



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

## HISTORIC DISTRICT COMMISSION AGENDA

July 1, 2020

CITY COUNCIL CHAMBERS

5:00 p.m.

50 Natoma Street

Folsom, California 95630

Pursuant to Governor Newsom's Executive Order N-29-20, members of the Folsom Historic District Commission and staff may participate in this meeting via teleconference.

Due to the coronavirus (COVID-19) public health emergency, the City of Folsom is allowing remote public input during Commission meetings. Members of the public are encouraged to participate by e-mailing comments to [kmullett@folsom.ca.us](mailto:kmullett@folsom.ca.us). E-mailed comments must be received no later than thirty minutes before the meeting and will be read aloud at the meeting during the agenda item. Please make your comments brief. Written comments submitted and read into the public record must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Commission meetings. Members of the public wishing to participate in this meeting via teleconference may email [kmullett@folsom.ca.us](mailto:kmullett@folsom.ca.us) no later than thirty minutes before the meeting to obtain call-in information. Each meeting may have different call-in information. Verbal comments via teleconference must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Historic District Commission meetings.

Members of the public may continue to participate in the meeting in person at Folsom City Hall, 50 Natoma Street, Folsom CA while maintaining appropriate social distancing.

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:** Kathleen Cole, Mickey Ankhelyi, Daniel West, Kevin Duewel, Mary Asay, Vice Chair Rosario Rodriguez, Chair Daron Bracht

*Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers.*

### PLEDGE OF ALLEGIANCE

**CITIZEN COMMUNICATION:** The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

### MINUTES

The minutes of the June 17, 2020 meeting will be presented for approval.

### CONTINUED

1. **PN 20-105, 904 Persifer Street New Custom Home and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Jesse Borovnica for approval of a Design Review application for a 1,862-square-foot custom home located at 904 Persifer Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the

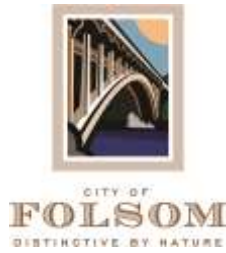
**HISTORIC DISTRICT COMMISSION / PRINCIPAL PLANNER REPORT**

The next Historic District Commission meeting is scheduled for **July 15, 2020**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2<sup>nd</sup> Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6203 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6231, (916) 355-7274 (fax) or [kmullett@folsom.ca.us](mailto:kmullett@folsom.ca.us). Requests must be made as early as possible and at least two-full business days before the start of the meeting.

**NOTICE REGARDING CHALLENGES TO DECISIONS**

**The appeal period for Historic District Commission Action:** Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing. Any appeal of a Historic District Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081.



**HISTORIC DISTRICT COMMISSION MINUTES**  
**June 17, 2020**  
**CITY COUNCIL CHAMBERS**  
**5:00 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:** Mickey Ankhelyi, Daniel West, Kevin Duewel, Mary Asay, Vice Chair Rosario Rodriguez, Kathleen Cole, Chair Daron Bracht

**ABSENT:** None

**PLEDGE OF ALLEGIANCE**

**CITIZEN COMMUNICATION:** None

**MINUTES:** The minutes of June 3, 2020 were approved as submitted.

**NEW BUSINESS**

**1. PN 20-061, 310 Mormon Street Addition and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Shelly Castro for approval of a Design Review application for a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street. The zoning classification for the site is R-2/CEN, while the General Plan land-use designation is MLD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Shelly Castro)**

COMMISSIONER DUEWEL MOVED TO CONTINUE ITEM NO. 1 TO PROVIDE THE OPPORTUNITY FOR THE APPLICANT TO DISCUSS WITH STAFF ON THE FEASIBILITY OF ARCHITECTURAL DESIGN CHANGES TO THE ELEVATION, ROOF LINE, PROPORTIONS ON WINDOWS, AND DOORS.

COMMISSIONER ANKHELYI SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: ANKHELYI, WEST, DUEWEL, ASAY, RODRIGUEZ, COLE, BRACHT  
NOES: NONE  
RECUSED: NONE  
ABSENT: NONE

**2. PN 20-044, 711 Persifer Street Addition and Re-Siding and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Dan Kohnke for approval of a Design Review application for a 160-square-foot addition, 98-square-foot rear porch addition and re-siding for an existing residence located at 711 Persifer Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Dan Kohnke)**

COMMISSIONER ASAY MOVED TO APPROVE THE APPLICATION (PN 19-044) FOR DESIGN REVIEW OF A 160-SQUARE-FOOT ADDITION, 98-SQUARE-FOOT REAR PORCH ADDITION AND RE-SIDING FOR AN EXISTING RESIDENCE LOCATED AT 711 PERSIFER STREET AS ILLUSTRATED ON ATTACHMENT 6 AND 7 FOR THE 711 PERSIFER STREET ADDITION AND RE-SIDING PROJECT (PN 20-044), SUBJECT TO THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-F, DESIGN REVIEW FINDINGS G & H, AND CONDITIONS OF APPROVAL NOS. 1-6 TO READ AS FOLLOW:

“1. Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, building elevations, and floor plans dated February 16, 2020, as well as the colors and materials included in Attachment 6. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.

2. Compliance with all local, state and federal regulations pertaining to building construction is required.

3. The project shall comply with the following architecture and design requirements:

a. This approval is for a 160-square-foot addition, 98-square-foot rear porch addition and re-siding for an existing residence located at 711 Persifer Street. The applicant shall submit building plans that comply with this approval and the attached site plan, floor plans, building elevations and colors and materials board dated February 16, 2020.

b. The paint color of the residence and window trim shall be consistent on all four elevations of the residence.

c. Proposed siding shall substantially match the width of the siding on the front of the residence to the satisfaction of the Community Development Department.

d. Design of all new windows and window trim shall match that of all existing windows and window trim to the satisfaction of the Community Development Department.

e. Roofing on the proposed addition shall substantially match the colors and materials of the existing roofing to the satisfaction of the Community Development Department.

f. Requirements of Condition of Approval No. 3 shall be made as a note or separate sheet on the Construction Drawings.

4. If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior's Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.

5. In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner's representative appropriate disposition of the remains and any grave goods.

6. The project approval granted under this staff report shall remain in effect for two years from final date of approval (June 17, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval."

COMMISSIONER COLE SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: ANKHELYI, WEST, DUEWEL, ASAY, RODRIGUEZ, COLE, BRACHT  
NOES: NONE  
RECUSED: NONE  
ABSENT: NONE

**3. PN 20-015, 904 Persifer Street Custom Home and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Jesse Borovnica for approval of a Design Review application for a 1,862-square-foot custom home located at 904 Persifer Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15303 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Jesse Borovnica)**

COMMISSIONER BRACHT MOVED TO CONTINUE PN 20-015 TO THE NEXT HISTORIC DISTRICT COMMISSION MEETING ON JULY 1, 2020.

COMMISSIONER DUEWEL SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: ANKHELYI, WEST, DUEWEL, ASAY, RODRIGUEZ, COLE, BRACHT  
NOES: NONE  
RECUSED: NONE  
ABSENT: NONE

**PRINCIPAL PLANNER REPORT**

None

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Kelly Mullett, ADMINISTRATIVE ASSISTANT

**APPROVED:**

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Daron Bracht, CHAIR



CITY OF  
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**AGENDA ITEM NO. 1**  
**Type: Public Meeting**  
**Date: July 1, 2020**

## **Historic District Commission Staff Report**

50 Natoma Street, Council Chambers  
Folsom, CA 95630

**Project:** 904 Persifer Street Custom Home  
**File #:** PN 20-105  
**Request:** Design Review  
**Location:** 904 Persifer Street  
**Parcel(s):** 070-0152-022  
**Staff Contact:** Josh Kinkade, Assistant Planner, 916-461-6209  
jkinkade@folsom.ca.us

### **Property Owner**

Name: Tom Martucci  
Address: 904 Persifer Street  
Folsom, CA 95630

### **Applicant**

Name: Jesse Borovnica  
Address: 5726 Hoffman Ln.  
Fair Oaks, CA 95628

**Recommendation:** Conduct a public meeting and upon conclusion recommend approval of an application for Design Review for a 1,862-square-foot custom home located at 904 Persifer Street as illustrated on Attachments 4 and 5 for the 904 Persifer Street Custom Home project (PN 20-105) subject to the findings included in this report (Findings A-I) and attached conditions of approval (Conditions 1-8).

**Project Summary:** The proposed project includes an 1,862-square-foot custom home with a 179-square-foot uncovered rear patio and a 57-square-foot covered front porch at 904 Persifer Street. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

### **Table of Contents:**

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Vicinity Map
- 5 - Site Plan, Floor Plan and Elevations, dated 4/17/2020
- 6 - Proposed Colors and Materials
- 7 - Photograph of Project Site



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**AGENDA ITEM NO. 3**  
**Type: Public Meeting**  
**Date: July 1, 2020**

- 8 - Comment Letter from the Heritage Preservation League of Folsom, Dated May 4, 2020
- 9 - Staff PowerPoint Presentation

Submitted,

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PAM JOHNS  
Community Development Director

## ATTACHMENT 1 DESCRIPTION/ANALYSIS

### APPLICANT'S PROPOSAL

The applicant, Jesse Borovnica, is proposing an 1,862-square-foot custom home with a 179-square-foot uncovered rear patio and a 57-square-foot covered front porch located at 904 Persifer Street. The proposed site plan, floor plan, and elevations are shown in Attachment 5. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District. The applicant proposes vertical exterior siding colored light grey, scalloped siding along the roof gables in front colored white, window trim colored white and dark grey asphalt shingle roofing. The proposed color and material board is shown in Attachment 6.

### POLICY/RULE

The Folsom Municipal Code (FMC Section 17.52.400) requires that all new structures and alterations to existing structures located within the Historic District obtain Design Review approval from the Historic District Commission.

### ANALYSIS

#### General Plan and Zoning Consistency

The project, which is located within the Central Subarea of the Historic Residential Primary Area, has an underlying zoning designation of R-1-M (Single-Family Dwelling Small Lot District) and is designated as SFHD in the General Plan. Single-family residences are an allowed use in both the Central Subarea and in the R-1-M (PD) zone. The proposed project is subject to the development standards established with the Folsom Municipal Code Section 17.52.540, which institute requirements for lot size, lot coverage, setbacks, building heights, pervious surface, and parking. The following table compares the proposed project to the development standards established by the Folsom Municipal Code for the Historic Residential Primary Area.

	<b>REQUIRED</b>	<b>PROPOSED</b>
<b>Minimum Lot Size</b>	7,000 SF	7,000 SF (existing)
<b>Minimum Lot Width</b>	50 Feet	50 Feet (existing)
<b>Front Setback</b>	20 Feet	20 Feet
<b>Rear Setback</b>	20 Feet	64 Feet
<b>Side Setback</b>	5 Feet, 5 Feet	5 Feet, 5 Feet
<b>Minimum Pervious Surface</b>	45%	70%
<b>Parking Requirement</b>	2 Parking Spaces	2 Parking Spaces
<b>Maximum Building Height</b>	35 Feet	16.5 Feet
<b>Setback To Other Structures</b>	10 Feet	>10 Feet



As shown in the table above, the proposed residence will meet all applicable development standards.

### **Building Design/Architecture**

Chapter 5.04.03(b) of the DDG's, which addresses the design concepts for the Central Subarea, states that the subarea provides property owners with broad discretion in choosing styles from the entire 1850-1950 time frame, guided by the overall principles and any designation of significance of the building or site. Automobiles were more common by the end of the 1850-1950 timeframe but were not a dominant design factor. The few attached garages were constructed for one car. Depending on the architectural style chosen, an applicant may be required to reduce the visibility of autos by such means as eliminating driveways from streets in favor of using alley access, disguising detached garages as out buildings, or providing screen plantings for outdoor parking areas.

The architectural design of the proposed residence has elements of the Craftsman style. General characteristics of the Craftsman style are typically characterized by the use of front porches, gable roof elements, decorative roof vents, horizontal wood siding, and wood-framed doors and windows. As shown in the submitted building elevations (Attachment 5), the proposed project incorporates a number of significant Craftsman-style design features including a covered front porch, horizontal lap siding, wood shingle-siding, and wood-framed windows and doors.

### **Siding and Trim**

The DDG's state that exterior materials and finishes should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style.

Proposed exterior materials include horizontal siding colored grey with trim and scalloped siding colored white and an asphalt shingle roof colored dark grey. The style, colors, and materials of the proposed siding and trim are consistent with the design intent of the Central Subarea as outlined in the DDGs. Staff has included a condition recommending that scalloped siding matching that proposed on the front elevation be provided under the roof eaves of the rear elevation to help reduce the massing of the rear elevation (Condition No. 3b).

### **Windows and Doors**

The DDGs state that wood frame double-hung or casement windows are preferred, and that vinyl clad windows may be used for less significant structures. In general, window proportions should be vertical rather than horizontal; however, appropriate proportions and number of panes will vary depending upon the style of the individual building and the context. Regarding entries, the DDGs state that residentially-scaled and detailed solid wood or glazed doors of many styles may be appropriate.

