



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

HISTORIC DISTRICT COMMISSION AGENDA

July 15, 2020

CITY COUNCIL CHAMBERS

5:00 p.m.

50 Natoma Street

Folsom, California 95630

Pursuant to Governor Newsom's Executive Order N-29-20, members of the Folsom Historic District Commission and staff may participate in this meeting via teleconference.

Due to the coronavirus (COVID-19) public health emergency, the City of Folsom is allowing remote public input during Commission meetings. Members of the public are encouraged to participate by e-mailing comments to kmullett@folsom.ca.us. E-mailed comments must be received no later than thirty minutes before the meeting and will be read aloud at the meeting during the agenda item. Please make your comments brief. Written comments submitted and read into the public record must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Commission meetings. Members of the public wishing to participate in this meeting via teleconference may email kmullett@folsom.ca.us no later than thirty minutes before the meeting to obtain call-in information. Each meeting may have different call-in information. Verbal comments via teleconference must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Historic District Commission meetings.

Members of the public may continue to participate in the meeting in person at Folsom City Hall, 50 Natoma Street, Folsom CA while maintaining appropriate social distancing.

CALL TO ORDER HISTORIC DISTRICT COMMISSION: Vice Chair Rosario Rodriguez, Kathleen Cole, Mickey Ankhelyi, Daniel West, Kevin Duewel, Mary Asay, Chair Daron Bracht

Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers.

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

MINUTES

The minutes of the July 1, 2020 meeting will be presented for approval.

CONTINUED

1. PN 20-061, 310 Mormon Street Addition and Determination that the Project is Exempt from CEQA

A Public Meeting to consider a request from Shelly Castro for approval of a Design Review application for a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street. The zoning classification for the site is R-2/CEN, while the General Plan land-use designation is MLD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. (Project Planner: Associate Planner, Josh Kinkade / Applicant: Shelly Castro)

HISTORIC DISTRICT COMMISSION / PRINCIPAL PLANNER REPORT

The next Historic District Commission meeting is scheduled for **August 5, 2020**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2nd Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6203 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6231, (916) 355-7274 (fax) or kmullett@folsom.ca.us. Requests must be made as early as possible and at least two-full business days before the start of the meeting.

NOTICE REGARDING CHALLENGES TO DECISIONS

The appeal period for Historic District Commission Action: Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing. Any appeal of a Historic District Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081.



CITY OF
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HISTORIC DISTRICT COMMISSION MINUTES
July 1, 2020
CITY COUNCIL CHAMBERS
5:00 p.m.
50 Natoma Street
Folsom, California 95630

CALL TO ORDER HISTORIC DISTRICT COMMISSION: Kathleen Cole, Mickey Ankhelyi, Daniel West, Kevin Duewel, Mary Asay, Vice Chair Rosario Rodriguez, Chair Daron Bracht

ABSENT: Asay, Bracht

PLEDGE OF ALLEGIANCE

CITIZEN COMMUNICATION: None

MINUTES: The minutes of June 17, 2020 were approved as submitted.

CONTINUED

1. **PN 20-105, 904 Persifer Street New Custom Home and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Jesse Borovnica for approval of a Design Review application for a 1,862-square-foot custom home located at 904 Persifer Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15303 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Jesse Borovnica)**

COMMISSIONER WEST MOVED TO APPROVE APPLICATION PN 20-105 FOR DESIGN REVIEW FOR A 1,862-SQUARE-FOOT CUSTOM HOME WITH A 179-SQUARE-FOOT PATIO AND 57-SQUARE-FOOT PORCH LOCATED AT 904 PERSIFER STREET, WITH THE FOLLOWING FINDINGS: GENERAL FINDINGS A & B, CEQA FINDINGS C-F, DESIGN REVIEW FINDINGS G-I, AND CONDITIONS OF APPROVAL NOS. 1-4 WITH EDITS TO CONDITION NO. 3 TO ADD:

“3. d. The front driveway shall be removed from plans submitted for building permit.”

COMMISSIONER DUEWEL SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: COLE, ANKHELYI, WEST, DUEWEL, RODRIGUEZ
NOES: NONE
RECUSED: NONE

ABSENT: ASAY, BRACHT

PRINCIPAL PLANNER REPORT

The Sutter Street mixed-use building is now currently scheduled for the August 5th Historic District Commission meeting.

Kelly Mullett, ADMINISTRATIVE ASSISTANT

APPROVED:

Daron Bracht, CHAIR



CITY OF
FOLSOM
DISTINCTIVE BY NATURE

AGENDA ITEM NO. 1
Type: Public Meeting
Date: July 15, 2020

Historic District Commission Staff Report

50 Natoma Street, Council Chambers
Folsom, CA 95630

Project: 310 Mormon Street Addition
File #: PN 20-061
Request: Design Review
Location: 310 Mormon Street
Parcel(s): 070-0120-024
Staff Contact: Josh Kinkade, Assistant Planner, 916-461-6209
jkinkade@folsom.ca.us

Property Owner/Applicant

Name: Shelly Castro
Address: 310 Mormon St.
Folsom, CA 95820

Recommendation: Conduct a public meeting, and upon conclusion recommend approval of an application for Design Review of a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street as illustrated on Attachment 5 for the 310 Mormon Street Addition project (PN 20-061) subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-6).

Project Summary: The proposed project includes a 562-square-foot addition (including conversion of an existing 466 square-foot carport and the addition of 96 square feet of new living space) to an existing 880-square-foot single-family residence located at 310 Mormon Street. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

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- 6 - Alternate North Elevation, Received June 30, 2020
- 7 - Original Elevations
- 8 - Photographs of the Project Site
- 9 - Public Comment Letters
- 10 - Staff PowerPoint Presentation



CITY OF
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AGENDA ITEM NO. 1
Type: Public Meeting
Date: July 15, 2020

Submitted,

PAM JOHNS
Community Development Director

ATTACHMENT 1 DESCRIPTION/ANALYSIS

APPLICANT'S PROPOSAL

The applicant, Shelly Castro, is proposing a 562-square-foot residential addition to an existing 880-square-foot single-family residence at 310 Mormon Street. The addition includes conversion of an existing 466 square-foot carport and the addition of 96 square feet of new living space extending beyond the existing carport. The proposed site plan, floor plan, and elevations are shown in Attachment 5. The applicant proposes to match the 8-inch tongue and groove wood siding and taupe window and door trim of the existing residence. Roofing of the 96-square-foot addition is proposed to match the thermoplastic single-ply roof covering of the carport. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

At the June 17, 2020 Historic District Commission meeting, the Commission continued this item and asked the applicant to evaluate feasibility of the following:

1. Changing the roof form of the carport and addition to match the existing residence,
2. Making the foundation of the addition even with that of the rest of the house, and
3. Changing the door and surrounding windows on the north elevation to closer match the shape and location of the existing windows on that elevation.

The applicant met with their designer and provided staff with a modified site plan that removed the door and surrounding windows. The horizontally-oriented bathroom window was also moved from the north elevation to the left elevation where it would not be visible from the street. Two vertically-oriented double windows were added to the north elevation that match the form and location of the existing north elevation windows more closely. These modified elevations are shown in Attachment 5. The applicant also provided an alternate elevation that includes only one window on the north elevation of the existing carport in the event that the double window is not supported. This alternate elevation is included in Attachment 6.

The applicant also provided additional information regarding the roof form and foundation. The applicant stated that the project is primarily a conversion of the existing foundation and roof, and that modifying the roof form and foundation would more than double the cost of the project due to the cost of demolition and materials and the need to hire a contractor (as the project is currently owner-builder). The current proposal would add approximately 96 square feet of roof framing to match the carport, and matching the residence's roofing would add approximately 562 square feet of a more complex framed area. Finally, the applicant stated that the residence is located along a dead-end alley, and that they are the only residents on this block with frontage on the alley (all other residences primarily use the alley for waste bin storage). The residence is also currently shielded by a six-foot fence. Additional photographs of the alley on

which the residence is located have been included in Attachment 8.

POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code states that the Historic District Commission shall have final authority relating to the design and architecture of all exterior renovations, remodeling, modification, addition or demolition of existing structures within the Historic District.

ANALYSIS

General Plan and Zoning Consistency

The General Plan land use designation for the project site is MLD (Multi-Family, Low Density), and the zoning designation for the project site is R-2 (Two-Family Residential District), within the Central Subarea of the Historic Residential Primary Area. Single-family residences are allowed in both the R-2 zone and the Central Subarea by right.

Section 17.52.540 of the Folsom Municipal Code institutes requirements for lot size, lot width, setbacks, pervious surface, and building height in the Historic Residential Primary Area. The design standards established within the Historic District Design and Development Guidelines (DDGs) also apply to this project.

The proposed addition meets all FMC zoning requirements, as demonstrated in the table on the following page, which demonstrates how the proposed project relates to setback, pervious surface, height and parking requirements for the Central Subarea:

| | <u>REQUIRED</u> | <u>PROPOSED</u> |
|--|------------------------|--|
| Minimum Lot Size | 7,000 SF | 8,000 SF |
| Minimum Lot Width | 50 Feet | 100 Feet |
| Front Setback | 20 Feet | 30 Feet (existing) |
| Rear Setback | 20 Feet | 20 Feet (existing) |
| Side Setback | 5 Feet, 5 Feet | 26 Feet (existing), 12 Feet (addition) |
| Minimum Pervious Surface | 45% | 66% (proposed) |
| Parking Requirement | 2 Parking Spaces | 2 Parking Spaces |
| Maximum Building Height | 35 Feet | 15 Feet (existing) |
| Setback to Other Structures on the Property | 10 Feet | n/a |

To ensure that the property has legal access, and to ensure that the property line dimensions (and therefore the setbacks) are accurate, staff has included Condition No. 3, which states that a site survey and title report is required prior to approval of a building permit.

Building Design/Architecture

Chapter 5.04.03(b) of the DDG's, which addresses the design concepts for the Central Subarea, states that the subarea provides property owners with broad discretion in choosing styles from the entire 1850-1950 time frame, guided by the overall principles and any designation of significance of the building or site. The existing residence was built in 1956 and has horizontal 8-inch wood siding with taupe window trim and brick-colored asphalt shingle roofing.

The DDG's state that exterior materials and finishes should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed project includes the conversion of an existing 466-square-foot carport into living space and a 96-square-foot addition extending beyond the existing carport. The applicant proposes to match the 8-inch tongue and groove wood siding and taupe window and door trim of the existing residence. Roofing of the 96-square-foot addition is proposed to match the thermoplastic single-ply roof covering of the carport.

