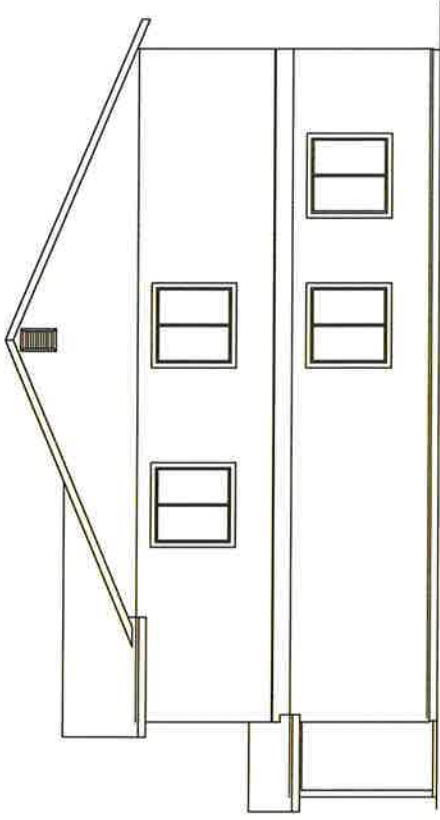


LEFT SIDE ELEVATION B  
1/8"=1'-0"

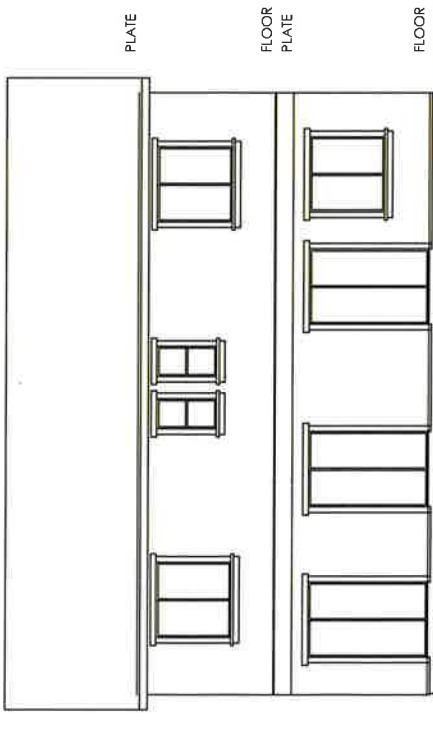
PROSPECT RIDGE



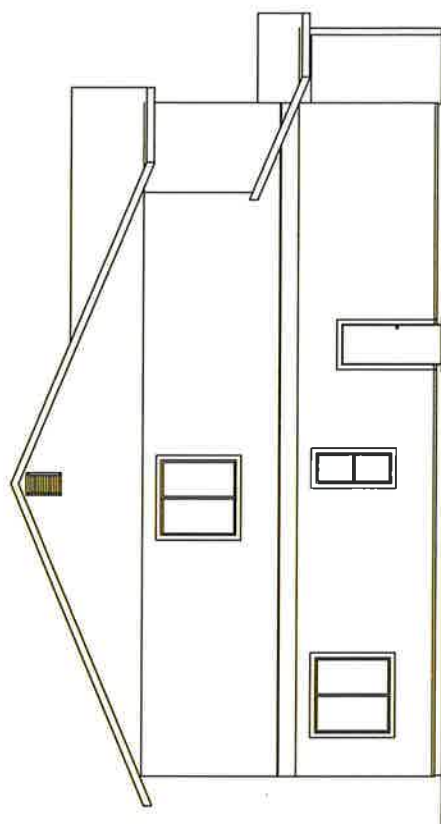
FRONT ELEVATION C  
1/8"=1'-0"