The applicant proposes vinyl windows that are primarily vertically-oriented. The front of the residence features two double-windows with a single-window near the door. All windows on the front elevation feature historically-appropriate small grids inside of them. Windows on the side elevations are primarily smaller and narrow than those on the front due to the layout of the interior of the residence. The rear elevation includes one horizontally oriented window, a French door and a sliding-glass door. As stated before, the DDGs does generally discourage horizontal windows, but as this single window is in the rear elevation, staff does support the use of the horizontal window in this case. While several of the windows feature different sizes and design, staff supports the window shapes as proposed due to the proposed interior layout of the residence and the fact that the mis-matched windows would not be visible from the street. To ensure design consistency, staff has included Condition No. 3c, which states that the larger two-paned windows on the side and rear elevations shall incorporate small grids to match the window grids on the front elevation to achieve a more historic appearance. As conditioned, staff supports the proposed doors and windows.

### **Porches and Patios**

The front of the residence will have a 57-square-foot covered front porch and a 179-square foot uncovered rear patio. In Appendix D, Section C.4, it explains that front porches are encouraged in all new construction and that, at a minimum, each residentially designed building should have either a porch or balcony exterior space oriented toward a street. The proposed front porch matches the rest of the residence in architectural style and roofing and fulfills the DDG guidelines of having a street-facing porch or balcony.

### **Roofing**

Pursuant to the DDGs, Appendix D, Section C.7, appropriate roofing materials include fireproof wood shingles, corrugated metal, composition fiberglass shingles, clay tile, or other as determined by historic evidence, with inappropriate materials including colored standing seam metal roofs, glazed ceramic tile or imitation roofing materials including concrete shingles and imitation concrete mission style. The proposed roof will be an asphalt composition shingle roof colored dark grey.

Staff has determined that the overall design, colors, materials, and layout of the proposed residence can be successfully incorporated into quality residential design and are compatible with the existing residential character in the project vicinity and is consistent with the design and development guidelines for the Central Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the Historic District Design and Development Guidelines.

### **Parking**

FMC Section 17.52.540 requires two parking spaces for each single-family detached dwelling unit in within the Residential Primary Area of the Historic District. Required parking spaces must be provided outside required front and street side yards. The applicant has obtained building permit approval for an accessory dwelling unit with a

two-car garage located in the rear of the property. The garage will be accessible from the alley in the back of the project site. The parking provided for in this approved garage would ensure that the proposed project is compliant with the parking requirements.

### **PUBLIC COMMENTS**

A public comment letter (included as Attachment 8) was received via email on May 4, 2020 from the Heritage Preservation League of Folsom. The letter recommends that windows utilize a more historic design, especially on those near the front door. The letter goes on to recommend a front door with paneling and a small window, the addition of wall lights in the entrance area, the use of dimensional composition shingle roofing resembling wood shake and the use of rounded gutters and downspouts.

Staff shared these suggestions with the applicant. Due to the interior layout, only small windows were feasible on the left elevation. However, staff recommended to the applicant that the front elevation windows be modified from their original design. The applicant then modified the front windows to include one single long window near the front door and larger, longer separated windows on each side of the front elevation, as well as rounded gutter downspouts. Staff forwarded the remaining suggestions to the applicant who indicated that, due to cost considerations, were not feasible.

### **ENVIRONMENTAL REVIEW**

The project is exempt from environmental review under Section 15303, New Construction or Conversion of Small Structures, of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

### **RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION**

Move to approve the application (PN 20-005) for design review for a an 1,862-square-foot custom home with a 179-square-foot rear patio and 57-square foot porch located at 904 Persifer Street, with the findings below (Findings A-I) and the conditions of approval (Conditions 1-8) included as Attachment 3 to this report.

### **GENERAL FINDINGS**

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
  
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN THE ZONING CODE OF THE CITY.

### **CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

### **DESIGN REVIEW FINDINGS**

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.
- I. THE PROPOSED PROJECT COMPLIES WITH THE GENERAL PLAN AND ZONING ORDINANCES OF THE CITY.

**ATTACHMENT 2  
BACKGROUND**

**BACKGROUND**

Sacramento County records indicate that a 1,155-square-foot residence at 904 Persifer Street was constructed in 1937. The residence featured a simple bungalow design, with horizontal wood siding (with horizontal lap siding on the side and portions of the rear of the structure) painted light green, white window trim and grey composition shingle roofing. The residence included a 225-square-foot attached garage and covered porch in the front. The property also included a 300-square-foot detached garage in the rear, colored to match the residence, which was built in the late-1960's. The subject property is located in the Central Subarea of the Historic Residential Primary Area of the Historic District, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District). The property does not appear on the City of Folsom's Cultural Resources Inventory.

On June 19, 2019, the Historic District Commission approved an application for Design Review of a 126-square-foot addition and an exterior remodel of the existing residence, as well as a Side Yard Setback Variance and the demolition of the existing detached garage (PN 19-073). As part of approval of the Variance, the applicant was required to not tear down the existing west wall of the residence to achieve a one-hour fire rating. Building permits were issued for the remodel and addition as well as building permits for a detached accessory dwelling unit with a two-car garage below in the rear of the parcel. During construction, staff discovered that the west wall had been torn down, as well as all other exterior walls of the residence. As such, a stop-work order was placed on the project site, as the project was no longer in compliance with the conditions of the approved variance. The applicant met with staff and determined that they would submit a new application for a modified custom home that meets current setback requirements. Photographs of the project site in its current state are included in Attachment 6.

**GENERAL PLAN DESIGNATION**

SFHD, Single-Family, High Density

**ZONING**

CEN, Central Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single Family Residential- Small Lot District)

**ADJACENT LAND USES/ZONING**

North: Natoma Street/Persifer Street alley with single-family residences beyond (CEN)

South: Persifer Street with single-family residences beyond (CEN)

East: Existing duplex (CEN), with Decatur Street beyond

West: Existing residence (CEN)

**SITE CHARACTERISTICS**

The 7,000-square-foot project site contains the foundation of a demolished residence in the front of the property and landscaping.

**APPLICABLE CODES**

FMC Section 17.52 HD, Historic District  
FMC Section 17.52.300, Design Review  
FMC Section 17.52.330, Plan Evaluation  
FMC Section 17.52.340, Approval Process  
FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards  
Historic District Design and Development Guidelines

## **ATTACHMENT 3**

# **Proposed Conditions of Approval**

**CONDITIONS OF APPROVAL FOR  
 904 PERSIFER STREET CUSTOM HOME  
 (PN 20-105)**

<b>Cond. No.</b>	<b>Mitigation Measure</b>	<b>GENERAL REQUIREMENTS</b>	<b>When Required</b>	<b>Responsible Department</b>
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, building elevations, and floor plans dated 4/17/20. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction and demolition is required.	OG	CD (B)
3.		<p>The project shall comply with the following architecture and design requirements:</p> <p>a. This approval is for an 1,862-square-foot custom home located at 904 Persifer Street. The applicant shall submit building plans that comply with this approval and the attached site plan, floor plans, building elevations and colors and materials board dated April 17, 2020.</p> <p>b. Scalloped siding matching that proposed on the front elevation shall be provided under the roof eaves on the rear elevation to the satisfaction of the Community Development Department.</p> <p>c. Two-paned windows on the side and rear elevations shall incorporate small grids to match the design of the windows on the front elevation to achieve a more historic appearance to the satisfaction on the Community Development Department.</p>	B	CD (P)



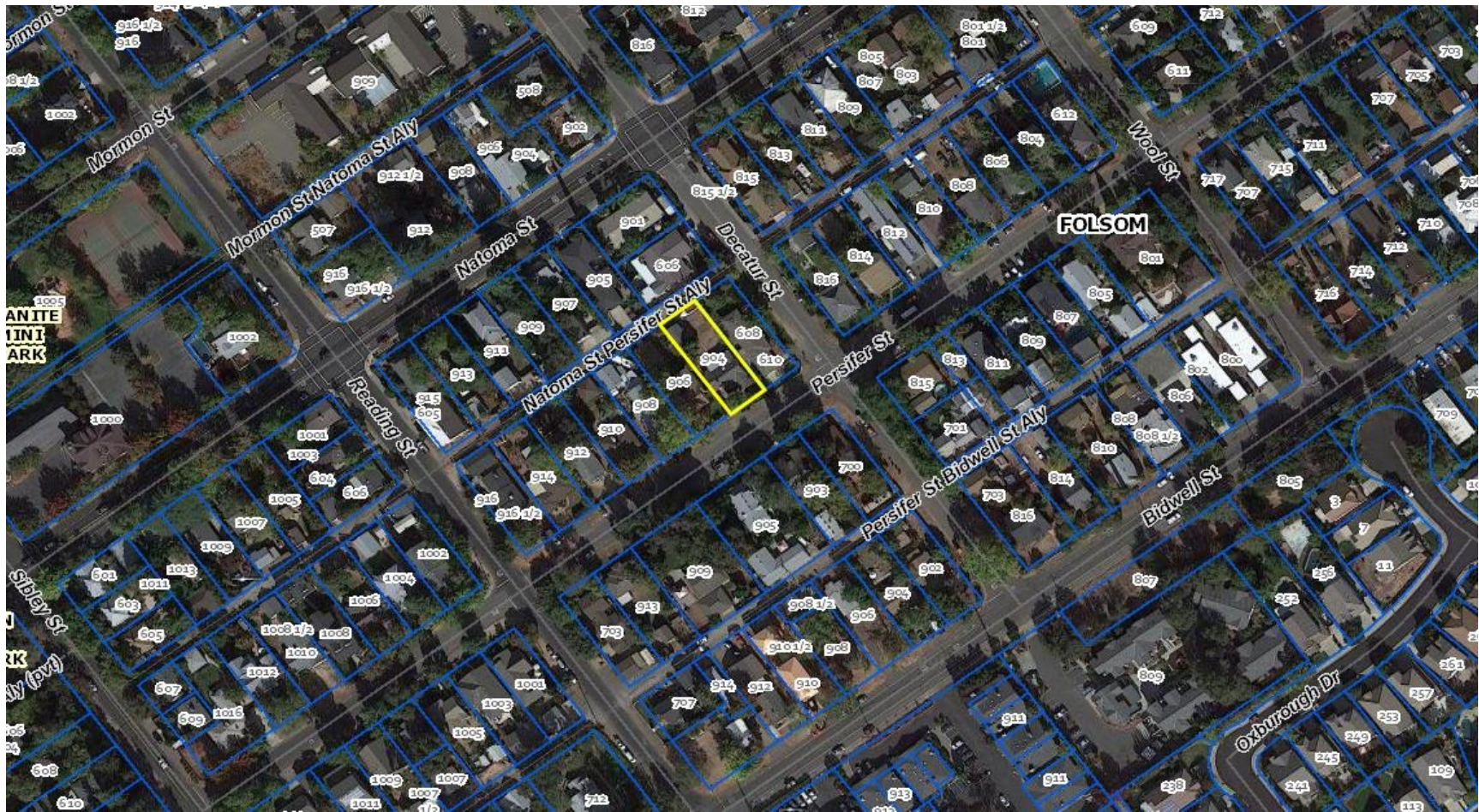
4.	<p>Pursuant to the state’s Model Water Efficient Landscape Ordinance (MWELo), all new construction projects with an aggregate front yard landscape area equal to or greater than 500 square feet shall submit a landscape documentation package and landscape permit application to the CDD for review and approval. The landscape permit shall be issued prior to, or at the time of, the issuance of a building permit.</p> <p>Projects with an aggregate front yard landscape area of 500 to 2,500 square feet may either:</p> <ul style="list-style-type: none"> <li>a. Comply with the performance requirements of the MWELo and within 24 months of the date of landscape permit issuance shall install the City-approved landscape and submit a Certificate of Completion to the CDD; or</li> <li>b. Comply with the simpler Prescriptive Compliance Option contained in Appendix D to the MWELo and, by the time of final inspection for a Building Permit for the custom home, shall install the City-approved landscape and submit a Certificate of Completion to the CDD.</li> </ul> <p>Projects with an aggregate front yard landscape area of more than 2,500 square feet shall comply with the performance requirements of the MWELo and within 24 months of the date of landscape permit issuance shall install the City-approved landscape and submit a Certificate of Completion to the CDD.</p> <p>Projects with an aggregate front yard landscape area of less than 500 square feet shall submit a preliminary landscape plan to the CDD for review and approval prior to, or at the time of, the issuance of a building permit. The preliminary landscape plan shall show all proposed front yard landscaping with irrigated planting areas, plant materials, street tree species and location, footprints of buildings or structures, sidewalks, driveways, decks, patios, gravel or stone walks, or other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (such as open spaces and existing native vegetation). The preliminary landscape plan shall also include the calculation of front yard landscape area consistent with the definition herein. The City-approved landscaping shall be installed within 24 months of the date of building permit issuance. Any significant modification to the City-approved landscaping shall comply with the State’s Model Water Efficient Landscape Ordinance. For purposes of this condition of approval, “landscape area” means all the irrigated planting areas, irrigated turf areas, and water features in a landscape design plan or preliminary landscape plan. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).</p>	B	CD (E)
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5.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
6.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)
7.		If any tree(s), protected or otherwise, are within the property, on the property line or encroaching into the property, an arborist report is required which locates, identifies, assesses and quantifies each tree. A tree permit, protection plan and appropriate mitigation shall also be required to protect and/or account for the proposed development activities.	B	CD (E)
8.		The project approval granted under this staff report shall remain in effect for two years from final date of approval (July 1, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval.	B	CD (P)