Proposed windows on the enclosure and addition are primarily vertically oriented and include trim, consistent with DDG guidelines. Roofing is proposed to follow the shallow pitch of the existing carport. While staff would prefer that the entire roof of the carport and addition match the 12/5 pitch of the existing residence, staff understands that the carport's roof is existing, and the 96-square-foot addition should follow the slope of that of the converted carport. Furthermore, the residence's only street frontage is on an alley, and therefore, the need for a consistent roof on the entire structure is less important given the residence's subdued location. As such, staff supports the roofing plan as proposed.

Regarding the modifications to the proposed project subsequent to the June 17, 2020 Historic District Commission meeting, staff is satisfied with the removal of the door and modification of the windows on the north elevation. Moving the horizontally-oriented bathroom window off of the alley and modifying the window size and location to better match that of the existing north elevation has resulted in a more aesthetically-appealing and historically appropriate building view along the alley. Staff has determined that that both the preferred layout with a single window and the alternate layout with two windows on the north elevation achieve this. Finally, staff notes that the alley dead-ends and the subject property is the only lot with frontage along the alley. Therefore, the visibility of the proposed addition would be limited to the rear yards of the surrounding residences.

Staff has determined that the overall design, colors, materials, and layout of the proposed addition is consistent with the design and development guidelines for the Central Subarea of the Historic Residential Primary Area. Staff has concluded that the applicant has met the design standards identified in the DDG's.

PUBLIC COMMENTS

Public comment letters on the initial design were received via email from the Historic Folsom Residents Association (HFRA) and the Heritage Preservation League of Folsom (HPL) (included as Attachment 9).

In their email, HFRA expressed concern regarding lack of an interior door from the addition to the current residence and the potential for the addition to be used as an accessory dwelling unit. The proposed floor plans show an internal door between the current residence and the addition, and no separate kitchen facilities are proposed in the addition area. As such, staff is satisfied with the floor plan as proposed.

HPL's letter states several concerns with the proposed project. Generally, HPL wants to ensure the City has evidence that the vacated Figueroa Street/Mormon Street Alley has been incorporated with the property, that a private access easement to Coloma Street has been dedicated to the property owner, and that feedback regarding addressing is received from the Fire Department. Condition No. 3 addresses the concerns regarding legal access and lot dimensions by requiring a title report and site survey prior to approval of a building permit. Addressing will be reviewed by the Fire Department as part of the Building Permit process required in Condition No. 1.

The letter then asks for demonstration that positive drainage can be maintained on the project site, that additional drainage will not be directed towards adjacent properties, and that the tree on the east side of the driveway is potentially saved. The Design Review application has been reviewed by both the Engineering Division and the City Arborist, and no additional conditions were deemed necessary for the proposed project outside of the typical tree permit, building permit and grading plan (if necessary) that such a project is required to obtain. Finally, HPL asked that the north façade of the residence be modified to add a pitched roof, a paneled door with a window on the upper half, a porch and roof cover at the new entrance area, and a window on one side of the entrance door. Staff notes that the addition is for a bedroom and bathroom, and that that a main entrance and front door are already located on the west elevation of the existing residence. As such, staff is not recommending any additional architectural conditions based on the comments in this letter.

Subsequent to the June 17, 2020 meeting, staff received three additional letters from the owners of the properties adjacent to the subject property expressing support of the proposed project (included in Attachment 9).

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of

this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption(s) in this case.

RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION

Move to approve an application for Design Review of a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street as illustrated on Attachment 5 for the 310 Mormon Street Addition project (PN 20-061) subject to the findings included in this report (Findings A-H) and attached conditions of approval (Conditions 1-6).

GENERAL FINDINGS

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

CEQA FINDINGS

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

DESIGN REVIEW FINDINGS

- G. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.

ATTACHMENT 2 BACKGROUND

BACKGROUND

Sacramento County records indicate that the existing 898-square-foot single-family residence located at 310 Mormon Street was first constructed in 1956. The residence features a simple Craftsman design, with 8-inch horizontal wood siding painted off-white, with taupe window trim and brick-colored composition shingle roofing. Photographs of the existing residence are included as Attachment 8. The property does not appear on the City of Folsom's Cultural Resources Inventory. The subject property is located in the Central Subarea of the Historic Residential Primary Area of the Historic District, with an underlying zoning of R-2 (Two-Family Residence District).

At its June 15, 2020 meeting, the Historic District Commission continued the original proposal for a 562-square-foot addition (including conversion of an existing 466 square-foot carport and the addition of 96 square feet of new living space) to the existing residence. The Commission recommended that the applicant discuss feasibility of changing the roof form of the carport and addition to match the existing residence, making the foundation of the addition even with that of the rest of the house and changing the door surrounded by windows on the north elevation to closer match the shape and location of the existing windows on that elevation. The applicant met with their designer and provided staff with updated elevations and explanations for why they did not believe that all the Commission's suggestions were feasible.

GENERAL PLAN DESIGNATION

MLD, Multi-Family, Low Density

ZONING

CEN, Central Subarea of the Historic Residential Primary Area, with an underlying zoning of R-2 (Two-Family Residence District)

ADJACENT LAND USES/ZONING

North: Figueroa Street/Mormon Street alley with single-family residences beyond (Figueroa Subarea)

South: Existing residences (CEN)

East: Existing residences (CEN)

West: Existing residences (CEN)

SITE CHARACTERISTICS

The 8,000-square-foot project site contains an existing residence with an attached carport, and site landscaping.

APPLICABLE CODES

FMC Section 17.52 HD, Historic District
FMC Section 17.52.300, Design Review
FMC Section 17.52.330, Plan Evaluation
FMC Section 17.52.340, Approval Process
FMC Section 17.52.540, Historic Residential
Primary Area Special Use and Design
Standards
Historic District Design and Development
Guidelines

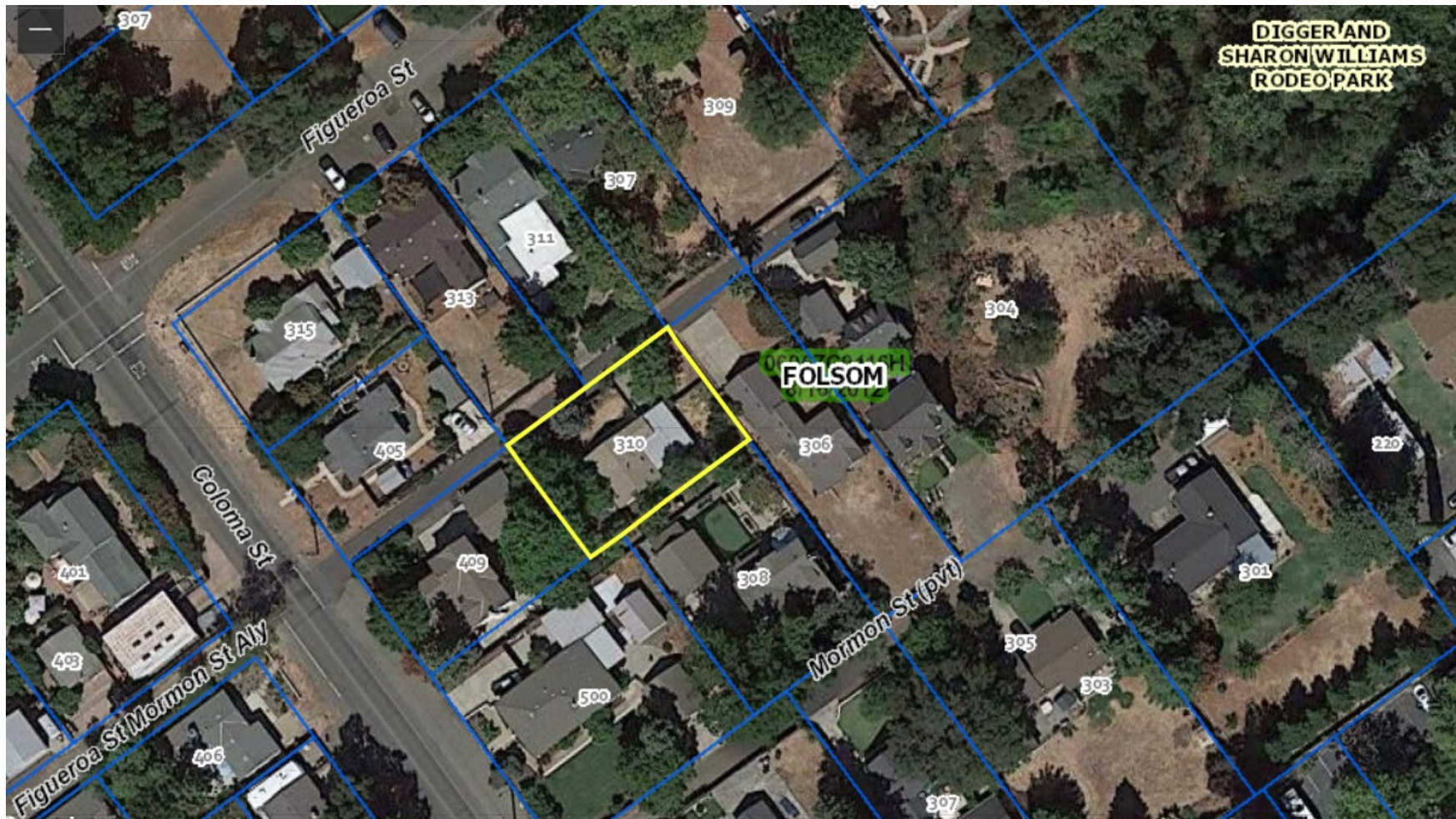
ATTACHMENT 3

Proposed Conditions of Approval

| CONDITIONS OF APPROVAL FOR 310 MORMON STREET ADDITION DESIGN REVIEW (PN 20-061) | | | | |
|--|---------------------------|---|----------------------|-------------------------------|
| Cond. No. | Mitigation Measure | GENERAL REQUIREMENTS | When Required | Responsible Department |
| 1. | | Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, building elevations, and floor plans received June 30, 2020. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval. | B | CD (B) |
| 2. | | Compliance with all local, state and federal regulations pertaining to building construction is required. | OG | CD (B) |
| 3. | | A site survey and title report are required to be submitted to the Community Development Department and approved prior to approval of a building permit. If the site survey and/or title report find that the site does not have legal access or if the property lines show that the proposed project is inside of a required setback, this approval is null and void until such a time that legal access is provided and setbacks are met. | B | CD (E) |
| 4. | | If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method. | G, I, B | CD (P)(E)(B) |
| 5. | | In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods. | G, I, B | CD (P)(E)(B) |
| 6. | | The project approval granted under this staff report shall remain in effect for two years from final date of approval (July 15, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the subsequent extension of this approval, shall result in the termination of this approval. | B | CD (P) |

| RESPONSIBLE DEPARTMENT | | WHEN REQUIRED | |
|------------------------|---|---------------|--|
| CD | Community Development Department (P) Planning Division (E) Engineering Division (B) Building Division (F) Fire Division | I | Prior to approval of Improvement Plans |
| (P) | | M | Prior to approval of Final Map |
| (E) | | B | Prior to issuance of first Building Permit |
| (B) | | O | Prior to approval of Occupancy Permit |
| (F) | | G | Prior to issuance of Grading Permit |
| PW | Public Works Department | DC | During construction |
| PR | Park and Recreation Department | OG | On-going requirement |
| PD | Police Department | | |