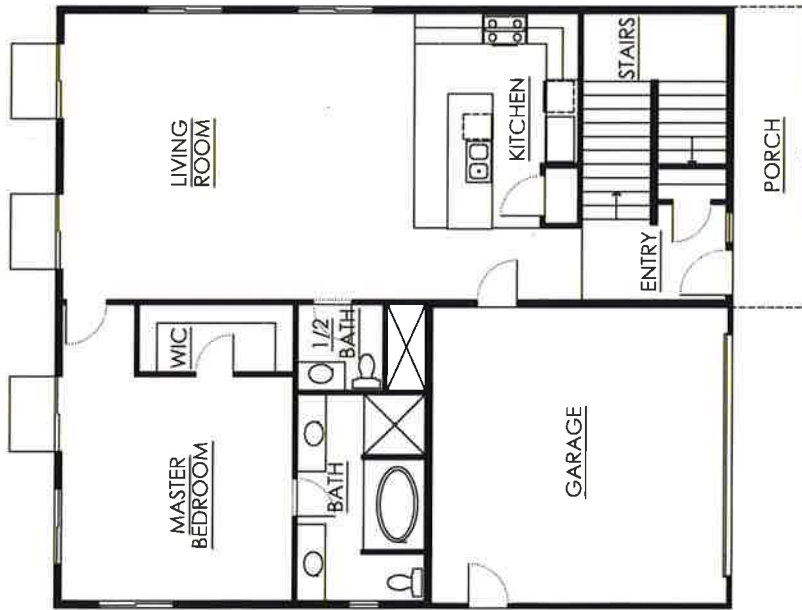
RIGHT SIDE ELEVATION C  
1/8"=1'-0"



BACK ELEVATION C  
1/8"=1'-0"



LEFT SIDE ELEVATION C  
1/8"=1'-0"



1400 SQ. FT. (FIRST)  
 1542 SQ. FT. (SECOND)  
 2942 SQ. FT. (TOTAL HOUSE)  
 400 SQ. FT. GARAGE  
 100 SQ. FT. PORCH

**FIRST FLOOR, FLOOR PLAN**

1/8"=1'-0"

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

PROSPECT RIDGE



**SECOND FLOOR, FLOOR PLAN**

1/8"=1'-0"

PROSPECT RIDGE



PLAN FOUR | 2942 SQ.FT.

05/07/2018

Attachment 6  
Building Renderings

THE



AT

RIDGE

Willow Creek

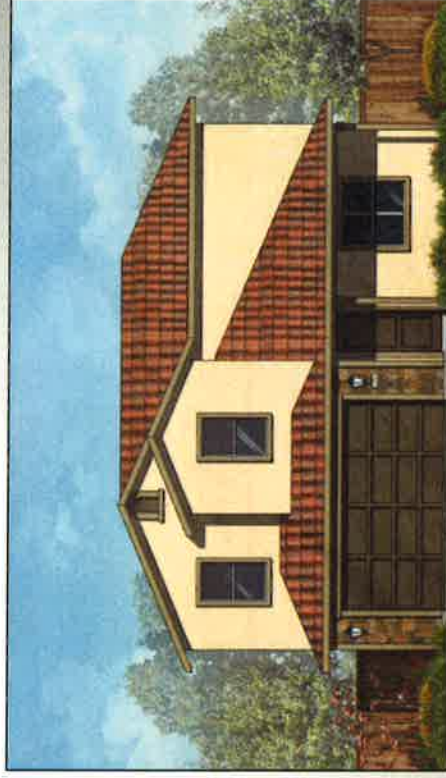
FOLSOM

## Italianate



- Defined combination of hip and gables
- European look stone elements accent the stucco
- Rich color palate details the stucco and trim features
- Villa tile accentuates the roof

- Reflects the European vernaculars within the Folsom Guidelines



# THE RIDGE

AT

*Willow Creek*

FOLSOM



## Farmhouse

- Asymmetrically Balanced
- Stucco featured with Board and Batt Siding
- Out looker Details and Country Style Shutters
- Front door and Window accents reflect the Farmhouse Heritage



THE



BRIDGE

AT

*Willow Creek*

FOLSOM

## French Country

- River Stone Accents
- Mediterranean Hip Tile Roof
- Graceful Entry Porch Design





THE



RIDGE

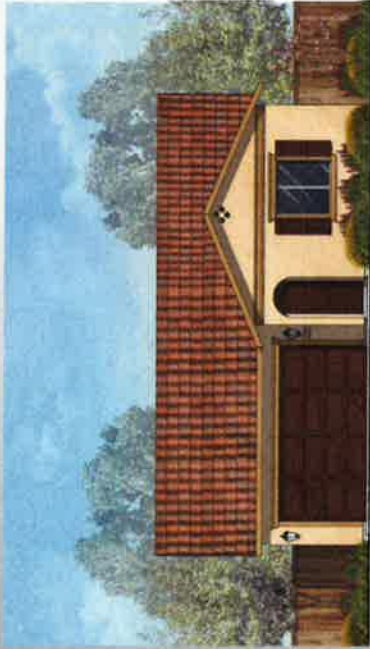
AT

Willow Creek

FOLSOM

### Spanish

- Stucco Facades
- Stylistic massing of single story look with two story perspective
- Arched porches and entryways
- Conventional Spanish influenced stucco porch wall
- Early California arched trim and window stools
- Villa Roof Tile