RESPONSIBLE DEPARTMENT		WHEN REQUIRED	
CD	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
(P)		M	Prior to approval of Final Map
(E)		B	Prior to issuance of first Building Permit
(B)		O	Prior to approval of Occupancy Permit
(F)		G	Prior to issuance of Grading Permit
PW		Public Works Department	DC
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

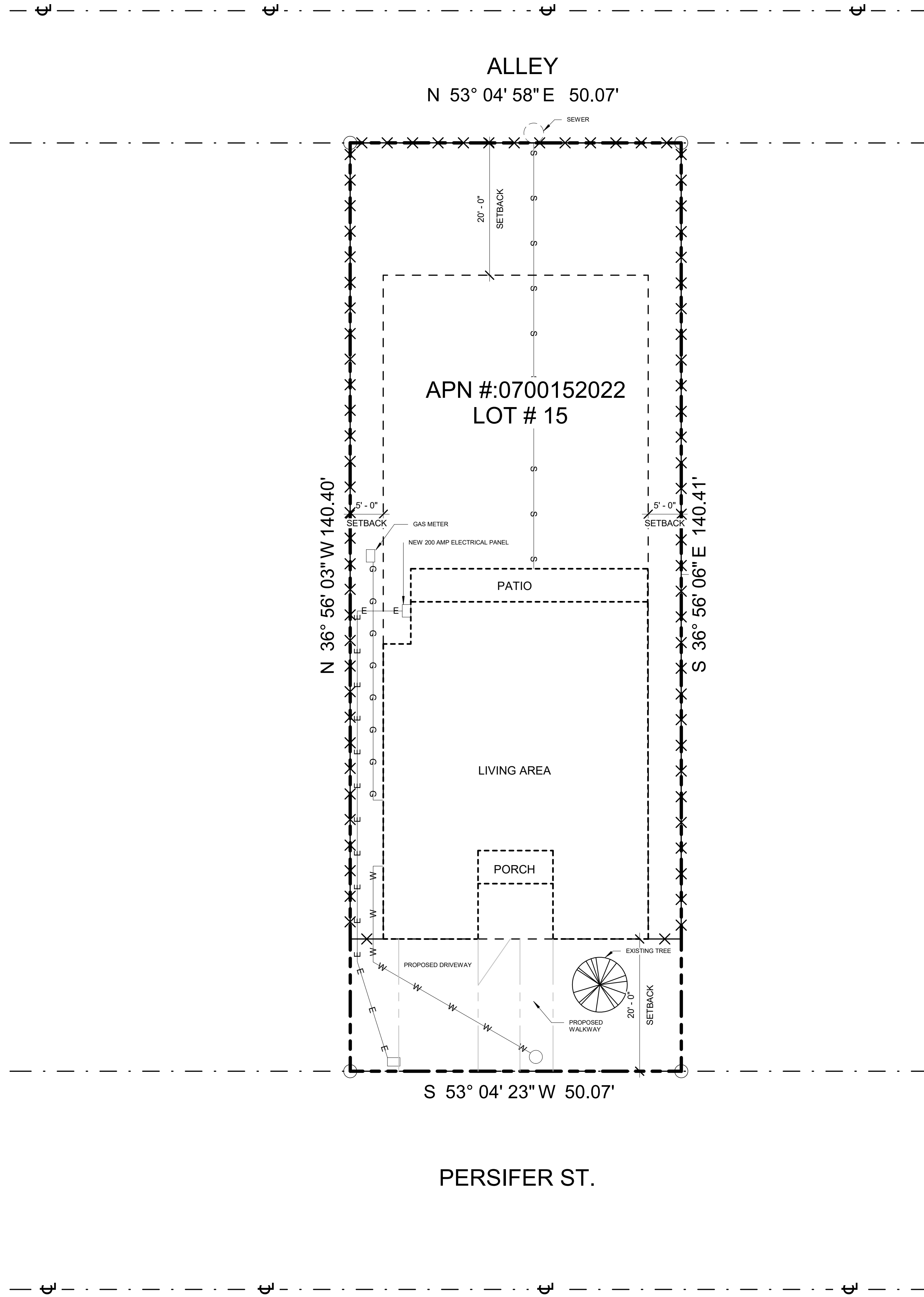
Historic District Commission  
904 Persifer Street Custom Home (PN 20-105)  
July 1, 2020

## **Attachment 4 Vicinity Map**



Historic District Commission  
904 Persifer Street Custom Home (PN 20-105)  
July 1, 2020

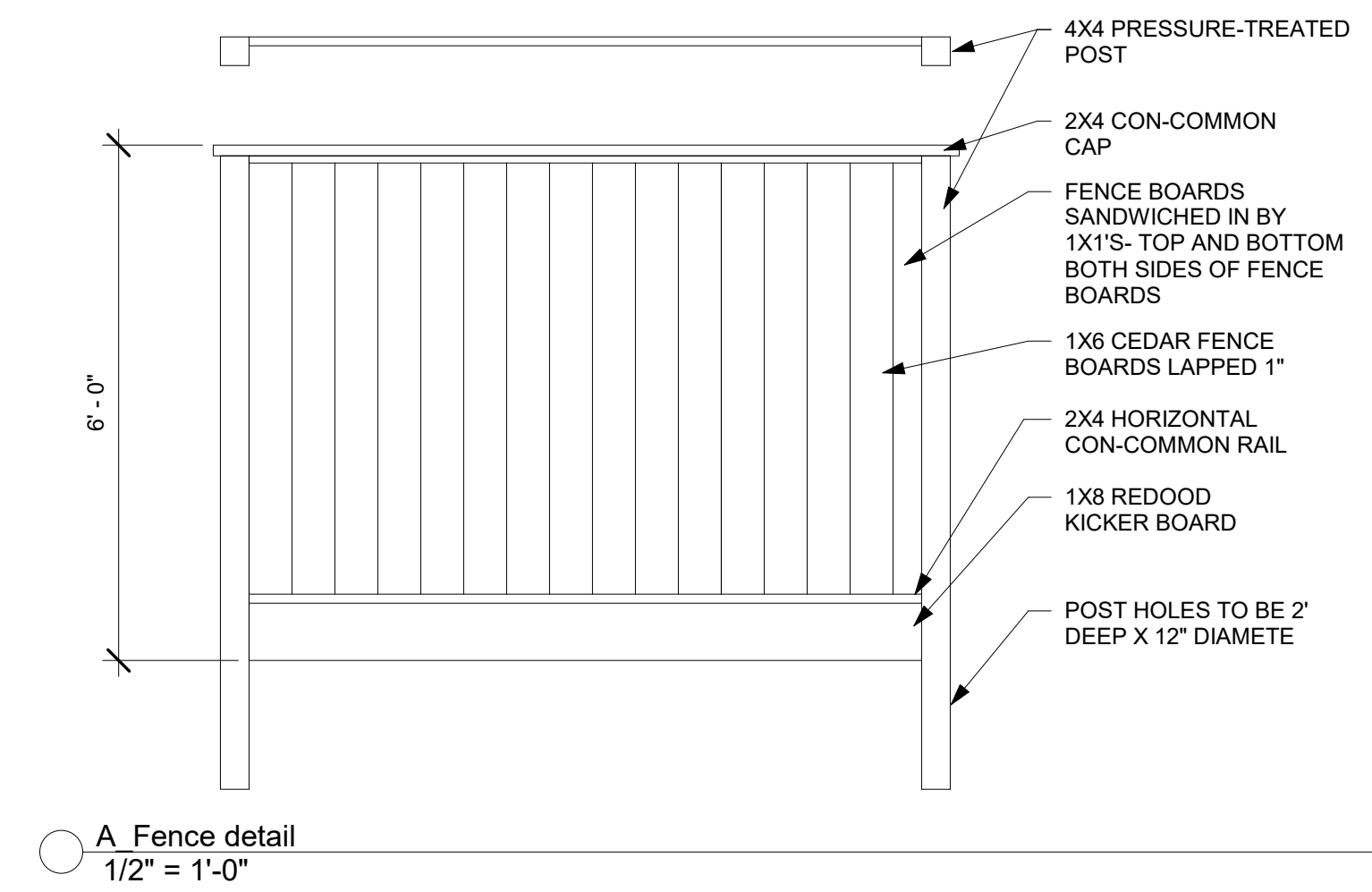
**Attachment 5**  
**Site Plan, Floor Plan and Elevations, dated April**  
**17, 2020**



LEGEND

DIMENSION POINT	
PROPERTY LINE	
SET-BACK LINE	
PAD LINE	
DRIVEWAY	
PROPOSED DRIVEWAY	
WATER LINE	
GAS LINE	
ELECTRICAL LINE	
SEWER LINE	
INTERNET AND TV LINE	
PROPOSED FENCE LINE	
DRAINAGE DIRECTION	

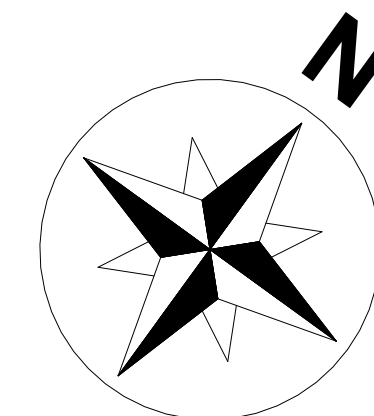
LOT COVERAGE	
LOT SIZE	7,205 SQ-FT
SPACE USED	1,862 SQ-FT
LOT COVERAGE	25.84%

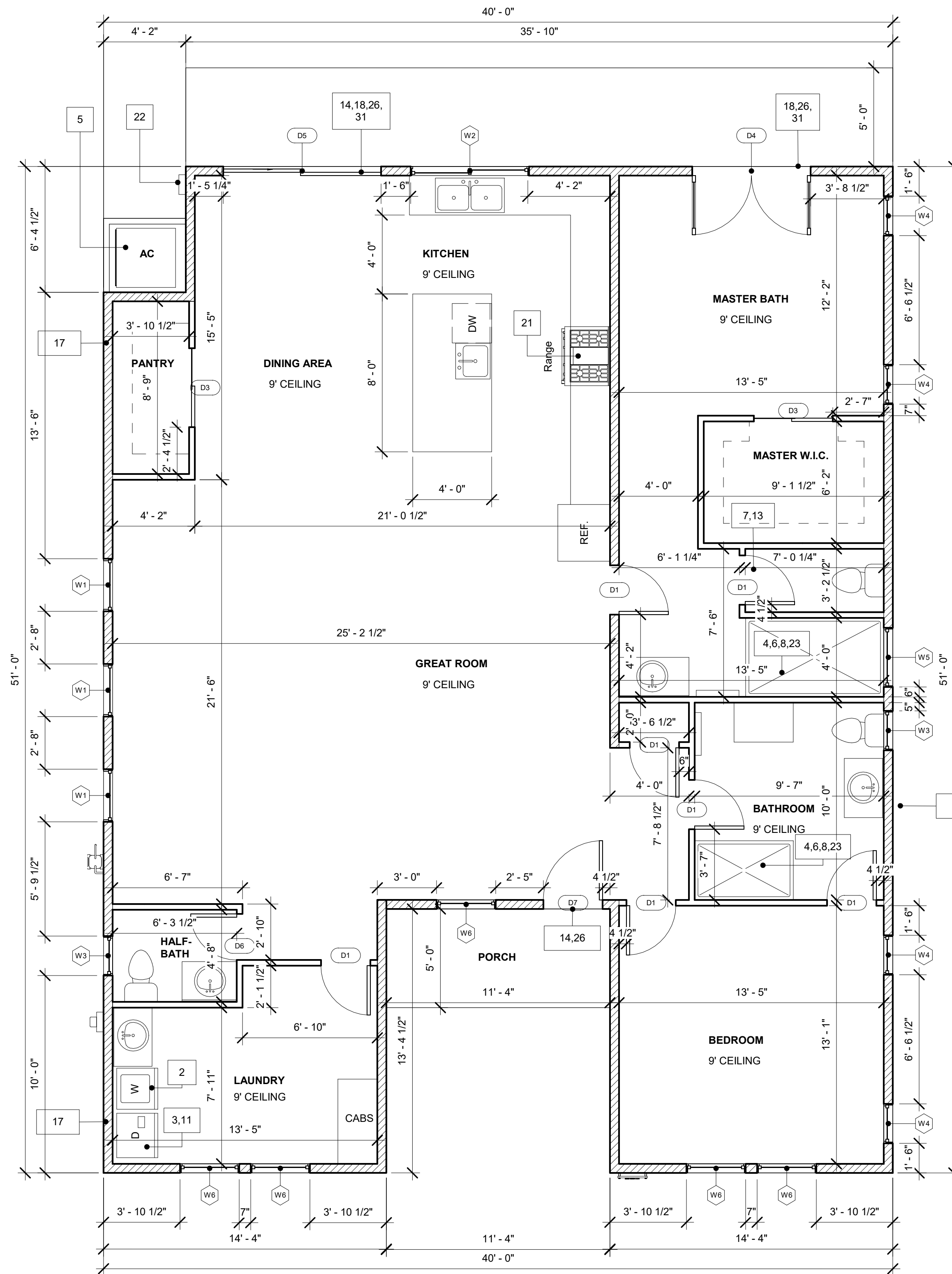


1 SITE PLAN  
1" = 10'-0"

SHEET INDEX

- A1 SITE PLAN
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- A5 COLORBOARD