Attachment 4 Vicinity Map

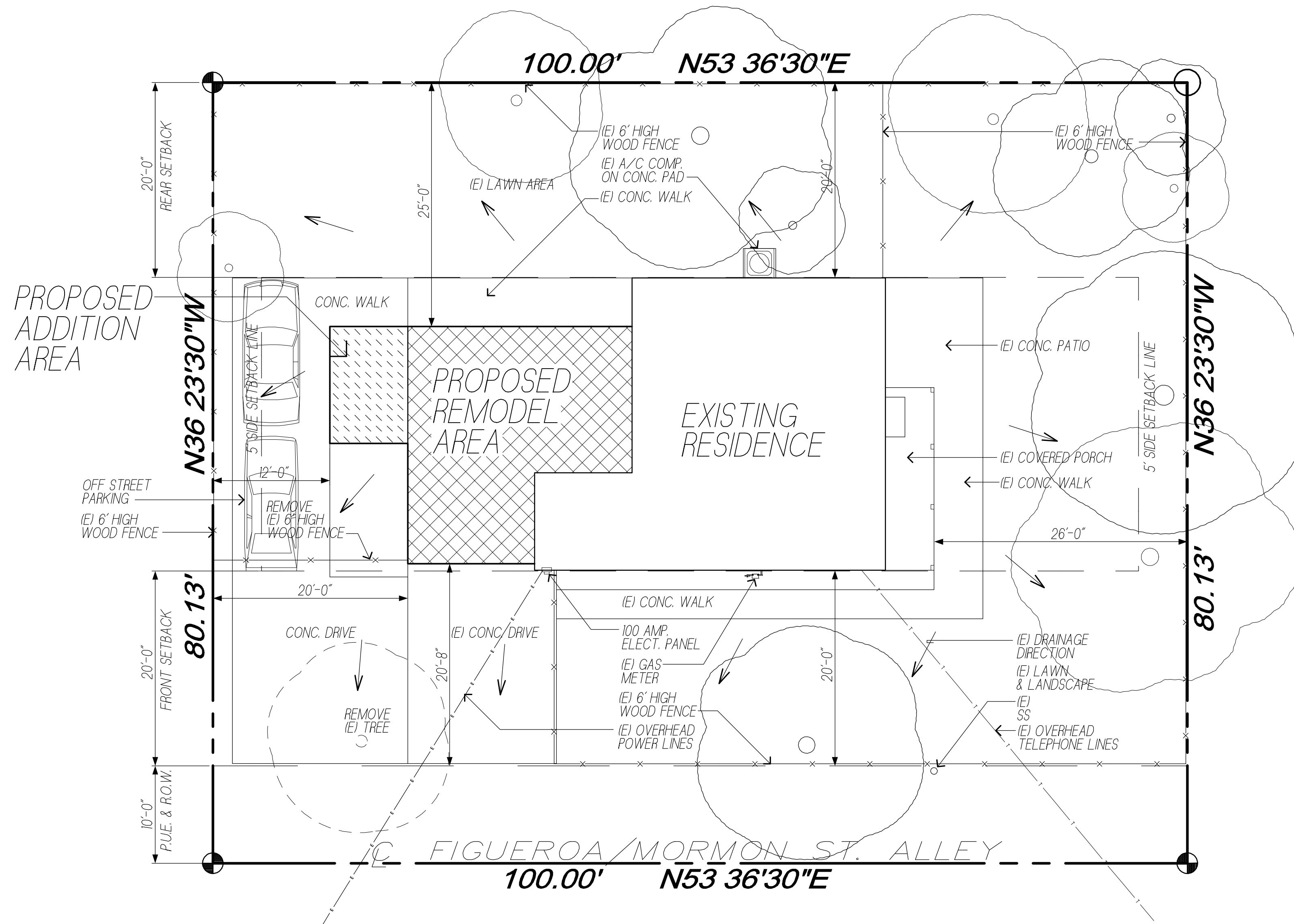
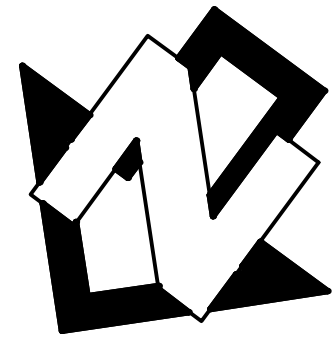


Attachment 5
Site Plan, Floor Plan and Elevations, Received
June 30, 2020

REMODEL/ADDITION PLANS FOR:

310 MORMON STREET

CITY OF FOLSOM, CA. A.P.N.: 070-0120-024



Plot Plan

PROJECT DATA:

ZONING: R-2
 OCCUPANCY: GROUP R-3
 TYPE OF CONSTRUCTION: V-B
 GENERAL PLAN DESIGNATION: SINGLE FAMILY DWELLING (SF)
 FIRE SPRINKLERS: NOT REQUIRED-EXISTING BUILDING IS CONTAINING NON-FIRE SPRINKLERS

ABBREVIATIONS:

| | | | |
|---------|------------------------|---------|-------------------------|
| A/C | AIR CONDITIONING | MFR | MANUFACTURE |
| ABV | ABOVE | MIN | MINIMUM |
| ACCS | ACCESS | MISC | MISCELLANEOUS |
| AMP | AMPERE | NO | NUMBER |
| APN | ASSESSOR PARCEL NUMBER | NTS | NOT TO SCALE |
| APPROX | APPROXIMATELY | OC | ON CENTER |
| BC | BASE CABINET | OH | OVER HANG |
| BLDG | BUILDING | OPNG | OPENING |
| CAB(S) | CABINET(S) | OSA | OUTSIDE AIR |
| CL | CENTER LINE | PKT | POCKET |
| CLG | CEILING | PL | PROPERTY LINE |
| CLR | CLEAR | PP | POWER POLE |
| COL | COLUMN | PR | PAIR |
| COMBO | COMBINATION | PUE | PUBLIC UTILITY EASEMENT |
| CONC | CONCRETE | PWDR | POWDER |
| COVR'D | COVERED | REF | REFRIGERATOR |
| DBL | DOUBLE | REQ | REQUIRED |
| DEPT | DEPARTMENT | RET | RETAINING |
| DF | DOUGLAS FIR | ROW | RIGHT OF WAY |
| DN | DOWN | S & P | SHELF & POLE |
| DP | DEEP | SBL | SETBACK LINE |
| DRS | DOORS | SHLVS | SHELVES |
| DRY | DRYER | SPOC | SPACING |
| DSPSL | DISPOSAL | SC | SOLID CORE |
| DW | DISH WASHER | SH | SINGLE HUNG |
| EA | EACH | SLF CLS | SELF CLOSE |
| ELECT | ELECTRICAL | SPECS | SPECIFICATIONS |
| ENCLS | ENCLOSURE | SQ FT | SQUARE FOOT (FEET) |
| EP | EDGE OF PAVEMENT | SS | SEWER SERVICE |
| (E) | EXISTING | STNDG | STANDING |
| EXIST | EXISTING | TBC | TOP BACK OF CURB |
| FF | FINISHED FLOOR | TC | TRASH COMPACTOR |
| FP | FIREPLACE | TMP | TEMPERED |
| FXD | FIXED | TPY | TYPICAL |
| GLS | GLASS | UC | UPPER CABINET |
| GYP | GYPSPUM | UNO | UNLESS NOTED OTHERWISE |
| HGT, HT | HEIGHT | VIF | VERIFY IN FIELD |
| HORIZ | HORIZONTAL | WASH | WASHER |
| HB | HOSE BIB | WD | WOOD |
| HR | HOUR | WM | WATER METER |
| LNDG | LANDING | W/ | WITH |
| MAX | MAXIMUM | WT | WEIGHT |
| MED | MEDICINE | XO | FIXED/SLIDING |

GENERAL NOTES:

- CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING, AND BECOME GENERALLY FAMILIAR WITH ONSITE AND OFFSITE CONDITIONS WHICH AFFECT THE WORK AND PROCESSES OF CONSTRUCTION.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT SPECIFIED, IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT WITH COMPLIANCE.
- THE BUILDING DESIGNER WILL NOT BE OBSERVING CONSTRUCTION OF THIS PARTICULAR PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND STANDARDS FOR THE PROJECT.
- THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES AND BUILDING CODES. THE JOBSITE SHALL BE MAINTAINED CLEAN AND ORDERLY. ALL DEBRIS AND STORED MATERIALS SHALL BE HANDLED ON A DAILY BASIS SO AS NOT TO ENCUMBER THE SITE. ALL DEBRIS OR CONSTRUCTION/DEMOLITION MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- THE BUILDING DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS OMISSIONS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS AND RIGHTS OF WAYS. CONTRACTOR SHALL VERIFY THE NEW WILL BE CONSTRUCTED WITHOUT ENCRDACHING ANY OF THESE BOUNDARIES, DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND RESOLVED PRIOR TO CONSTRUCTION. IF THE PROPERTY CORNERS MUST BE LOCATED BY A LICENSED ENGINEER IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY OF WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PRACTICES OR AS PER THE CURRENT C.B.C.
- THESE DRAWINGS HAVE BEEN PREPARED WITH THE UTMOST CARE FOR RELIABLE AND ACCURATE INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS FOUND OR CHANGES DUE TO UNFORESEEN FIELD CONDITIONS OR HUMAN ERROR. NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO RESUMPTION OF WORK OR ITEMS IN QUESTION.