**T H E**



**A T**

**R I D G E**

*W i l l o w C r e e k*

**F O L S O M**

## Traditional American



- Siding Accents at Gable Roofs
- Shutters
- Symmetrical porch details

- Well balanced upper and lower massing
- Traditional American look Iron Porch Railing



Attachment 7

Color and Materials Board

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

---

**1875 A - Italianate**

---



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**



**California Mission Blend  
1VACS6464 Roofing**

**Cultured-Stone-European  
Castle Stone**



**Base 1 Stucco  
STONE LION SW7507**



**Fascia  
WINDFRESH WHITE  
SW7628**



**Front Door, Garage Door  
ROYCROFT COPPER  
RED SW2839**

---

**CAPITAL**  
■ VALLEY HOMES ■

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

**1875-B Farmhouse**



**ROOFING: BORAL  
PAINT: SHERWIN  
WILLIAMS**

**1FBCF3293DP-Shake-  
CedarBlend**

**Fascia, Trim, Gutters  
DOVER WHITE  
SW6385**



**Base 1 Stucco  
KILIM BEIGE SW6106**




**Base 2 Siding  
HOPSACK SW6109**



**Shutters, Front Door,  
Garage Door  
PROTEGE BRONZE**

**CAPITAL**  
■ VALLEY HOMES ■

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

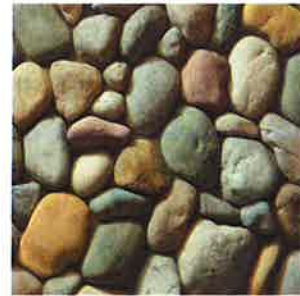
**1875 C—French Country**



**1FBCF1132-Shake900-CharcoalBrownBlend**

**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**



**Cultured-Stone-Stream-Stone-Spring**



**Base 1 Stucco  
DOWNING EARTH  
SW2820**



**Fascia, Trim, Gutters  
Perfect Greige  
SW6073**



**Shutters, Front Door,  
Garage Door  
RIVERWAY 6222**

**CAPITAL**  
■ VALLEY HOMES ■

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

**1875 D—Spanish**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**

**California Mission Blend  
1VACS6464 Roofing**



**Base 1 Stucco  
BELIEVABLE BLUFF  
SW6120**



**Fascia, Gutters, Trim  
BANQUETTE SW6123**



**Shutters, Front Door,  
Garage Door  
POLISH MAHOGANY  
SW2838**

**CAPITAL**  
■ VALLEY HOMES ■

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

**2289 A - Italianate**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**



**California Mission Blend  
1VACS6464 Roofing**

**Cultured-Stone-European  
Castle Stone**



**Base 1 Stucco  
Morning Sun SW6672**



**Fascia, Gutters, Trim  
Herbal Wash SW7739**



**Front Door,  
Garage Door  
Garden Gate SW6167**

**CAPITAL**  
■ VALLEY HOMES ■



**T H E**  **R I D G E**

AT

*W i l l o w C r e e k*

F O L S O M

**2289 B — Spanish**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**

**California Mission Blend  
1VACS6464 Roofing**



**Base 1 Stucco  
LATTE SW6108**



**Fascia, Gutters, Trim  
WARM STONE  
SW7032**




**Front Door, Garage Door  
MUDDLED BASIL  
SW7745**

**CAPITAL**

■ VALLEY HOMES ■

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

**2289 C—Farmhouse**



**1FBCF3293DP-Shake-  
CedarBlend**

**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**



**Fascia, Gutters, Trim,  
Shutters, Front Door,  
Garage Door  