1 1ST FLOOR  
1/4" = 1'-0"

KEY NOTES

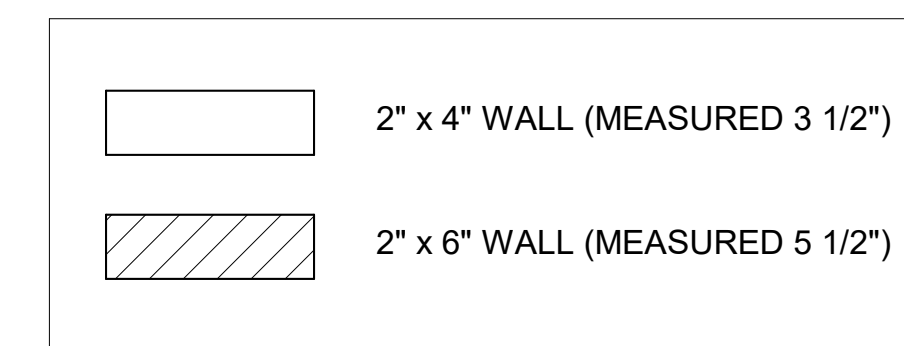
- TANKLESS GAS WATER HEATER (.82 EF)
- WASHER
- DRYER
- TEMPERED GLASS SHOWER DOOR
- AC PAD (220 VOLTS) (20 AMPS)
- SHOWER COMPARTMENT REGARDLESS OF SHAPE, HAVING A MIN. OF INTERIOR FLOOR AREA OF 1024 SQUARE IN., AND ALSO CAPABLE OF ENCOMPASSING 30 IN CIRCLE
- A MINIMUM OF 22"x30" READILY ACCESSIBLE ATTIC ACCESS WITH A MINIMUM OF 30" HEADROOM ABOVE FOR EACH SEPERATE ATTIC AREA. NO SHELVING BELOW ATTIC ACCESS.
- HOT MOP OR SHEET MEMBRANE SYSTEM UNDER 1 1/2" MORTAR BED WITH REINFORCING, AND 1/2" THICK TILE (HARD SURFACE) IN SHOWER 6" HIGH MIN.
- HOT WATER GAS EXHAUST TO THE EXTERIOR PROVIDE PRV DRAIN PIPE FROM WH TO THE EXTERIOR
- HOT WATER TANK SEAT ON 18" HIGH FLAT FORM. SEE TITLE 24 FOR SIZE SPECIFICATIONS, AND TYPE.
- SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE WITH BACK DRAFT DAMPER THIS DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14' INCLUDING TWO 90 DEG ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEG ELBOW IN EXCESS OF TWO.
- 1-3/8" SOLID CORE DOOR, OR 20 MINUTES FIRE PROOF DOOR (SELF-CLOSING AND SELF LATCHING).
- REQUIRED 24" FLAT FROM CATWALK TO FAU (NOT TO EXCEED 20FT) WITH LIGHT AND SWITCH NEAR BY ACCESS. MIN. OF 30" HEADROOM REQ'D.
- ALL PORCH/PATIO CEILINGS ARE STUCCO FINISH AND ARE TO BE SHEATHED WITH 5/8" OSB AND RING SINKER NAILS FOR STUCCO SUPPORT TYP. IF THERE IS NO GAL. METAL SHEET LAYER PROVIDED
- MIN 2% SLOPE DOWN TOWARDS DRIVEWAY TYP.
- DIRECT GAS FIREPLACE. THE PRE-MANUFACTURED FRIREPLACE WILL BE A LISTED APPROVED UNIT, AND THE LISTING AND INSTALLATION MANUAL SHALL BE AVAILABLE FOR REVIEW BY THE CITY FIELD INSPECTOR UPON REQUEST.
- PROVIDE A ONE HOUR RATED WALL ASSEMBLY FIRE RESISTIVE CRC TABLE R302.6.
- CONCRETE LANDING PAD
- NON ADSORBEN SURFACE AT TUB WALLS SHOULD CONTINUE TO A HEIGHT OF 6FT ABOVE FINISHED FLOOR
- PROVIDE A KITCHEN HOOD VENTED DIRECTLY TO THE OUTSIDE EXHAUSTING A MIN. OF 100 C.F.M. THE FAN MUST BE LISTED AT 3 SONES OR LESS FOR NOISE UNLESS FAN EXHAUST IS IN EXCESS OF 400 C.F.M.
- 200 AMP PANEL WITH METER AND UFER GROUND NEAR BY.
- THE FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE AND SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR CRC R307.2.
- MINIMUM 1/2 INCH GYPSUM BOARD ON THE GARAGE CEILING. CRC TABLE R302.6.
- THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120° F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. CPC 408.3, 409.4.
- EXTERIOR LANDINGS AT THE EXTERIOR DOORS SHALL NOT BE MORE THAN 7 1/2 INCHES BELOW THE TOP OF THE THRESHOLD. 2% MAXIMUM SLOPE OF LANDING. CRC R311.3.1.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS SHALL BE 26 GAUGE MINIMUM. CRC R307.2.
- WHOLE HOUSE FAN (COOLING VENT CFM = 3126 , TOTAL WATTS = 299)
- 2X6 WALLS IN LIVING AREA = R-19 EXTERIOR WALL INSULATION
- LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD.
- LANDINGS ON EACH SIDE OF THE DOOR WITH A MINIMUM LENGTH OF 36" IN THE PATH OF TRAVEL AND MINIMUM WIDTH TO MATCH THE DOOR WIDTH PER R311.3

Door Schedule					
Type Mark	Width	Height	Head Height	Count	Door Type
D1	2' - 6"	6' - 8"	6' - 8"	7	Flush Swing
D3	4' - 0"	6' - 8"	6' - 8"	2	Sliding-Closet
D4	6' - 0"	7' - 0"	7' - 0"	1	Double-Glass
D5	8' - 0"	7' - 0"	7' - 0"	1	Double-Sliding
D6	2' - 4"	6' - 8"	6' - 8"	1	Flush Swing
D7	3' - 0"	7' - 0"	7' - 0"	1	Flush Swing

Window Schedule					
Type Mark	Width	Height	Head Height	Count	Window Type
W1	2' - 8"	1' - 0"	7' - 0"	3	Fixed
W2	6' - 0"	4' - 0"	7' - 0"	1	Slide
W3	2' - 0"	2' - 0"	7' - 0"	2	Hung
W4	2' - 0"	6' - 0"	7' - 0"	4	Hung
W5	3' - 0"	2' - 0"	7' - 0"	1	Hung
W6	3' - 0"	6' - 0"	7' - 0"	5	Hung

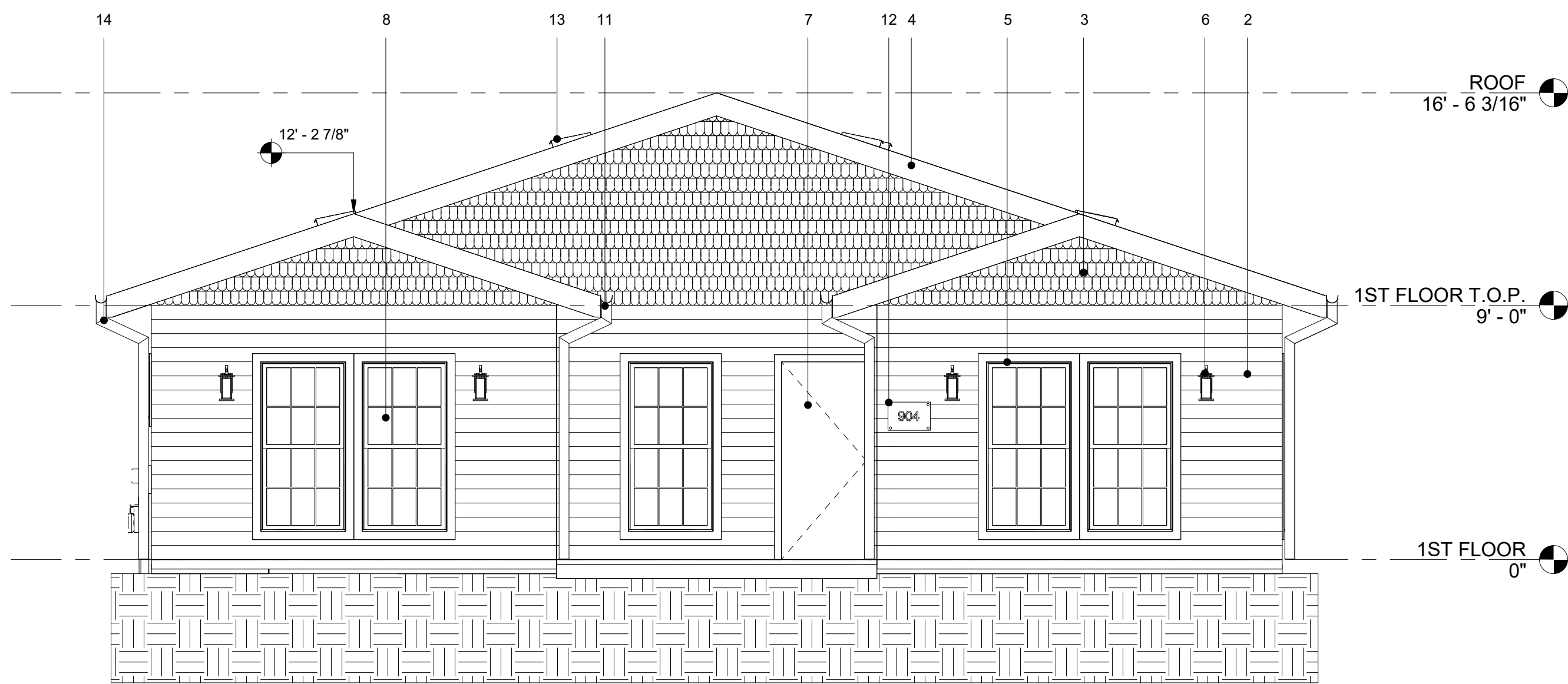
Area Schedule	
Area	Name
1862 SF	LIVING AREA
179 SF	PATIO
57 SF	PORCH