MODEL CODE:

| | |
|---------|--|
| 2019 | CALIFORNIA BUILDING CODE |
| 2019 | CALIFORNIA RESIDENTIAL CODE |
| 2019 | CALIFORNIA MECHANICAL CODE |
| 2019 | CALIFORNIA PLUMBING CODE |
| 2019 | CALIFORNIA ELECTRICAL CODE |
| 2019 | CALIFORNIA GREEN BUILDING STANDARDS CODE |
| 2019 | CALIFORNIA ENERGY CODE |
| 2019 | CALIFORNIA FIRE CODE |
| CURRENT | CITY OF FOLSOM ORDINANCES |

SQUARE FOOTAGE:

| | |
|--------------------------------|---------------|
| EXISTING FLOOR AREA= | 880 SQ. FT. |
| EXISTING CARPORT/STORAGE AREA= | 466 SQ. FT. |
| EXISTING COVERED PORCH AREA= | 94 SQ. FT. |
| PROPOSED FLOOR AREA= | 562 SQ. FT. |
| TOTAL FLOOR AREA= | 1,442 SQ. FT. |

DESIGN CRITERIA:

| | |
|---|--|
| SEISMIC DESIGN D | SITE CLASS D |
| 110 MPH BASIC WIND SPEED WITH 3 SECOND GUST | ROOF LIVE LOAD 20 PSF NO SNOW LOADING REQ. |
| WIND EXPOSURE C | CLIMATE ZONE 12 |

PROJECT DESCRIPTION:

THE PROJECT WILL BE AN ADDITION TO BE CONSTRUCTED WITHIN THE AREA OF THE EXISTING CARPORT/STORAGE/PATIO AREA. A BATHROOM WILL BE EXTENDED BEYOND THE EXISTING FOOTPRINT. THE MATERIALS AND COLORS WILL MATCH THE EXISTING RESIDENCE.

LEGAL DESCRIPTION:

THE CENTRAL SUBAREA HISTORIC DISTRICT
 CITY OF FOLSOM, SACRAMENTO COUNTY, CALIFORNIA.
 310 MORMON STREET
 APN- 070-0120-024

LOT COVERAGE:

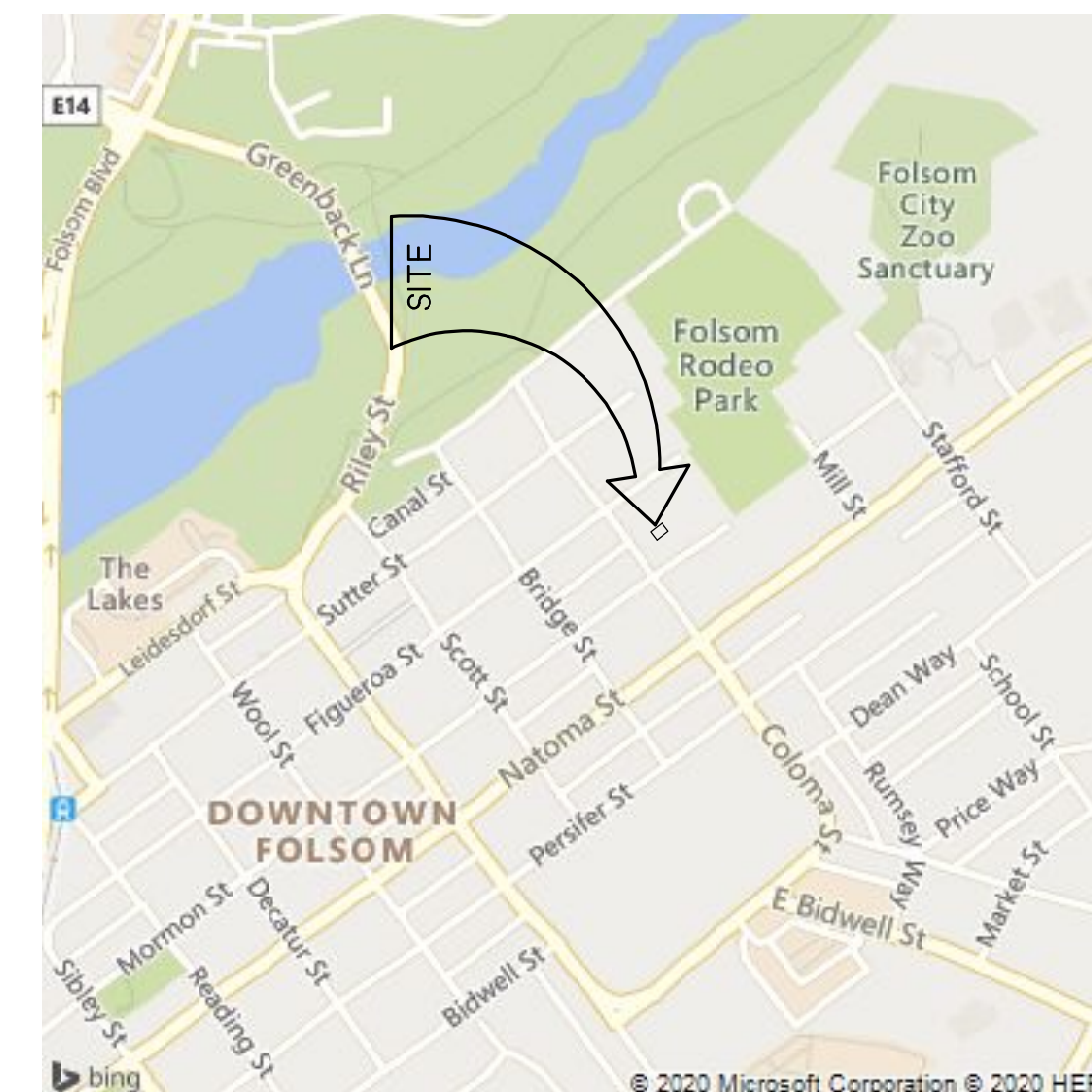
LOT SIZE- 8,000 SQ. FEET
 EXIST. MAIN RESIDENCE /COVR'D PORCH AREA AND PROPOSED ADDITION AREA= 1,536 SQ. FT.
 LOT COVERAGE- 19%
 TOTAL CONCRETE AREA= 1,181 SQ. FT.
 PERVIOUS SURFACE- 66%

DRAWING INDEX:

| | |
|----|---|
| P1 | PLOT PLAN/COVER SHEET |
| 1 | EXISTING & PROPOSED FLOOR PLANS/NOTES & LEGENDS |
| 3 | ROOF FRAMING PLAN |
| 5 | EXTERIOR ELEVATIONS |

VICINITY MAP

N.T.S.



| DATE | REVISIONS |
|------|-----------|
| | |

ENGINEER: **Paulo Ibanez P.E.**
 P.O. Box 781
 Citrus Heights, CA. 95611
 Ph. (916) 524-3052
 pibanez@surewest.net

DESIGNER: **d. l. potts drafting services**

 Deanna L. Potts
 Orangevale, Ca. 95662
 Off./Fax (916) 988-7398
 dlpottsdrafltrng@gmail.com

PROJECT: **CASTRO RESIDENCE ADDITION**
 310 MORMON STREET FOLSOM, CA. 95630
 CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-0120-024
 OWNER: **SHELLY CASTRO**
 310 MORMON STREET FOLSOM, CA. 95630
 CELL PH- (916) 521-3598

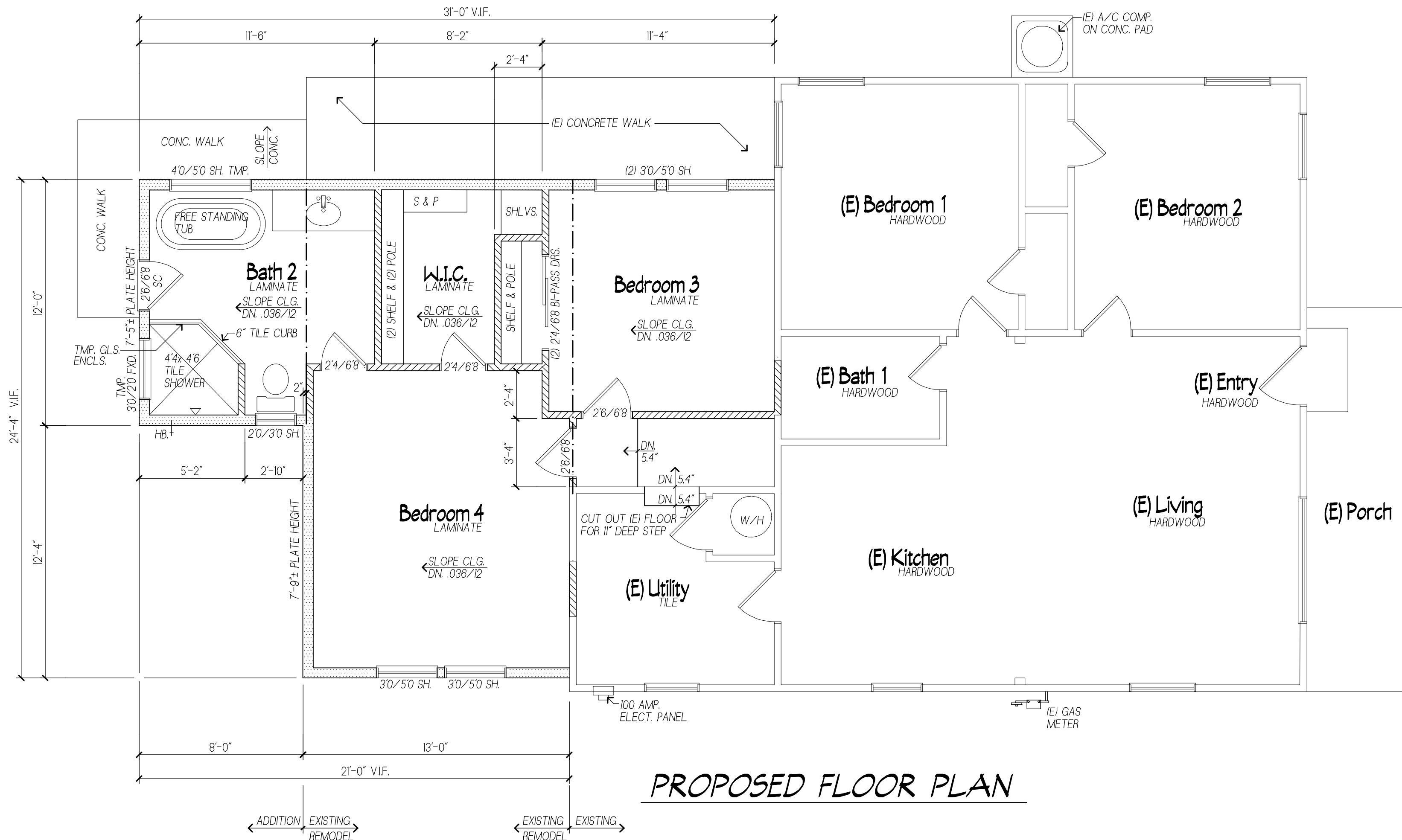
PLOT PLAN COVER SHEET

| | |
|-------|--------------|
| DATE | 2-16-20 |
| DRAWN | djp |
| SCALE | 1/8" = 1'-0" |
| JOB# | 19-782 |
| SHEET | P1 |