NUTHATCH SW6088**




**Base 1 Stucco  
KHAKI SHADE SW7533**



**Base 2 Siding  
TIKI HUT SW7509**

**CAPITAL**  
■ VALLEY HOMES ■

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

**2662 — A Traditional American**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**

**1FBCF3293DP-Shake-  
CedarBlend**



**Base 1 Stucco  
FRESCO CREAM  
SW7719**




**Base 2 Stucco Band,  
Siding  
POTTERY URN  
SW7715**



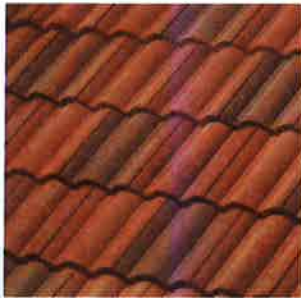
**Fascia, Shutters, Front  
Door, Garage Door  
ROYCROFT BRASS  
SW2843**

**CAPITAL**  
 **VALLEY HOMES** 

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

**2662 B—Spanish**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**

**California Mission Blend  
1VACS6464 Roofing**



**Base 1 Stucco  
SMOKEY SW6117**



**Base 2 Stucco Porch  
Front Wall and Arches  
KILIM BEIGE SW6106**



**Fascia, Trim, Front  
Door, Garage Door  
Portobello SW6102**

**CAPITAL**  
■ VALLEY HOMES ■

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

**2662 C—Farmhouse**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**

**1FBCF1132-Shake900-  
Charcoal Brown Blend**



**Base 1 Stucco  
HOPSACK SW6109**



**Base 2 Siding  
BANQUETTE SW6123**



**Shutters, Front Door,  
Garage Door, Trim,  
Fascia  
Navel SW6244**

**CAPITAL**  
■ VALLEY HOMES ■

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

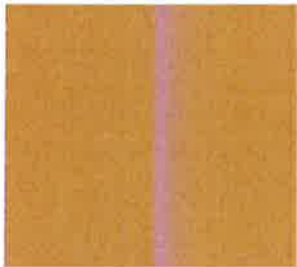
**2942 — A Traditional American**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**

**1FBCF1132-Shake900-  
Charcoal Brown Blend**



**Base 1 Stucco  
BANQUETTE SW6123**



**Base 2 Stucco Band,  
Siding  
TIKI HUT SW7509**



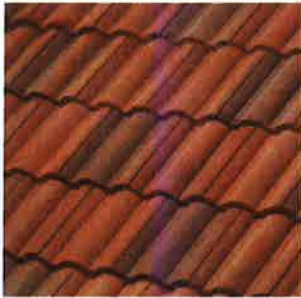
**Fascia, Shutters, Front  
Door, Garage Door  
Porpoise SW7047**

**CAPITAL**  
**VALLEY HOMES**

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**  
AT  
*W i l l o w C r e e k*  
F O L S O M

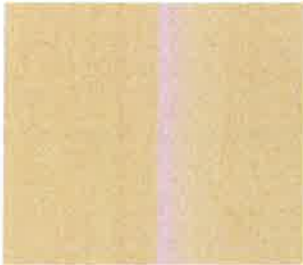
**2942 B—Spanish**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**

**California Mission Blend  
1VACS6464 Roofing**



**Base 1 Stucco  
FRESCO CREAM  
SW7719**



**Base 2 Stucco Porch  
Front Wall and Arches  
NUTHATCH SW6088**



**Fascia, Trim, Front  
Door, Garage Door  
SMOKEY SW6117**

**CAPITAL**  
 **VALLEY HOMES**

*Colors shown are similar to paint colors and not an exact match.. Actual colors may vary in tone, color or tint when applied in construction.*

**T H E**  **R I D G E**

AT

*W i l l o w C r e e k*

F O L S O M

**2942 C - Farmhouse**



**ROOFING: BORAL**

**PAINT:  
SHERWIN WILLIAMS**

**1FBCF3293DP-Shake-  
CedarBlend**



**Base 1 Stucco  
POTTERY URN  
SW7715**



**Base 2 Stucco Band,  
Siding  
ROYCROFT BRASS  
SW2843**



**Fascia, Shutters, Front  
Door, Garage Door  
POLISH MAHOGANY  
SW2838**

**CAPITAL**

■ VALLEY HOMES ■

*Colors shown are similar to paint colors and not an exact match. Actual colors may vary in tone, color or tint when applied in construction.*



Attachment 8  
Site Photographs