WALL LEGEND

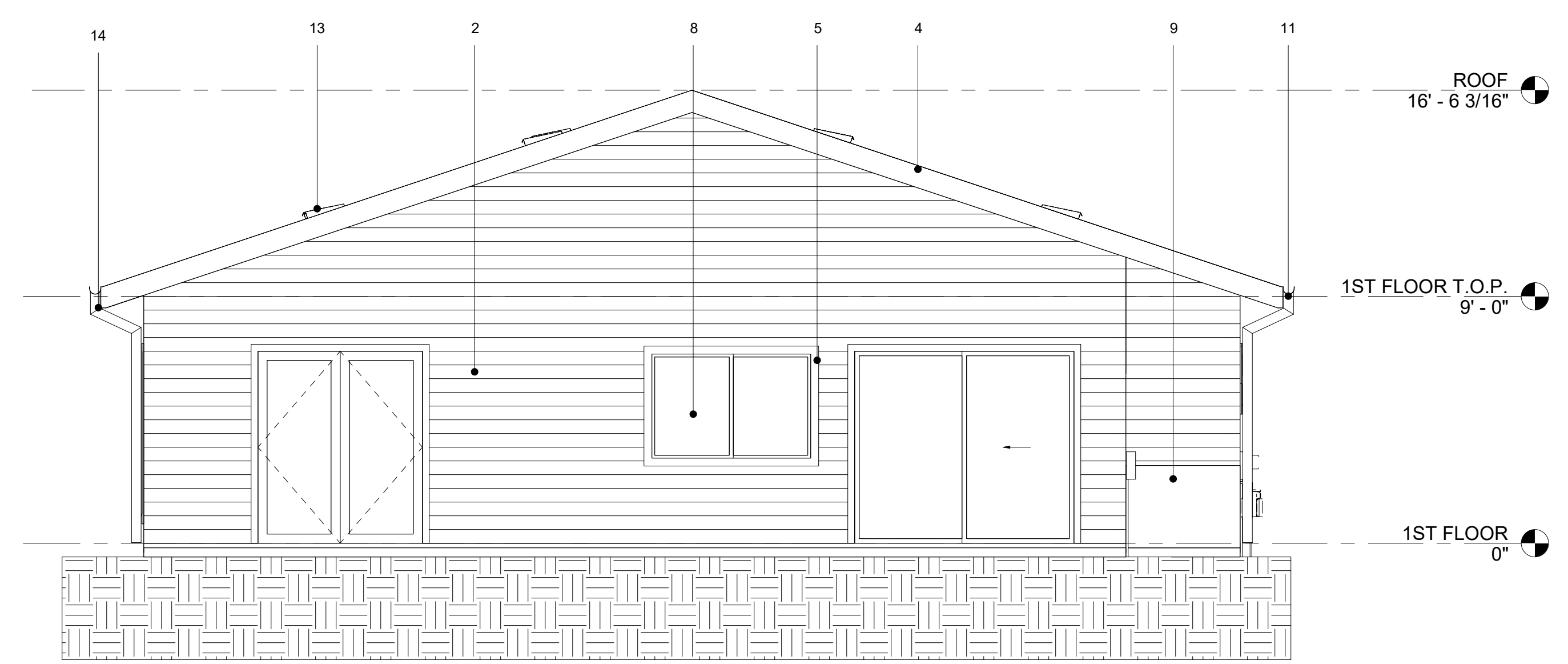


SHEET INDEX

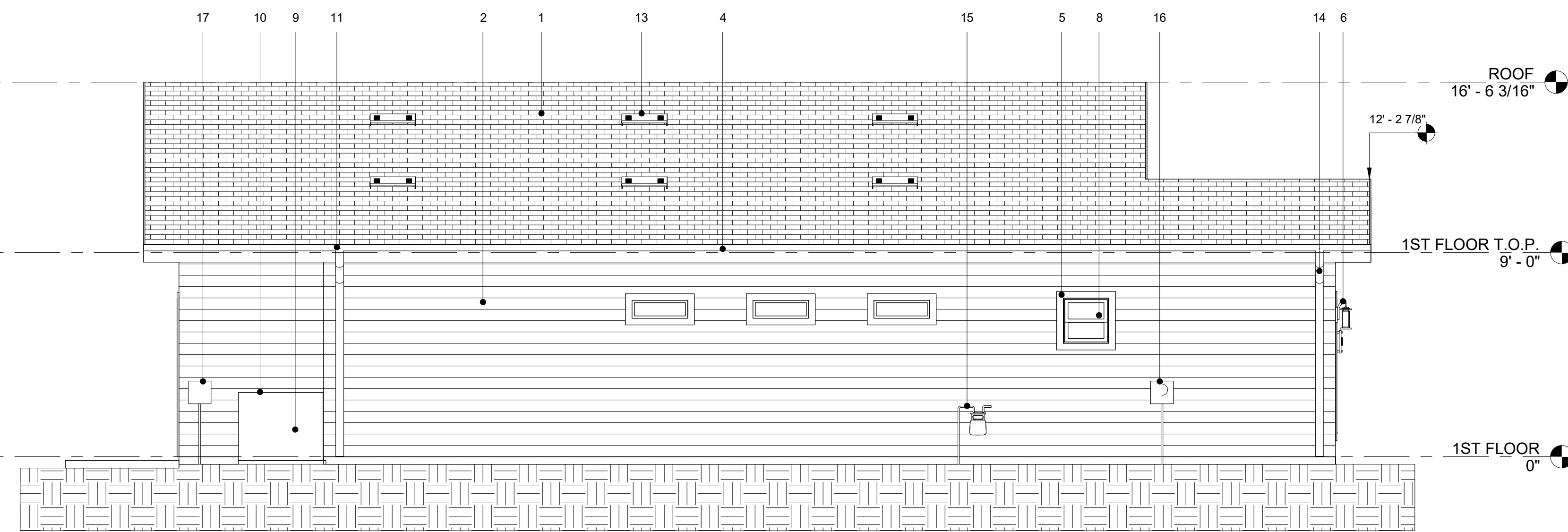
- A1 SITE PLAN
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- A5 COLORBOARD



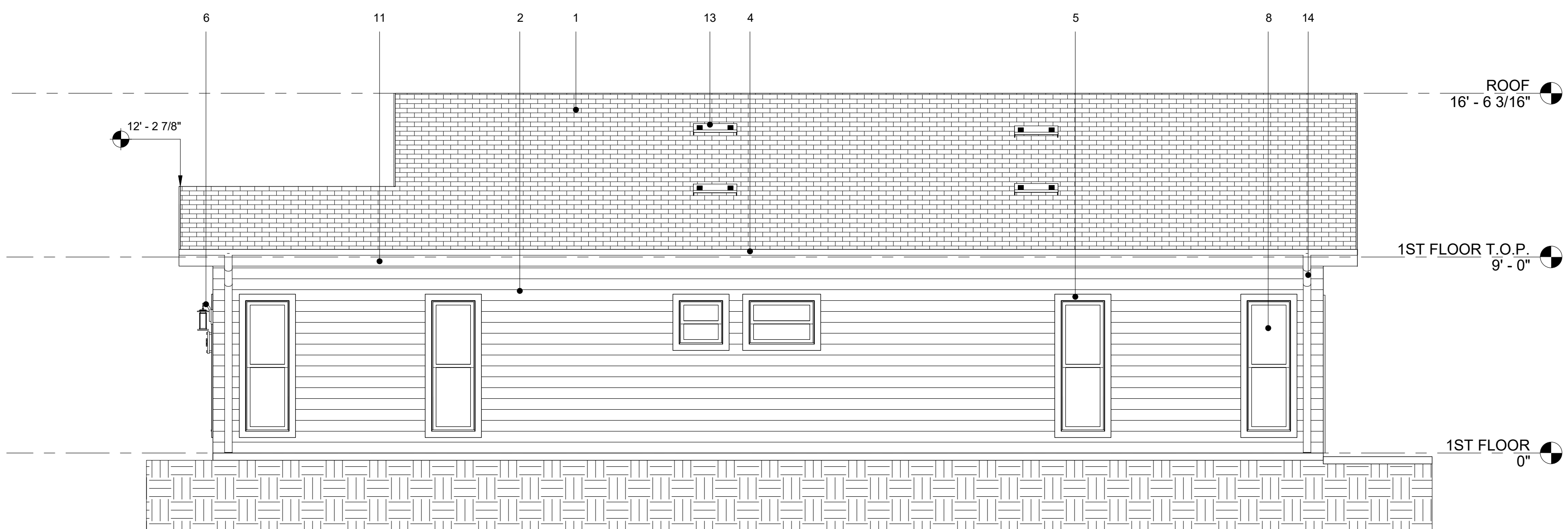
2 FRONT ELEVATION  
1/4" = 1'-0"



4 REAR ELEVATION  
1/4" = 1'-0"



3 LEFT ELEVATION  
1/4" = 1'-0"



5 RIGHT ELEVATION  
1/4" = 1'-0"

KEY NOTES

- ROOF TILE BY EAGLE ROOFING. 3743 COCOA RANGE. ROOF PITCH 3:12. OVERHANG: 1'-6"
- HARDI SIDING (COLOR: 4004 GREY SUIT BY VALSPAR PAINT)
- SCALLOP SIDING ( ULTRA WHITE 7006 -24 BY VALSPAR PAINT)
- FASCIA BOARD (COLOR: 4004 GREY SUIT BY VALSPAR PAINT)
- ALL TRIM (ULTRA WHITE 7006 -24 BY VALSPAR PAINT)
- EXTERIOR LIGHTING ( J SIERRA CRAFTSMAN 16 1/2" OUTDOOR LIGHT BY LAMPS PLUS)
- FRONT DOOR SIMPSON CRAFTSMAN (COLOR WHITE)
- FAIRFIELD 80 SERIES WINDOWS/SLIDING DOORS BYALLSIDE WINDOWS (BRONZE COLOR)
- AC SCREENING (STUCCO FINISH)
- AC UNIT SHALL BE LOCATED AND SECURED TO A MINIMUM 3-INCH THICK SLAB OR APPROVED PLATFORM.
- GUTTER (COLOR: PPU5-01 ESPRESSO BEAN BY BEHR).
- THE APPROVED ADDRESS NUMBERS SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM 1/2" WIDE STROKE. CFC 505, CRC R319, FMCB.36.080 THE NUMBERS SHALL BE ILLUMINATED AT NIGHT. WHEN EXTERNALLY ILLUMINATED THE FACE OF THE SIGN SHALL BE AT A MINIMUM OF 5.0 FOOT CANDLES. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT ILLUMINATION. FMC 8.36.080.
- O'HAGIN VENTS FOR CLAY TILE ROOF MODEL "S".
- DOWNSPOUT
- GAS METER
- WATER METER
- ELECTRICAL METER

ATTIC VENTILATION CALCULATIONS

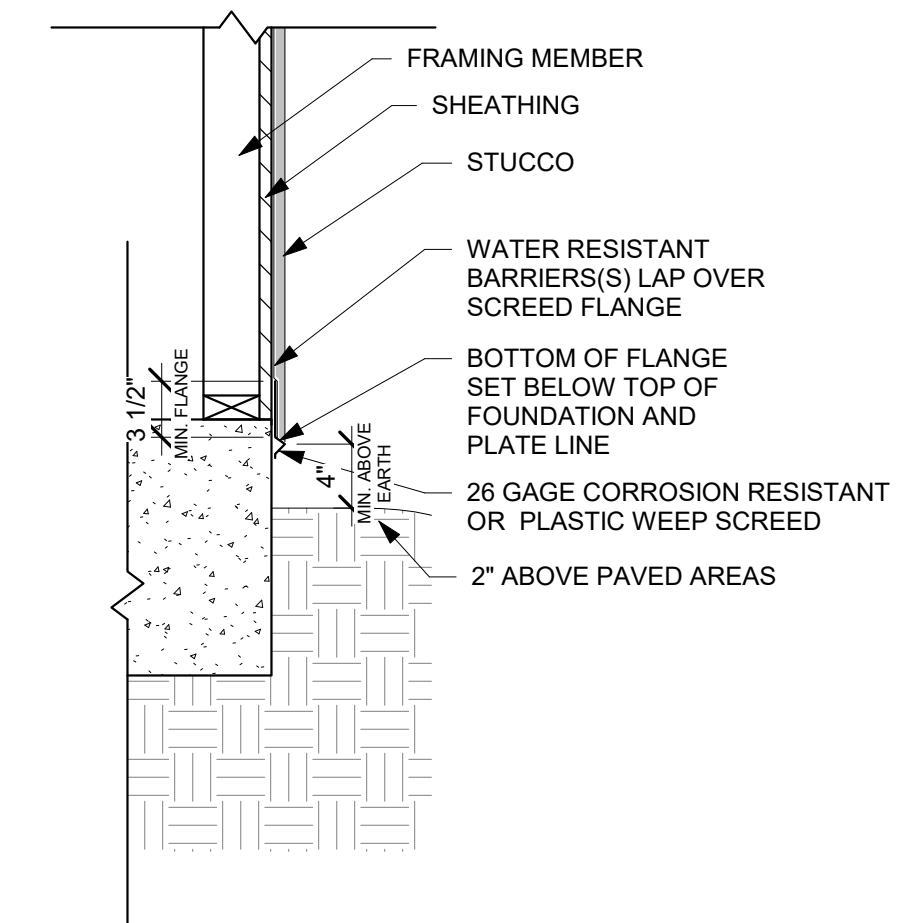
VENTILATION REQUIRED

AREA VENTILATED	VENTILATION RATE	REQUIRED AREA (AREA VENTILATED/300) x 144 = SQ.IN.
1,862 SQ.FT	300 TH	893.76 SQ.IN

- NOTES:  
1. ALL OPENINGS SHALL BE COVERED WITH MIN. 1/16" AND MAX. 1/8" METAL MESH.

VENTILATION PROVIDED

VENTILATOR TYPE	MODEL	NET AREA	VENT LOCATION	QUANTITY	AREA VENTILATED
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	UPPER HALF	5	493.75 SQ-IN
LOW PROFILE VENT	O'HAGIN FLAT	98.75 SQ-IN	LOWER HALF	5	493.75 SQ-IN
				TOTAL	987.5 SQ-IN



1 A - WEEP SCREED DETAIL  
1" = 1'-0"

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- A1 SITE PLAN
- A2 FLOOR PLAN
- A3 ELEVATIONS
- A4 ROOF PLAN
- A5 COLORBOARD



Historic District Commission  
904 Persifer Street Custom Home (PN 20-105)  
July 1, 2020

## **Attachment 6**

# **Proposed Colors and Materials**

DATE	DESCRIPTION	REV. #



1 FRONT ELEVATION  
3/8" = 1'-0"

CHOOSE THE WINDOWS, DOORS & OPTIONS  
THAT ARE RIGHT FOR YOU.

WINDOW & DOOR TYPES

Building an energy-efficient home doesn't mean you have to restrict your dreaming. Andersen® 100 Series windows and doors come in styles, shapes and even custom sizes to create the look you want.



SINGLE-HUNG WINDOWS

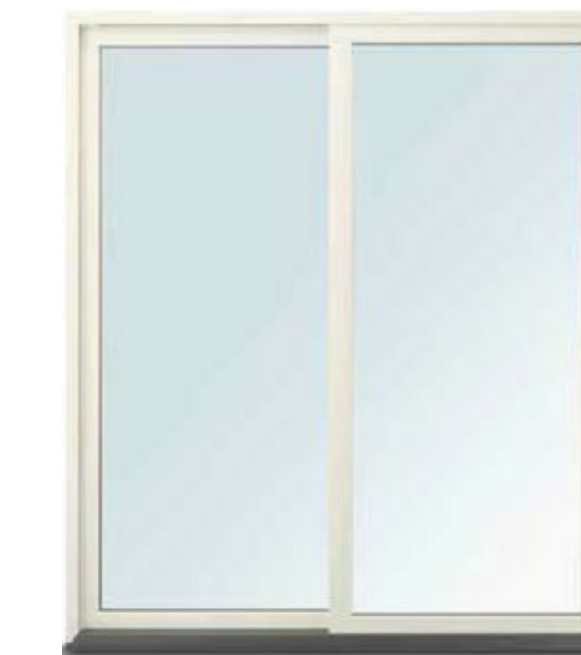
This style features a stationary upper sash that is also available with an arched top to enhance the look of your home.