FLOOR NOTES:

- 1) ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 C.R.C., C.B.C., C.M.C., C.P.C., C.E.C., C.F.C., 2019 CALIFORNIA GREEN & ENERGY CODE, PLUS ALL LOCAL GOVERNING CODES.
- 2) CONTRACTOR IS TO FIELD VERIFY ALL EXISTING DIMENSIONS, MATERIALS & CONSTRUCTION METHODS PRIOR TO STARTING CONSTRUCTION. NEW CONSTRUCTION AND MATERIALS TO MATCH WHERE APPLICABLE.
- 3) CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS & RIGHT OF WAYS. CONTRACTOR TO VERIFY THAT FOOTPRINT OF HOUSE WILL BE CONSTRUCTED WITHOUT ENCRoACHING WITHIN THESE BOUNDARIES. IF PROPERTY CORNERS ARE TO BE LOCATED BY A LICENSED ENGINEER IT IS THE OWNERS RESPONSIBILITY.
- 4) THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY CHANGES, DELETIONS OR SUBSTITUTIONS OF MATERIALS OR METHODS WITHOUT PRIOR WRITTEN APPROVAL.
- 5) WRITTEN DIMENSIONS, CONSTRUCTION DETAILS AND APPROVED BUILDING DEPT. SET HAVE PRECEDENCE OVER SCALED DIMENSIONS OR ALTERNATIVE BUILDING SETS.
- 6) EVERY EFFORT HAS BEEN MADE TO ASSURE THE ACCURACY OF THESE DRAWINGS. ANY ERRORS, OMISSIONS FOUND OR CHANGES DUE TO UNFORSEEN FIELD CONDITIONS OR HUMAN ERROR SHALL BE BROUGHT TO THE DESIGNERS ATTENTION AND RESOLVED PRIOR TO RESUMPTION OF WORK IN QUESTION.
- 7) THE DESIGNER IS NOT RESPONSIBLE FOR THE TIME OR CRAFTSMANSHIP OF WORK PERFORMED BY THE LICENSED CONTRACTOR.
- 8) ALL EQUIPMENT, APPLIANCES, FIXTURES, HARDWARE, FINISH MATERIALS AND COLOR SELECTIONS TO BE DETERMINED BY AGREEMENT BETWEEN THE OWNER AND GENERAL CONTRACTOR.
- 9) CONTRACTOR IS RESPONSIBLE TO REVIEW AND COMPLY WITH STRUCTURAL ENGINEERS CALCULATIONS.
- 10) ALL WALL FRAME TO BE 2" STUDS @ 16" O.C. * 2 OR BETTER @ 16" O.C. (Unless Noted Otherwise)
- 11) PLATE HEIGHT TO BE AS NOTED ON PLAN.
- 12) INSULATION: CEILING- R-38, WALLS- R-19.
- 13) ALL OPENING HEADERS TO BE DF # 2 OR BETTER (UNO) HEADERS MORE THAN 6'-0" IN LENGTH TO HAVE DBL CRIPPLE STUDS @ EACH END.
- 14) ALL ANCHOR BOLTS ON PRESSURE TREATED WOOD PLATE SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED, STAINLESS STEEL OR ALUMINUM ALLOY CORROSION RESISTANT.

- 15) REFER TO SHEAR WALL TABLE FOR SIZE OF FRAMING MEMBERS & SILL PLATES AT ALL SHEAR WALLS. REFER TO SHEETS S01 & S02 FOR STANDARD DETAILS AND GENERAL NOTES.
- 16) EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. C.R.C. R301.
 - MINIMUM CLEAR OPENING OF 5.7 SQ. FT.
 - 24" MINIMUM NET CLEAR OPENING HEIGHT
 - 20" MINIMUM NET CLEAR OPENING WIDTH
 - BOTTOM NET CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR
- 17) NATURAL LIGHT REQUIRED FOR ALL HABITABLE ROOMS AT 8% MINIMUM OF THE FLOOR AREA SERVED BY MEANS OF EXTERIOR GLAZED OPENINGS. C.R.C. R303.1
- 18) NATURAL VENTILATION REQUIRED FOR ALL HABITABLE ROOMS AT 4% MINIMUM OF THE FLOOR AREA SERVED BY MEANS OF EXTERIOR OPENINGS. C.R.C. R303.1
- 19) PROVIDE SAFETY GLAZING AT ALL "HAZARDOUS LOCATIONS" AS DESCRIBED PER C.R.C. R308.
- 20) ALL COUNTER TOPS TO BE A SOLID SURFACE, OWNER TO VERIFY MATERIAL.
- 21) ALL CABINETS & SHELVES TO BE CONFIRMED/DETERMINED, OWNER TO VERIFY.
- 22) PROVIDE OWNER DESIGN CHOICE BASEBOARD, DOOR AND WINDOW TRIM THROUGHOUT.
- 23) LANDINGS AT EXTERIOR DOORS TO BE NOT MORE THAN 7.75' BELOW THE DOORS THRESHOLD.
- 24) NOTCHING OF NON-BEARING WALLS SHALL NOT EXCEED 40% OF STUD AND BORED HOLES SHALL NOT EXCEED 80% OF STUD.
- 25) NOTCHING OF EXTERIOR BEARING WALLS SHALL NOT EXCEED 25% OF STUD AND BORED HOLES SHALL NOT EXCEED 40% OF STUD.
- 26) DRYWALL NAILING SHALL BE IN ACCORDANCE WITH C.B.C. REQUIREMENTS FOR THE TYPES AND THICKNESS BEING USED (UNO)
- 27) CONTRACTOR TO MATCH ALL DESIGNS, CONSTRUCTION AND MATERIALS WHERE APPLICABLE.



PROPOSED FLOOR PLAN

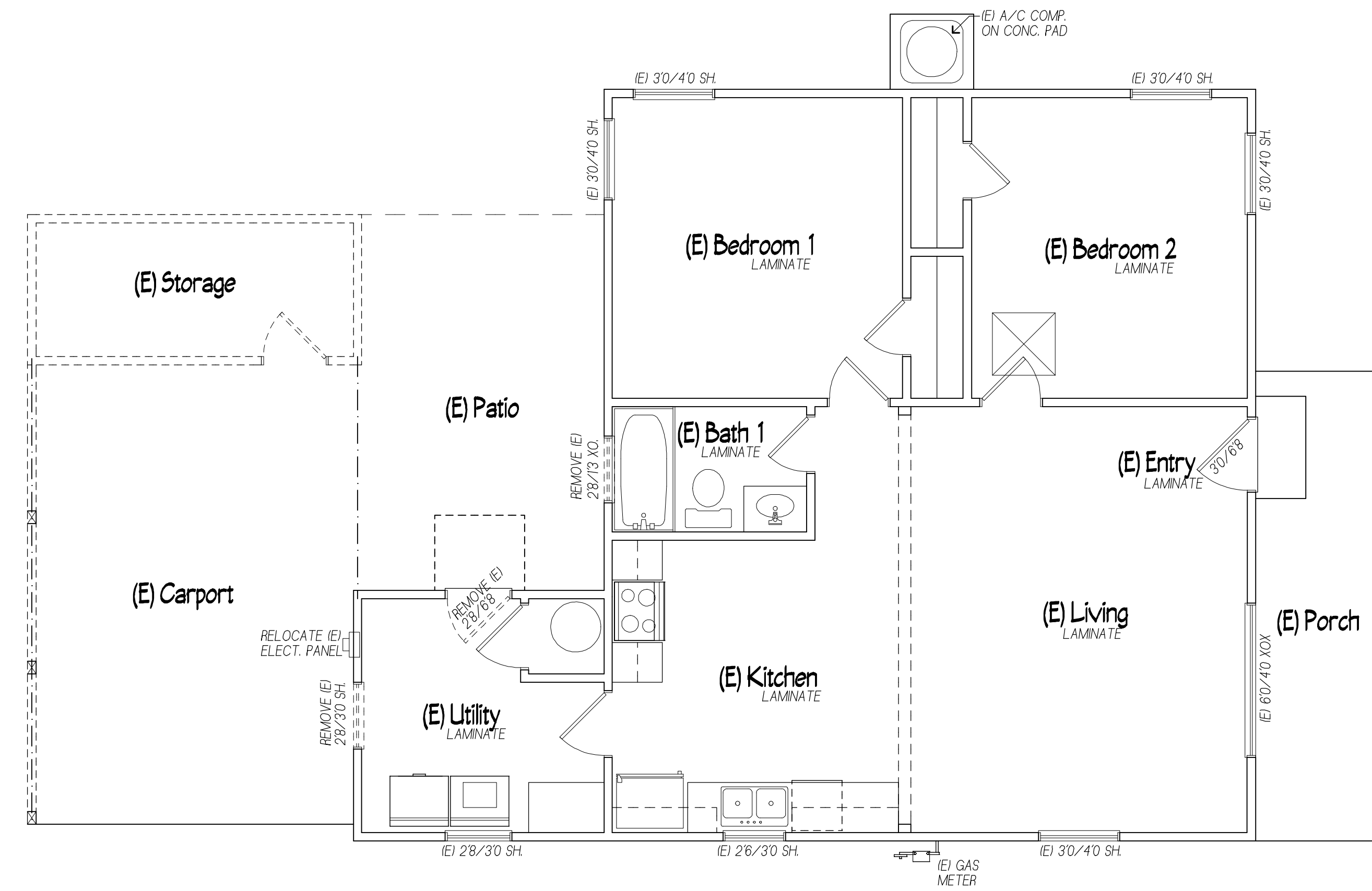
WALL LEGEND

| | |
|--|---|
| | INDICATES (E) 2" X WOOD WALLS TO REMAIN |
| | INDICATES (E) 2" X WOOD WALLS TO BE REMOVED |
| | INDICATES NEW 2" X 4" WOOD FRAMED WALLS |
| | INDICATES NEW 2" X 6" WOOD FRAMED WALLS |

| | |
|------------------------------|---------------|
| EXIST. FLOOR AREA= | 880 SQ. FT. |
| EXIST. CARPORT/STORAGE AREA= | 321 SQ. FT. |
| EXIST. COVR'D. PATIO AREA= | 145 SQ. FT. |
| EXIST. COVR'D. PORCH AREA= | 94 SQ. FT. |
| PROPOSED FLOOR AREA= | 562 SQ. FT. |
| TOTAL FLOOR AREA= | 1,442 SQ. FT. |