CASEMENT & AWNING WINDOWS

Both styles open with a simple turn of a handle and can also be ordered as stationary windows.

GLIDING WINDOWS

These windows have one stationary sash and one that opens. A three-sash configuration, where two sash glide past a fixed center sash, is also available.



GLIDING PATIO DOORS

Patio doors feature one stationary panel and one that glides smoothly on adjustable rollers. They feature a multi-point locking system for enhanced security, and an optional exterior keyed lock for convenience. For more character, consider adding 100 Series sidelight windows on each side of your door and a transom window on top.



PICTURE & SPECIALTY WINDOWS

Arch, Springline®, half circle, quarter circle, full circle, and rectangle shapes are available to complement your home's architecture. New additional shapes include: angled pentagon, peak pentagon, right triangle, isosceles triangle, octagon, trapezoid and unequal leg arch.



Available in custom sizes for all projects, including replacement.

\*See your local code official for building code requirements in your area.

WINDOWS AND SLIDING DOORS

GLASS

Choose the right glass to maximize performance.

SMARTSUN® GLASS

Low-E SmartSun® glass is the most energy-efficient glass we have ever offered. It rejects unwanted solar heat to help reduce cooling costs and blocks 99% of UV rays that can cause your home furnishings to fade — all while providing a clear view.

LOW-E GLASS

Energy-efficient Low-E glass is available on all 100 Series products, and can help reduce energy bills in any climate.

HEATLOCK™ TECHNOLOGY

Our HeatLock™ coating can increase the energy efficiency of any 100 Series window or patio door with Low-E or SmartSun glass. Applied to the room-side glass surface, it reflects heat back into the home and improves U-Factor, which can help the window or door meet ENERGY STAR® requirements.

DUAL-PANE GLASS

Dual-pane glass is available for projects where codes allow its use.

SOUND-REDUCING GLASS

This glass option helps reduce the volume of outside noise. Available with Low-E, SmartSun and Heat Lock coatings.

PATTERNED GLASS

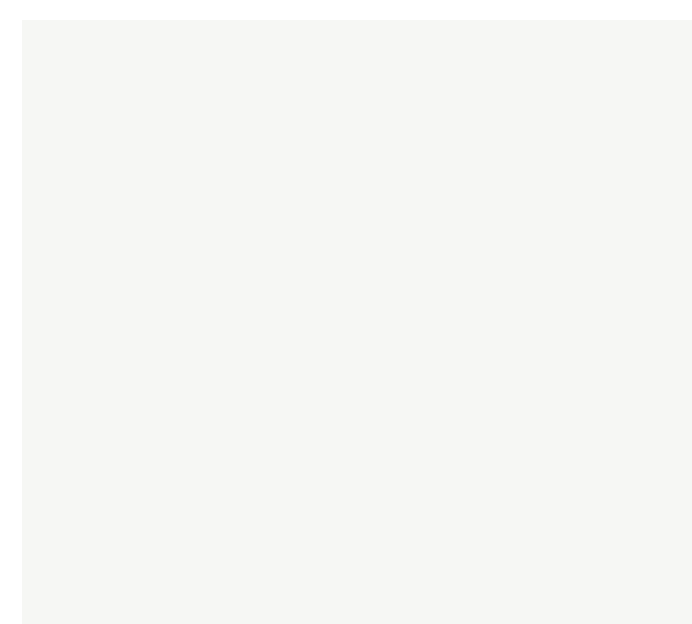
Our patterned glass is ideal in bathrooms, entryways, offices and other areas where you want to let light in to your home while obscuring the vision of people outside. It delivers all the benefits of Low-E glass and can also be ordered with Low-E SmartSun glass.



Grey Suit

4004-2A | Valspar  
Available at Lowe's

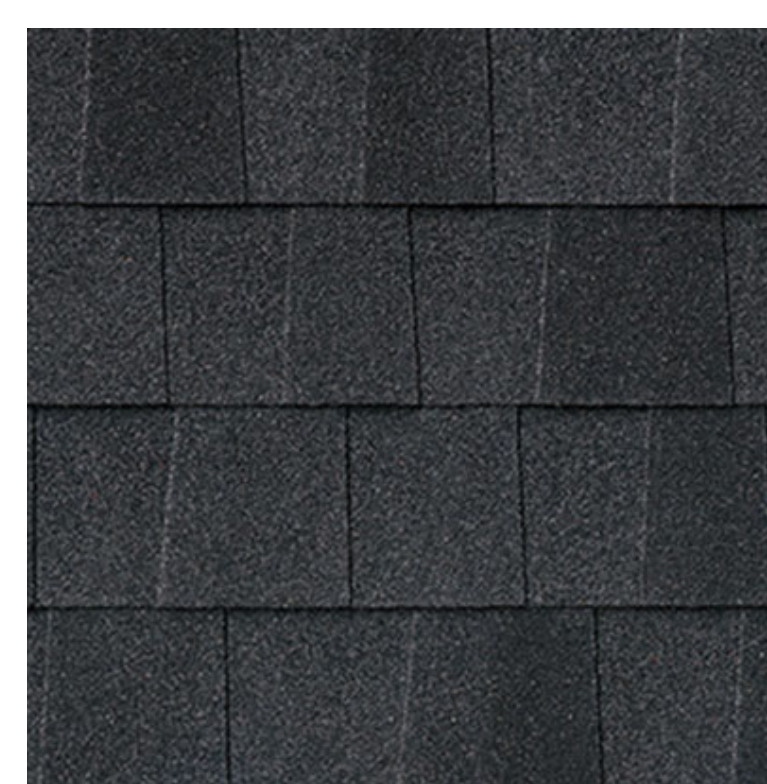
SIDING/FASCIA COLOR



Ultra White

7006-24 | Valspar  
Available at Lowe's

SCALLOP/TRIM COLOR



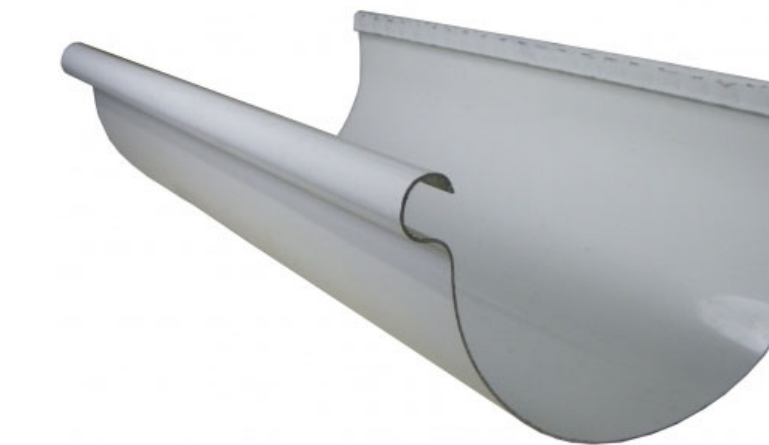
AHSPALT SHINGLE ROOF



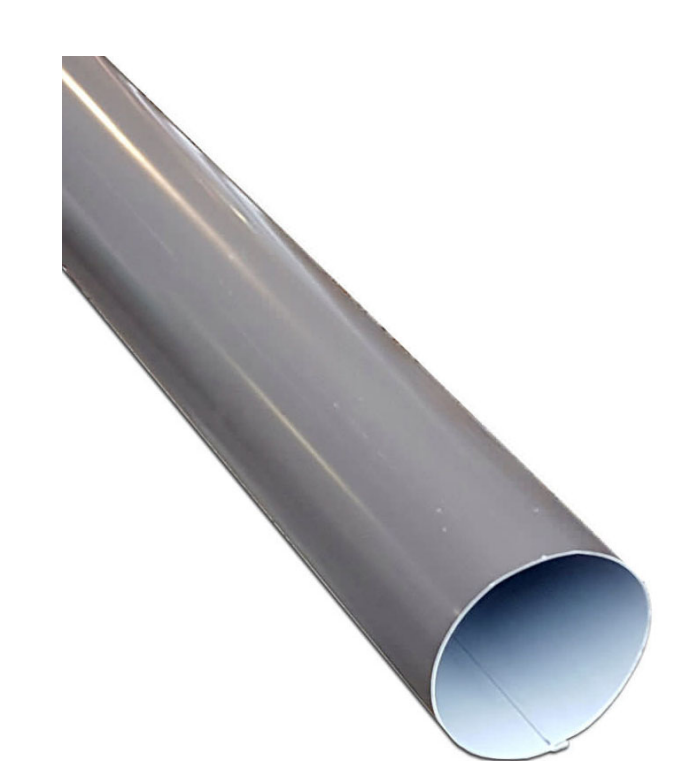
WALL LIGHT ( J du J Sierra Craftsman 16 1/2")



SCALLOP SIDING



ALUMINUM HALF ROUND GUTTER



ALUMINUM ROUND  
DOWNSPOUT

SHEET INDEX

- A1 SITE PLAN
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Historic District Commission  
904 Persifer Street Custom Home (PN 20-105)  
July 1, 2020

## **Attachment 7**

### **Photograph of Project Site**



Historic District Commission  
904 Persifer Street Custom Home (PN 20-105)  
July 1, 2020

**Attachment 8**  
**Comment Letter from the Heritage Preservation**  
**League of Folsom, Dated May 4, 2020**

**HERITAGE PRESERVATION LEAGUE OF FOLSOM  
PROJECT APPLICATION REVIEW**

May 4, 2020

*HPL is observing Federal Guidelines for ‘Social Distancing’ and State Orders to ‘Stay at Home’ during the COVID-19 Pandemic.*

**PROJECT:** New residence at 904 Persifer Street in the Central Subarea of the Historic Residential Area (PN20-105).

**REQUEST:** Residential Design Review

**PROJECT**

**HISTORY:** Application Circulated by City on May 1, 2020.  
Feedback requested by May 15.

**GENERAL COMMENTS**

The property at 904 Persifer Street is a vacant historic lot (50 x 140 feet). An older residence with a one car attached garage in addition to a back yard detached garage have recently been removed from this lot.

As a general impression, the proposed new residence appears to mix several architectural design styles.

**SITE PLAN**

Front driveways and attached garages are discouraged in the Central Subarea. The applicants are not proposing to attach a garage to the new residence, but a front yard driveway has been shown on the site plan.

Parking spaces in the front setback area cannot be included with the two parking spaces that are required for a residential property.

Site Recommendations

Two parking spaces need to be identified in the back yard. These parking spaces should be screened by landscaping.

The front yard driveway should be replaced by landscaping.

**ARCHITECTURE**

The proposed residence includes elements of historic architecture, but it does not reflect the homes that were constructed in Folsom between 1850 to 1950 or the existing homes in the surrounding neighborhood.

### Architectural Recommendations

Consider the following building modifications along the front façade:

- Use windows with a more historic design  
*As an example, the two large sliding windows on each side of the front entrance area could be replaced by two pairs of hung windows or windows with divided panes of glass. The two windows next to the front door could be reduced to one window with a row of smaller glass panes at the top and bottom.*
- Demonstrate on the color board that the selected front door has a paneled design and a smaller window in the top half.
- Create a more residential look by adding wall lights in the recessed front entrance area in lieu of wall lights along the façades on either side.

Select the following façade materials to give the overall building a more historic look:

- Dimensional composition shingles that resemble wood shakes.
- Rounded gutters and downspouts.

## **Attachment 9**

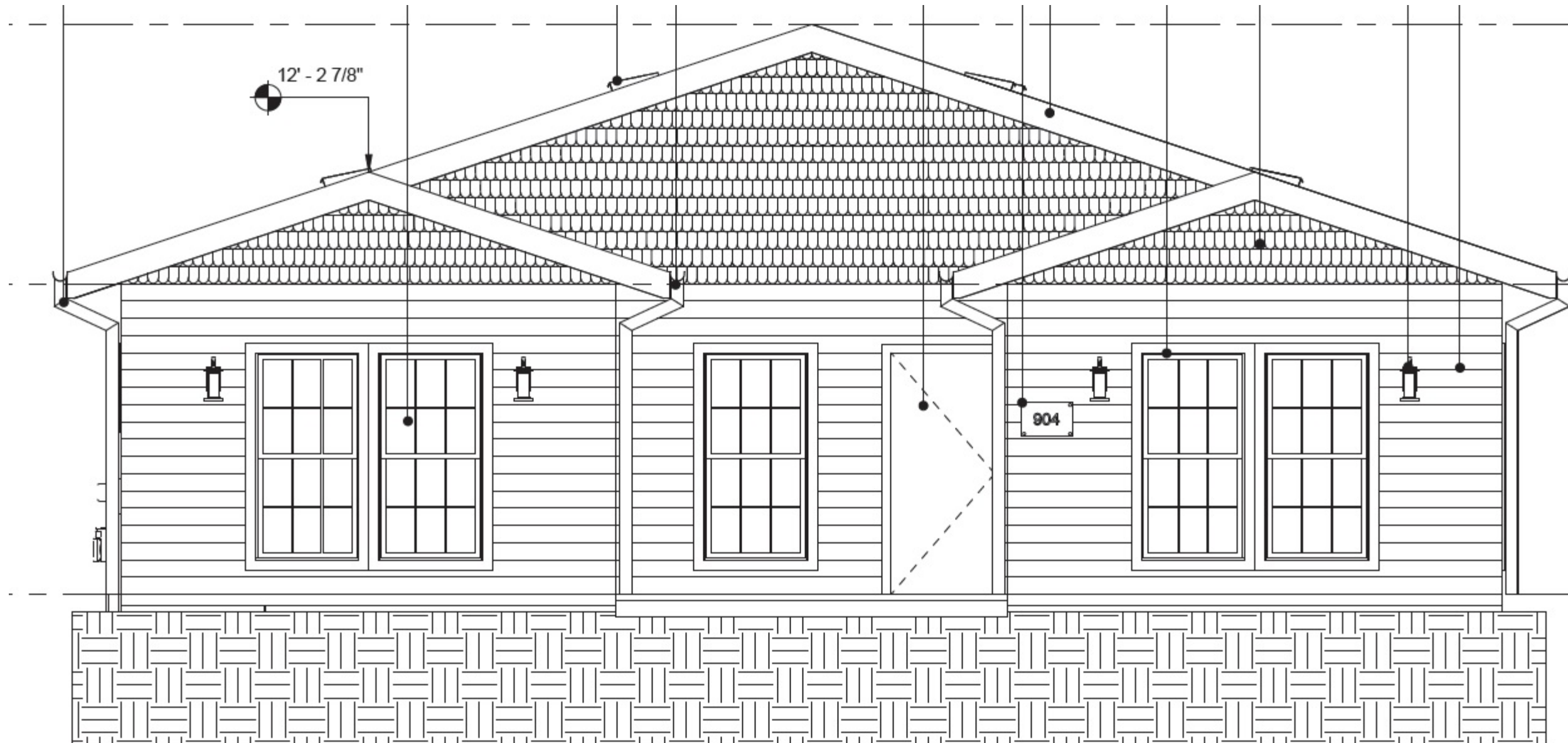
# **Staff PowerPoint Presentation**

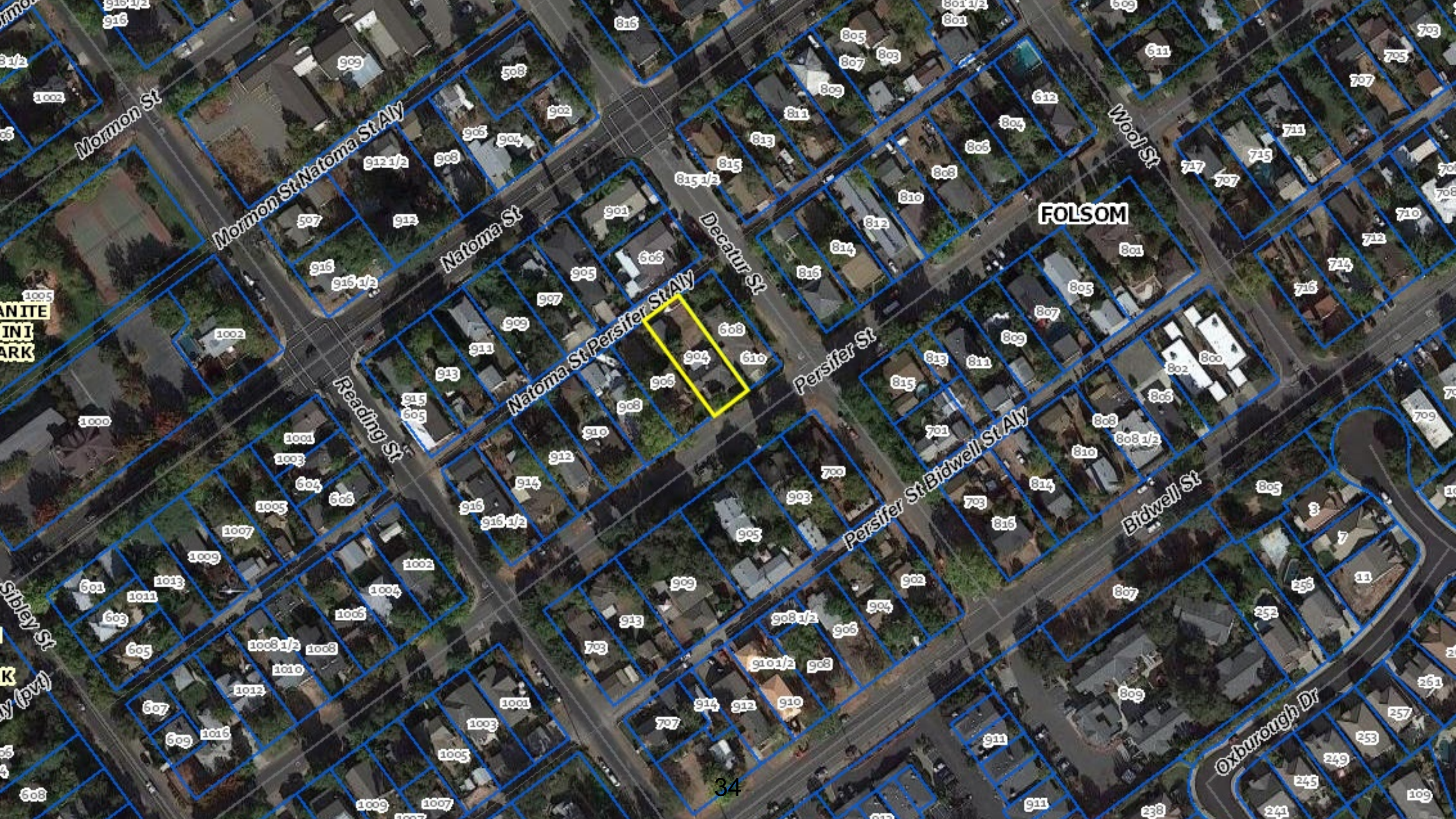


# 904 Persifer Street Custom Home



CITY OF  
**FOLSOM**

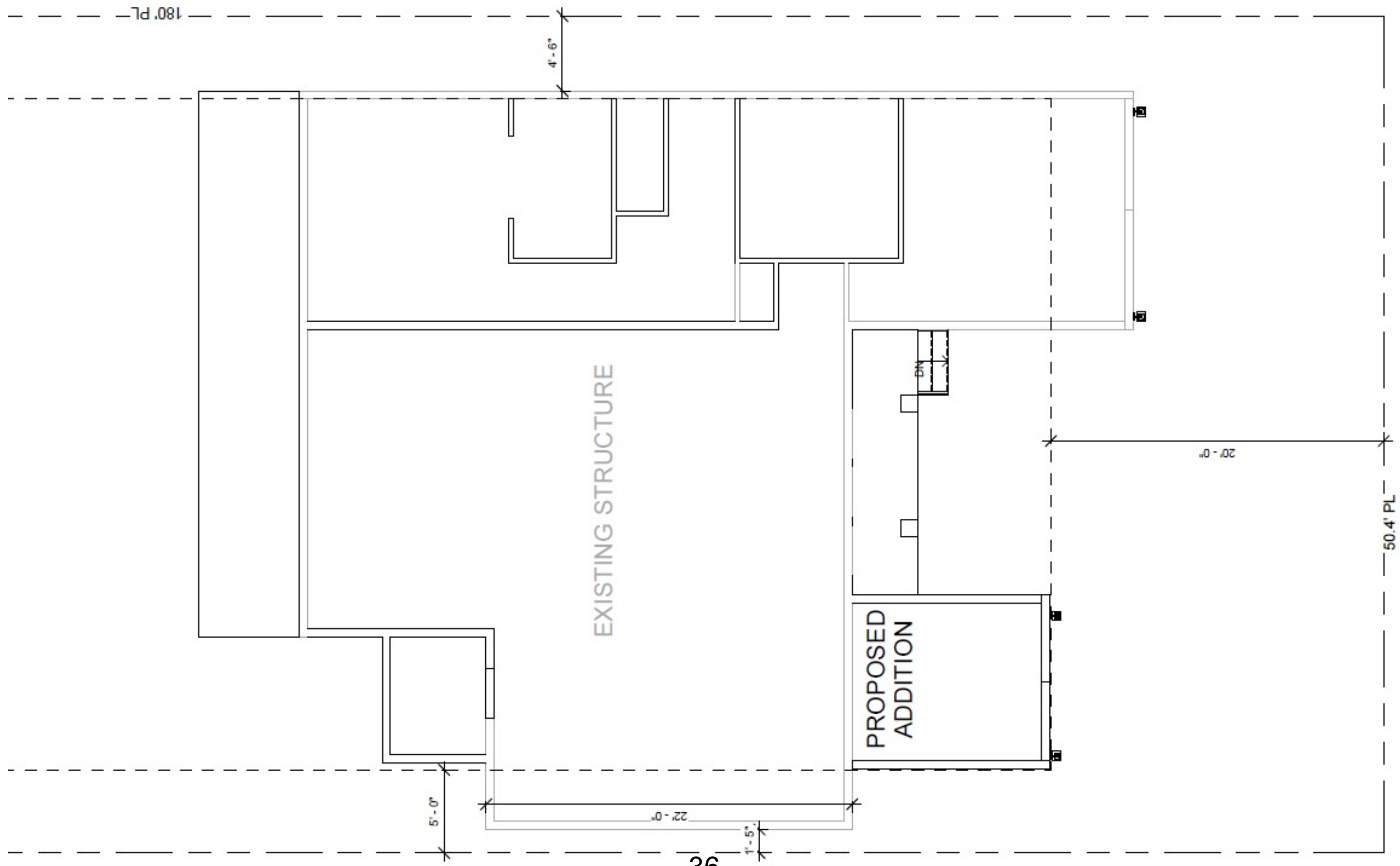




FOLSOM



35



180' PL

180' PL

EXISTING STRUCTURE

PROPOSED  
ADDITION

DN

36

50.4' PL

20'-0"

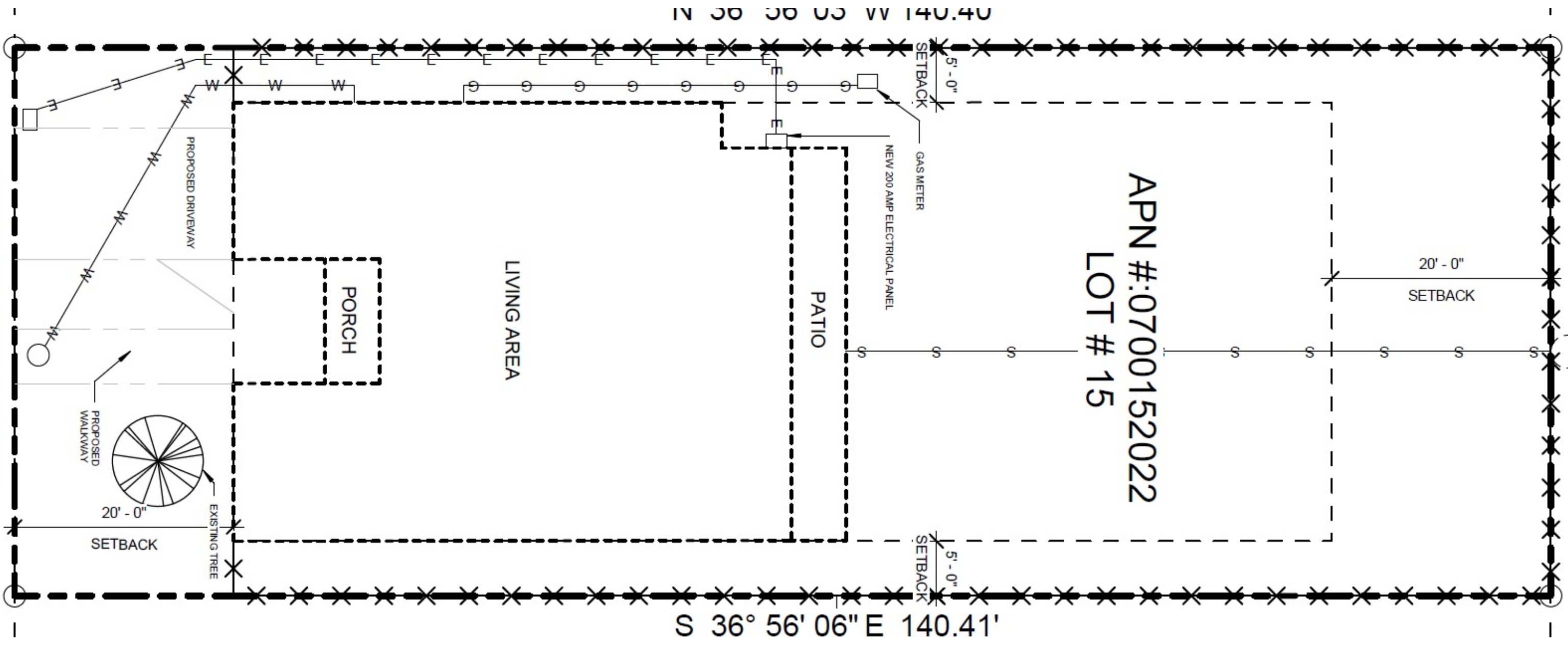
4'-6"