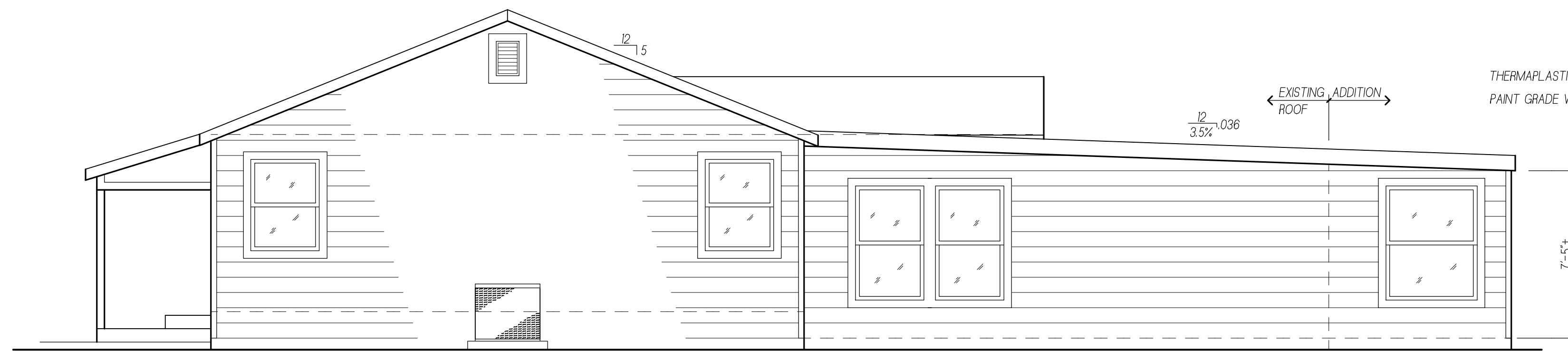
DEMOLITION NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL, ADJUSTMENT OR DEMOLITION OF ANY AND ALL EXISTING ELEMENTS WHICH MAY BE IN CONFLICT WITH THE WORK. COORDINATE WITH OWNER OF AFFECTED ELEMENT PRIOR TO STARTING WORK.
4. EXISTING CONDITIONS, UTILITIES, SETBACKS AND EASEMENTS REPRESENT THE BEST INFORMATION AVAILABLE AND SHOULD NOT BE CONSTRUED AS EXACT AND COMPLETE AND ITS USE DOES NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR LOSSES DUE TO INACCURACIES. NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND.
5. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE DESCRIBED WORK AND RESPONSIBLE FOR ONLY REMOVING THE REQUIRED ITEMS NEEDED TO COMPLETE THE PROPOSED WORK. CONTRACTOR SHALL PROVIDE SUPPORT, BRACING, ETC. THAT MAY BE NEEDED TO ENSURE EXISTING STRUCTURE TO REMAIN IS SAFE AND LEAST AFFECTED.
6. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK.
7. WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED AND FINISHED AND OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
8. CAREFULLY REMOVE ALL WALLS AND FRAMING MEMBERS, IF THERE IS ANY CONCERN WHETHER WALLS ARE BEARING OR THE STRUCTURAL INTEGRITY OF BUILDING IS IN QUESTION CONTACT THE DESIGNER OR ENGINEER BEFORE PROCEEDING.
9. WHERE ELECTRICAL, PLUMBING, VENTILATION AND GAS ITEMS NEED TO BE ABANDONED, REMOVED OR RELOCATED A LICENSED SUB MUST PERFORM ALL WORK. THEY MUST EACH VERIFY WORK TO BE PROVIDED TO BEST ACCOMMODATE THE DESIGN AND COMPLETE THE PROPOSED WORK AS REQUIRED FOLLOWING INDUSTRY STANDARDS AND ALL CODE REQUIREMENTS.
10. THE DESIGNER OF THIS PROJECT WILL NOT BE ON SITE TO OVERSEE ANY WORK PERFORMED. IT IS THE CONTRACTORS RESPONSIBILITY TO BE ON SITE OR IMMEDIATELY AVAILABLE FOR ASSURING THAT WORK IS BEING DONE PER PLANS AND TO CODE.
11. THE DESIGNER IS NOT RESPONSIBLE FOR ANY DELETIONS, OMISSIONS, DEVIATIONS OR CHANGES THAT MAY OCCUR IF PLANS DO NOT EXACTLY REPRESENT EXISTING OR PROPOSED CONDITIONS.

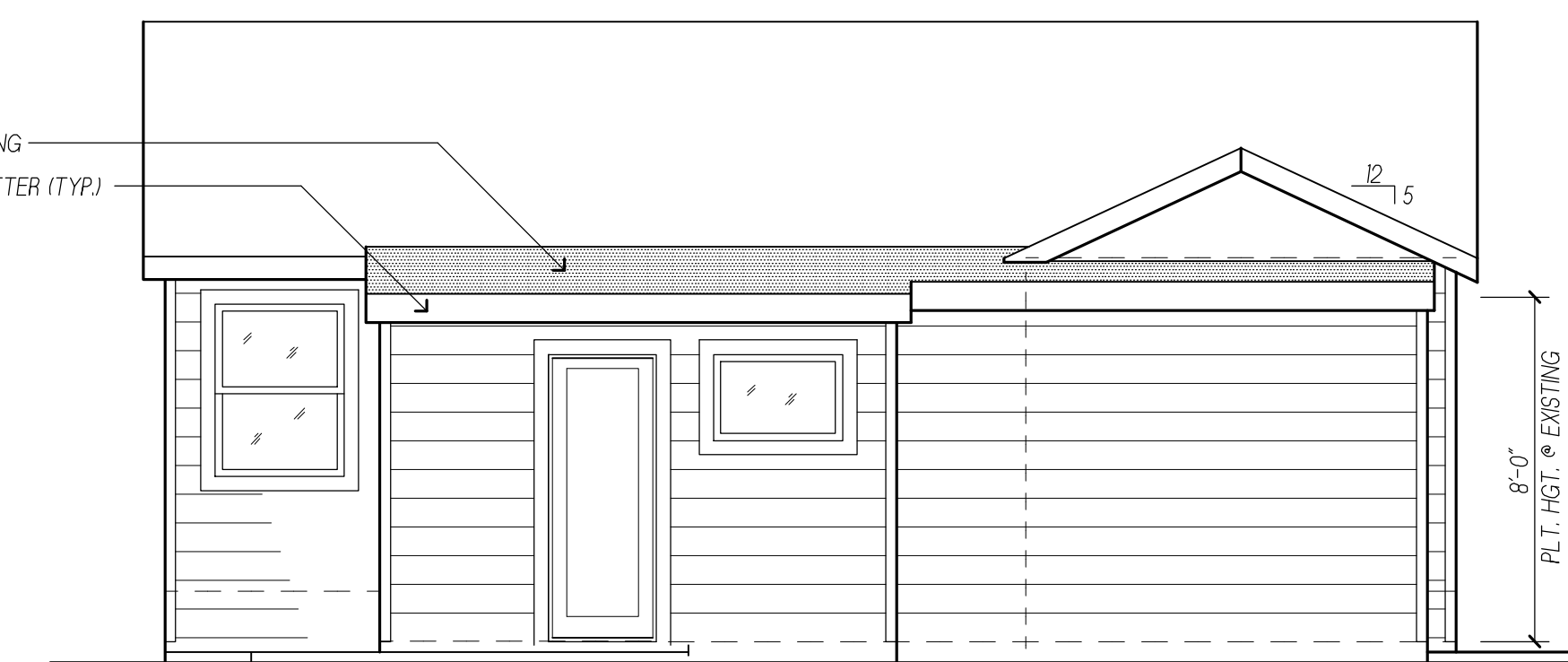


EXISTING FLOOR PLAN

| | |
|--|--|
| <p>PROJECT: CASTRO RESIDENCE ADDITION 310 MORMON STREET FOLSOM, CA. 95630 CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-020-024</p> <p>OWNER: SHELLY CASTRO 310 MORMON STREET FOLSOM, CA. 95630 CELL PH: (916) 521-3598</p> | <p>ENGINEER: Paulo Ibanez P.E. P.O. Box 781 Citrus Heights, CA. 95611 Ph: (916) 524-3052 pibanez@surewest.net</p> <p>DESIGNER: d. l. potts drafting services Deanna L. Potts Orangevale, Ca. 95662 Off./Fax (916) 988-7368 dlpottsdrafting@gmail.com</p> |
| <p>PROPOSED & EXISTING FLOOR PLANS/ NOTES/LEGENDS</p> | |
| <p>DATE: 2-16-20 DRAWN: dlp SCALE: 1/4" = 1'-0" JOB#: 19-782 SHEET: 1</p> | <p>PROJECT NORTH</p> |

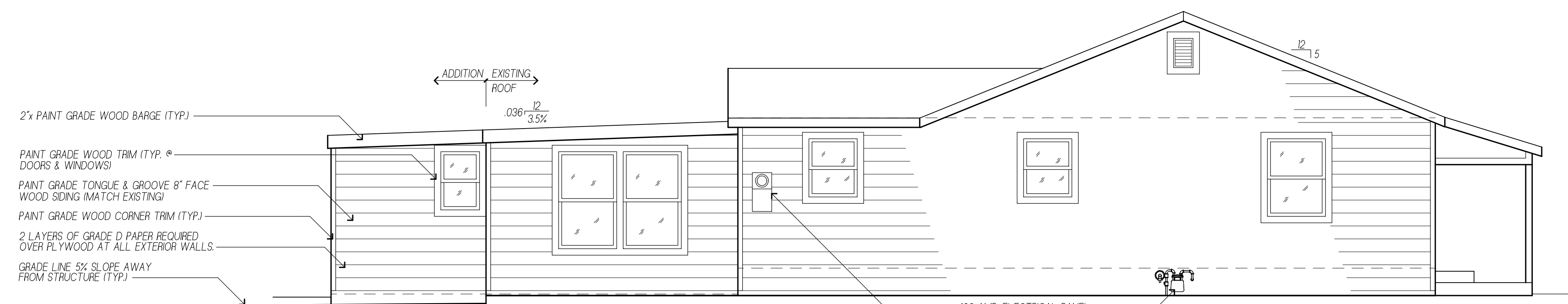


REAR (South)



LEFT (East)

NOTE:
MATCH ALL APPLICABLE DESIGNS AND MATERIALS
OF EXISTING RESIDENCE



REV. FRONT (North)

| DATE | REVISIONS |
|------|-----------|
| | |
| | |
| | |

ENGINEER: **Paulo Ibanez P.E.**
P.O. Box 781
Citrus Heights, CA. 95611
Ph. (916) 524-3052
pibanez@surewest.net