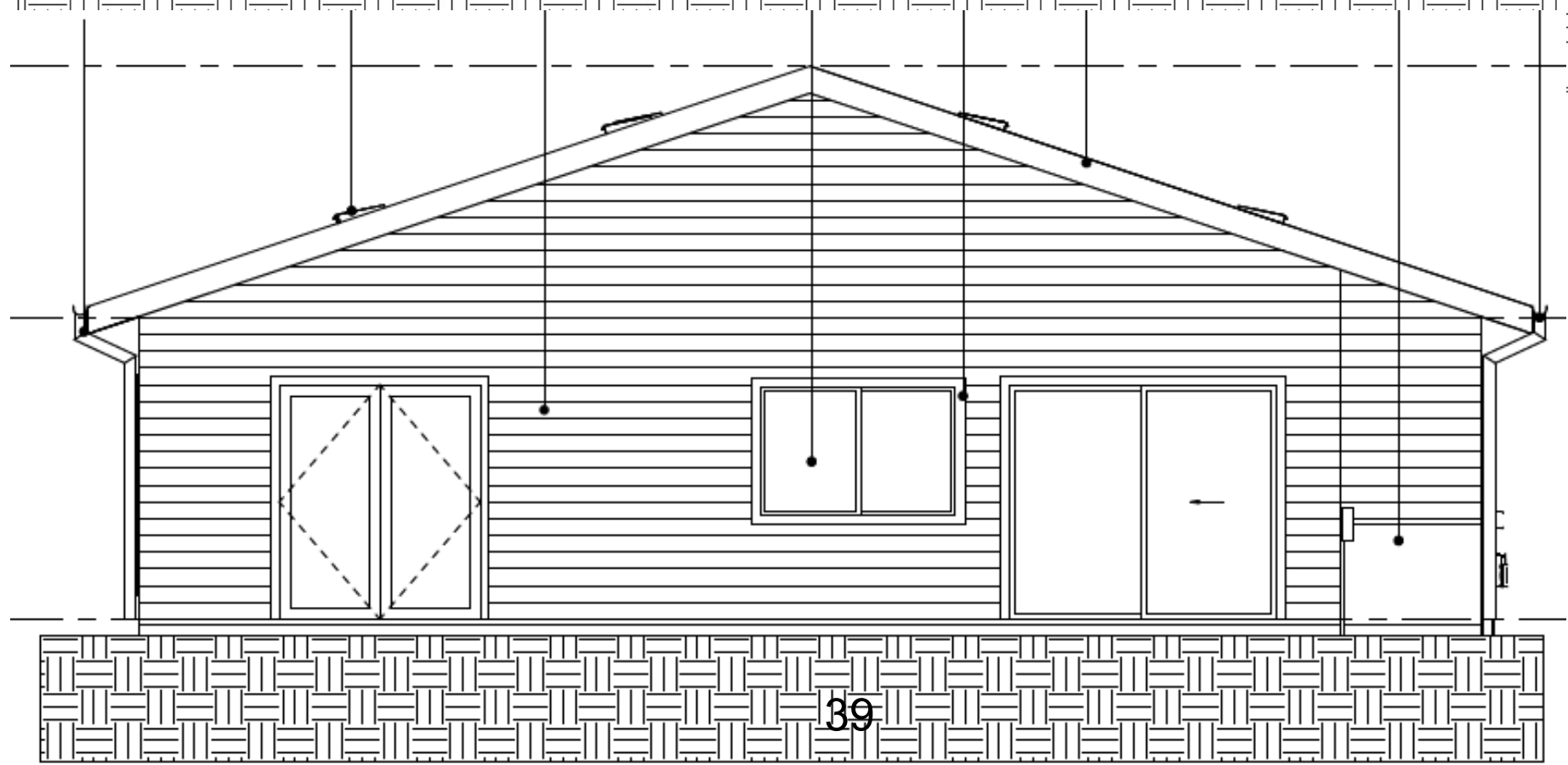
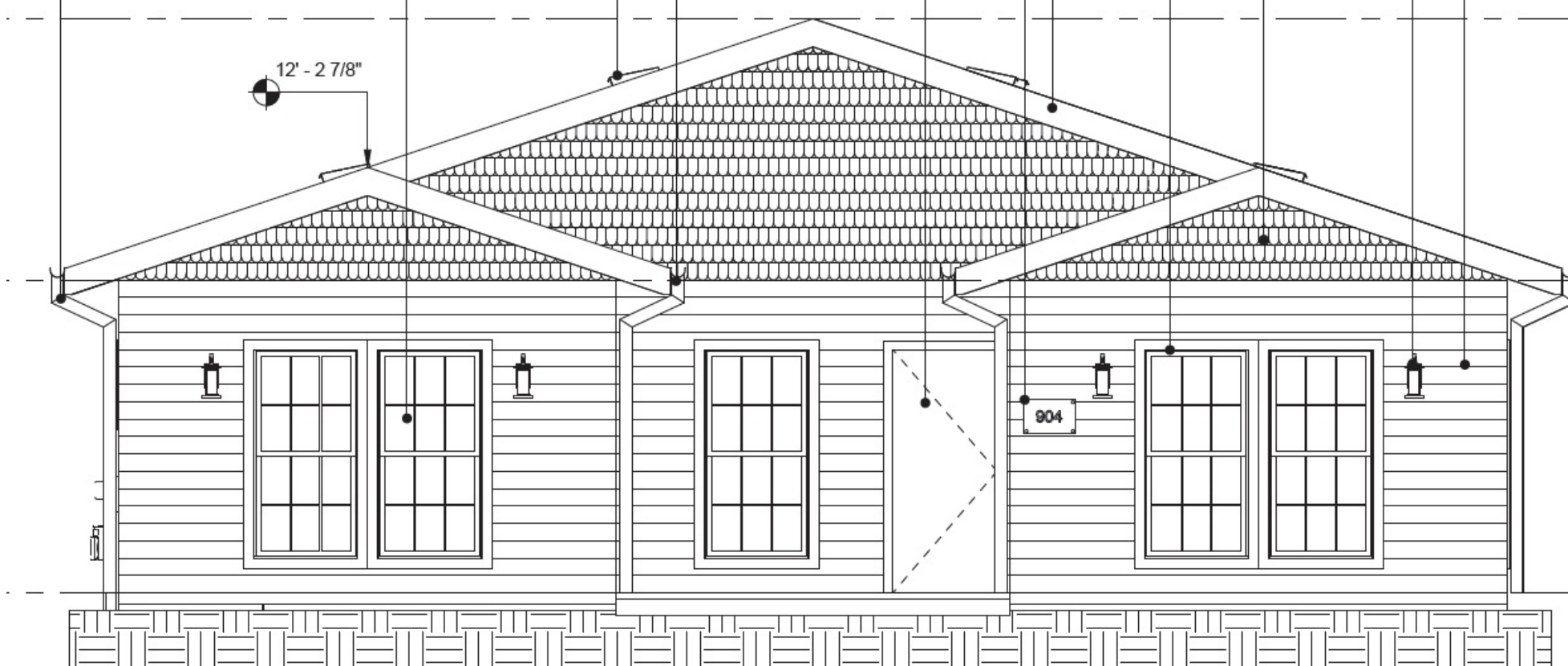
5'-0"

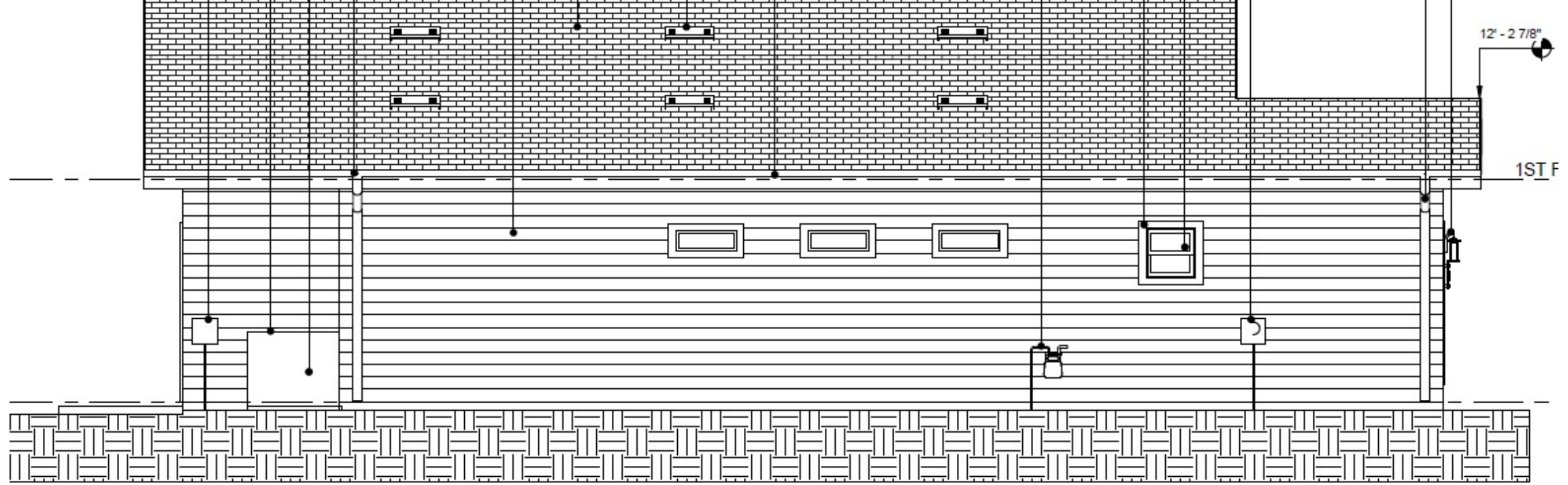
22'-0"

1'-5"

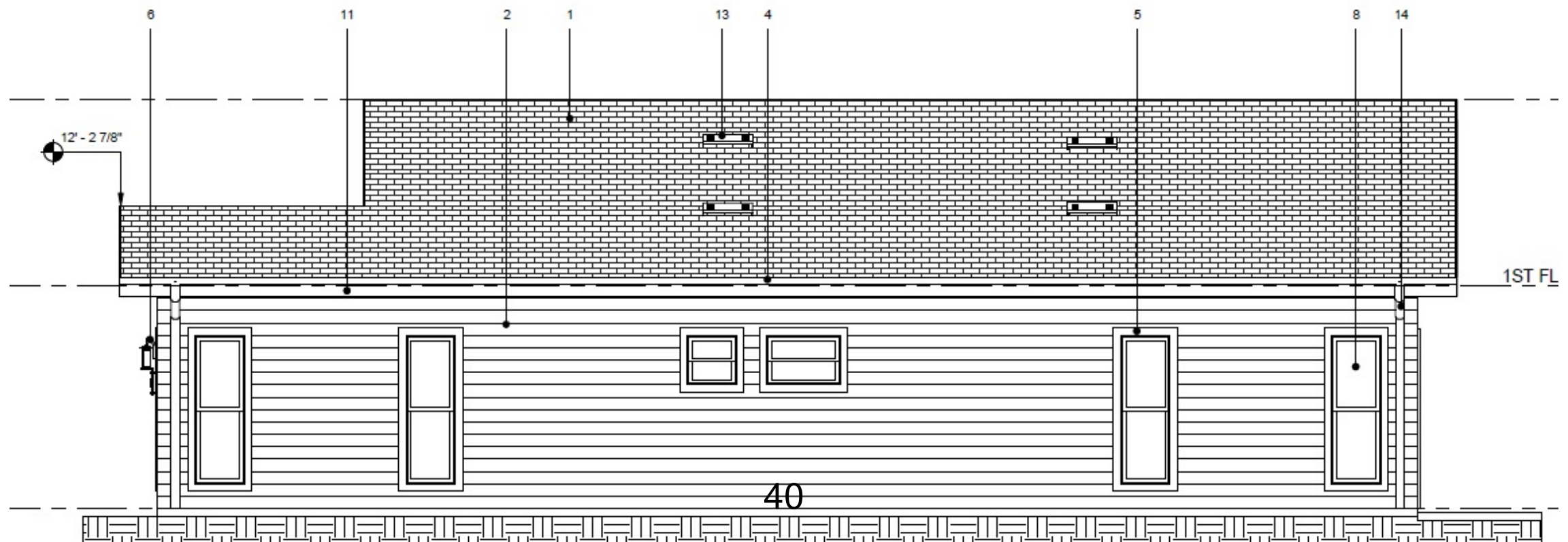








LEFT ELEVATION  
 1/4" = 1'-0"







**Grey Suit**

4004-2A | Valspar  
Available at Lowe's

SIDING/FASCIA COLOR



**Ultra White**

7006-24 | Valspar  
Available at Lowe's

SCALLOP/TRIM COLOR



ASPALT SHINGLE ROOF



WALL LIGHT ( J du J Sierra Craftsman 16 1/2")



SCALLOP SIDING



ALUMINUM HALF ROUND GUTTER



ALUMINUM ROUND  
DOWNSPOUT

# Staff Recommendation



CITY OF  
FOLSOM

Staff recommends approval of PN 20-105 for Design Review of a 1,862-square-foot custom home located at 904 Persifer Street.