DESIGNER: **d. l. potts drafting services**
Deanna L. Potts
Orangevale, Ca. 95662
Off./Fax (916) 988-7368
dlpottsdrafting@gmail.com

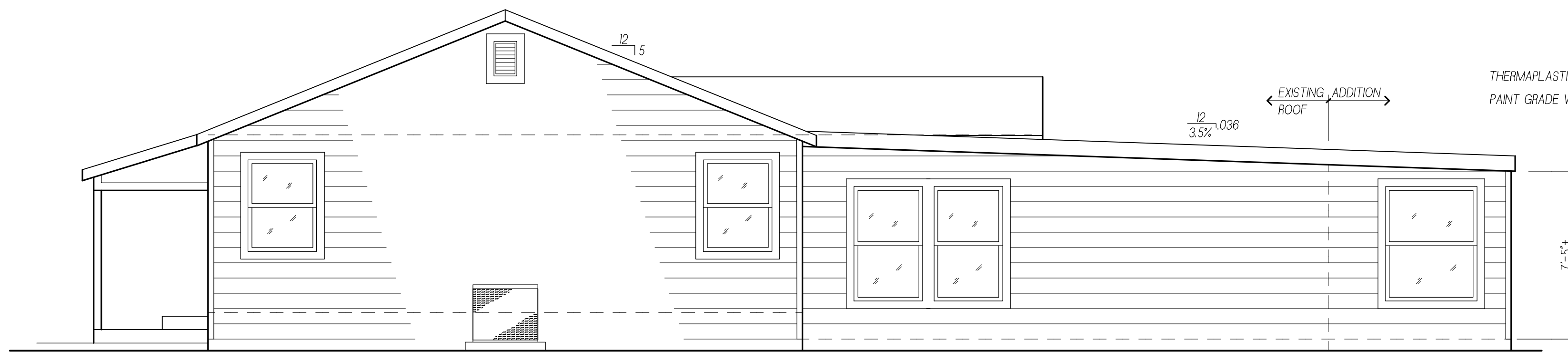
PROJECT: **CASTRO RESIDENCE ADDITION**
310 MORMON STREET FOLSOM, CA. 95630
CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-020-024

TOWNER: **SHELLY CASTRO**
310 MORMON STREET FOLSOM, CA. 95630
CELL PH.- (916) 521-3598

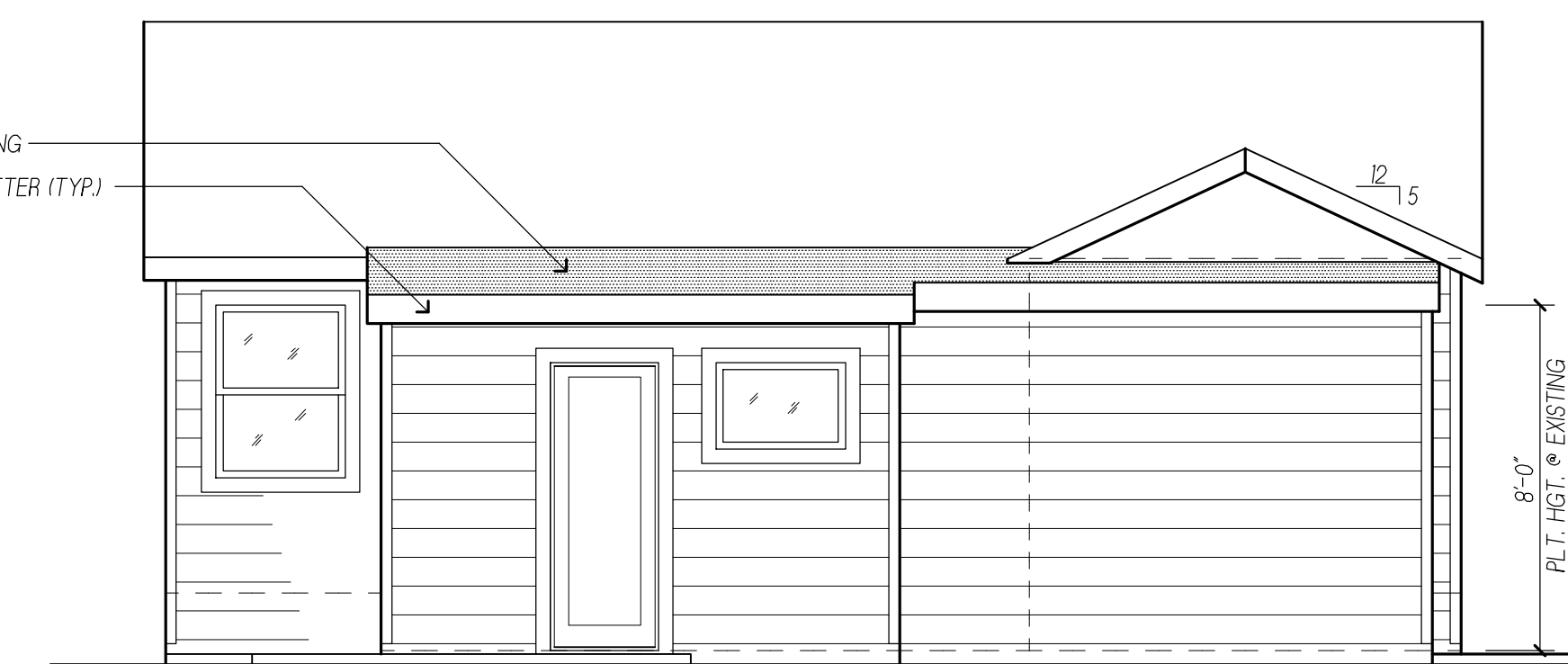
EXTERIOR ELEVATIONS

| | |
|-------|--------------|
| DATE | 2-16-20 |
| DRAWN | dlp |
| SCALE | 1/4" = 1'-0" |
| JOB# | 19-782 |
| SHEET | 5 |

Attachment 6
Alternate North Elevation, Received
June 30, 2020

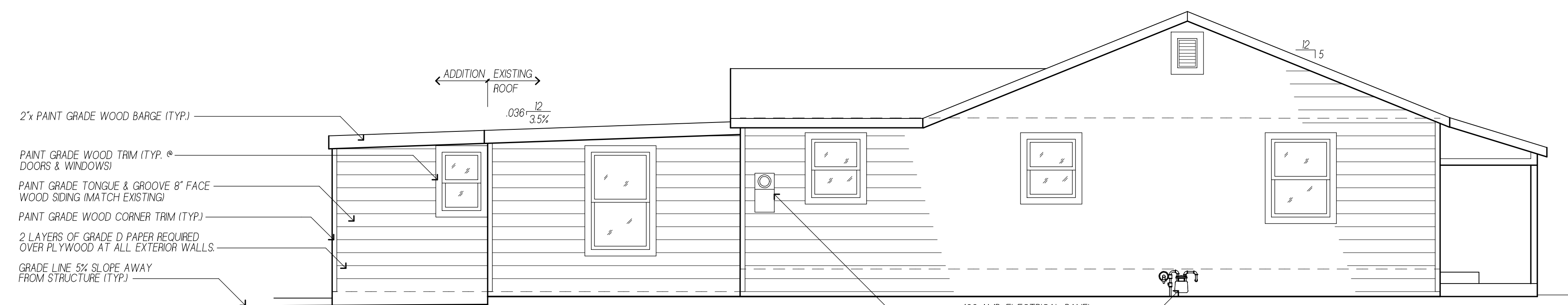


REAR (South)



LEFT (East)

NOTE:
MATCH ALL APPLICABLE DESIGNS AND MATERIALS
OF EXISTING RESIDENCE



ALT. FRONT (North)

| DATE | REVISIONS |
|------|-----------|
| | |
| | |
| | |

ENGINEER: **Paulo Ibanez P.E.**
P.O. Box 781
Citrus Heights, CA. 95611
Ph. (916) 524-3052
pibanez@surewest.net

DESIGNER: **d. l. potts drafting services**
Deanna L. Potts
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Off./Fax (916) 988-7368
dlpottsdrftng@gmail.com

PROJECT: **CASTRO RESIDENCE ADDITION**
310 MORMON STREET FOLSOM, CA. 95630
CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-020-024

TOWNER: **SHELLY CASTRO**
310 MORMON STREET FOLSOM, CA. 95630
CELL PH.- (916) 521-3598

EXTERIOR ELEVATIONS

| | |
|-------|--------------|
| DATE | 2-16-20 |
| DRAWN | dip |
| SCALE | 1/4" = 1'-0" |
| JOB# | 19-782 |
| SHEET | 5 |

Attachment 7 Original Elevations

| DATE | REVISIONS |
|------|-----------|
| | |
| | |

ENGINEER
Paulo Ibanez P.E.
 P.O. Box 781
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 Ph. (916) 524-3052
 pibanez@surewest.net

DESIGNER
d. l. potts drafting services
 Deanna L. Potts
 Orangevale, Ca. 95662
 O/H./Fax (916) 988-7368
 dpotlstraftrng@gmail.com

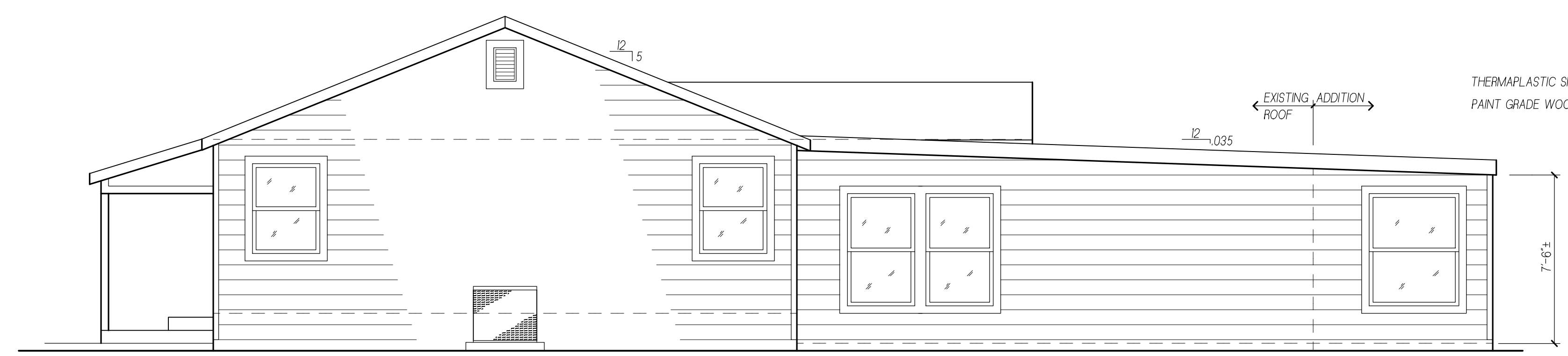
PROJECT
CASTRO RESIDENCE ADDITION
 310 MORMON STREET FOLSOM, CA. 95630
 CITY OF FOLSOM, COUNTY OF SACRAMENTO APN-070-020-024

OWNER
 SHELLY CASTRO
 310 MORMON STREET FOLSOM, CA. 95630
 CELL PH.- (916) 521-3598

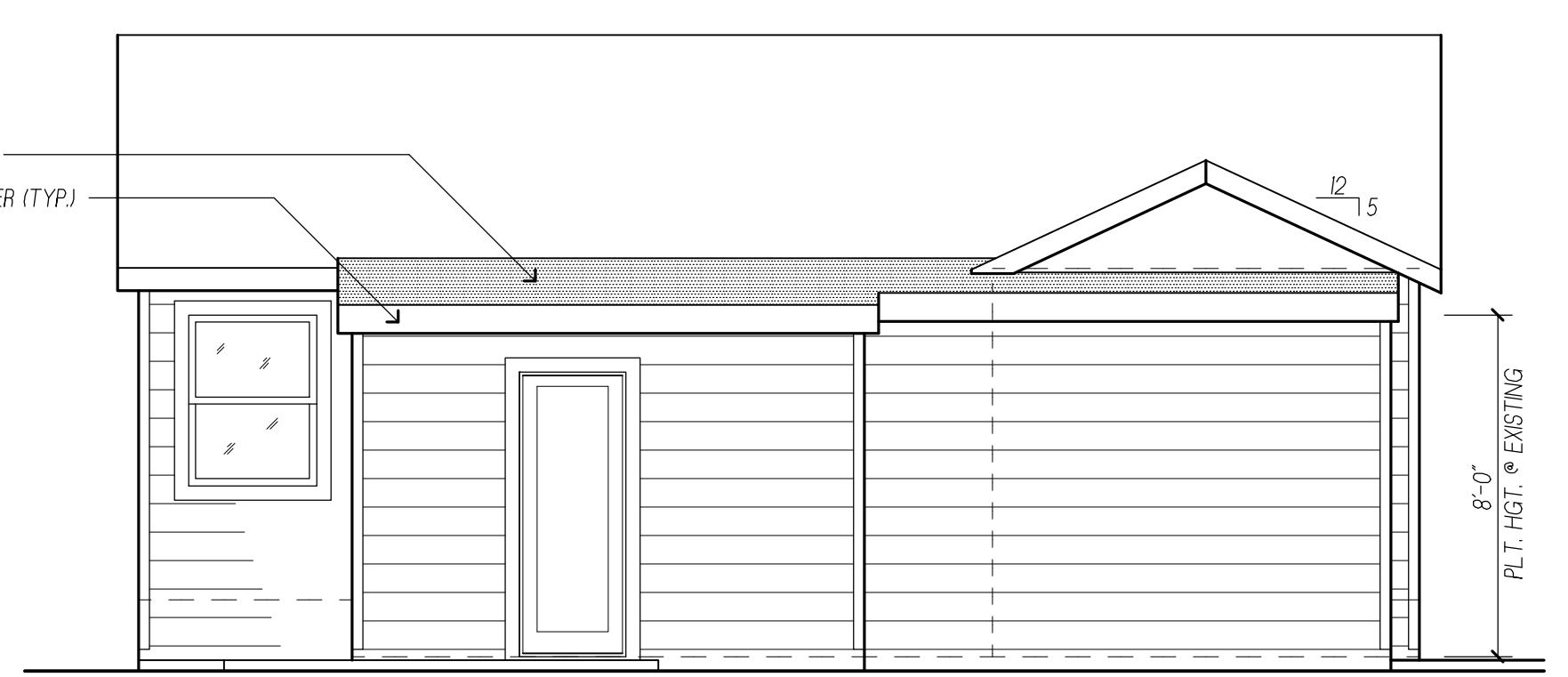
EXTERIOR ELEVATIONS

DATE: 2-16-20
 DRAWN: dlp
 SCALE: 1/4" = 1'-0"
 JOB#: 19-782
 SHEET:

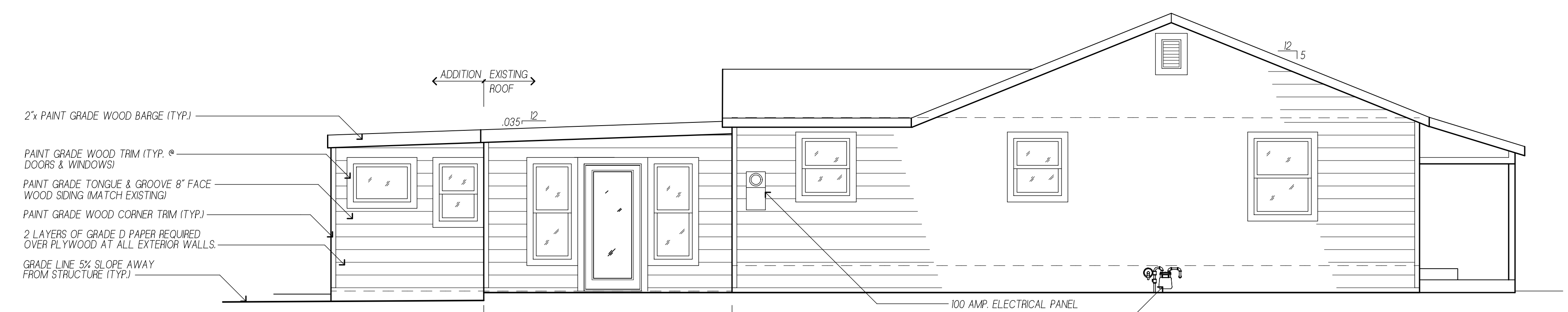
5



REAR (South)



LEFT (East)



FRONT (North)

NOTE:
 MATCH ALL APPLICABLE DESIGNS AND MATERIALS
 OF EXISTING RESIDENCE

Attachment 8

Photographs of the Project Site



Faces Natomas St





30



Attachment 9

Public Comment Letters

**HERITAGE PRESERVATION LEAGUE OF FOLSOM
PROJECT APPLICATION REVIEW**

April 8, 2020

PROJECT: Residential Addition at 310 Mormon Street in the Central Subarea
(PN 20-061)

REQUEST: Residential Design Review

PROJECT

HISTORY: Application Circulated by City on March 18, 2020.
Feedback requested by April 8.

GENERAL COMMENTS

The residential property at 310 Mormon Street is accessed through a private driveway from Coloma Street. As shown on the Assessor’s Parcel Map, the depth of the parcel (up to the centerline of the vacated Figueroa Street/Mormon Street Alley) is 70 feet and the property is land locked. It is the applicant’s responsibility to demonstrate that the depth of the parcel has been increased to 80 feet (as shown on the Site Plan) and that a private access easement has been established to Coloma Street.

At this time, the front entrance of the residence is facing west and the setbacks appears to be based on this orientation (the side of the residence is currently oriented toward the vacated alley). However, the applicant is proposing to add a front door along the north façade of the addition and the longer side of the property (that is facing the access road) has been considered the front boundary.

The address of the property could also be a problem. It appears that emergency vehicles would have an easier time to locate the residence if it had a Coloma Street address.

Outstanding Issues:

- The City will need evidence that the vacated Figueroa Street/Mormon Street Alley has been incorporated with the property (for a lot depth of 80 feet).
- Before the residence can be enlarged, the City will need evidence that a private access easement to Coloma Street has been dedicated to the property owner and that a shared maintenance agreement has been established for this roadway.
- Feedback regarding addressing is needed from the Fire Department.

SITE DESIGN

The applicant has requested that the building setbacks should be reoriented. After the proposed building addition the residence will meet the new setbacks (even with a lot depth of 70 feet). However, because the existing carport is incorporated with the building addition, the two required parking spaces will be located within the front setback area. It is possible that this parking solution will need to be processed as a variance.

As shown on the Site Plan, site drainage has been directed towards the surrounding properties. Because the finished floor of the building addition is lower than the existing residence, it appears that more information will be needed about site grading to demonstrate that the current drainage conditions will not be adversely impacted.

The applicant is proposing to remove a large tree in order to widen the driveway to the east. More information is needed about this tree. If the tree is a protected oak in good condition, HPL recommends that it should be preserved. As an alternative, the driveway could be widened to the west.

Site Recommendations:

- Demonstrate that positive drainage can be maintained on the project site and that additional drainage will not be directed towards adjacent properties.
- Consider saving the tree on the east side of the driveway and if needed widen the driveway along the west side.

ARCHITECTURE

The new building addition is not proposed to be accessed from the existing residence. Instead a new entrance will be provided along the north side of the expansion. A flat roof design has been proposed. This design is not compatible with the existing residence. HPL recommends that the new roof segment (as seen from the access road) should be sloped.

Regarding the front façade HPL recommends that a paneled door with glass only in the upper part should be used. A window on just one side of the door would also appear more historically appropriate. In order for the north façade to be redesigned as the front of the residence, the addition of a small front porch and roof cover would be appropriate.

Architectural Recommendations

- Modify the north façade of the proposed addition as follows:
 - a) Add a pitched roof.
 - b) Select a paneled door with a window in the upper half.
 - c) Add a small porch and roof cover at the new entrance area.
 - d) Consider adding a window at only one side of the new entrance door.

From:
To: [Brianna Gustafson](#)
Subject: HFRA Input: PN20-061 310 Mormon Street Addition Street Design Review
Date: Tuesday, April 7, 2020 5:30:31 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Historic Folsom Residents Association: HFRA

To:

Brianna Gustafson
Assistant Planner
Community Development Department
50 Natoma Street, Folsom, CA 95630

Attention: PN20-061 310 Mormon Street Addition Street Design Review

Hello Ms. Gustafson,

In reviewing the listed addition to the house, we have only one issue we would like see resolved.

From the plans there seems to be no interior door from the addition to the current house. That seems to indicate this could be used as an ADU in the future. My understanding is there must to be an interior door of an ADU of this type or the potential of it being an ADU.

Thank you very much for seeking this input.

Regards

Paul Keast
V.P. Government Liaison, Historic Folsom Residents Association

From:
To: [Josh Kinkade](#)
Subject: 310 Mormon Street Recommendation
Date: Tuesday, July 7, 2020 1:46:46 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Mr. Kinkade,

My name is Judy Kennedy and I am the homeowner at 306 Mormon Street. My neighbor at 310 Mormon Street is Shelly Castro. Shelly and her three sweet children have been a great addition to our neighborhood. Shelly has great taste and I've enjoyed seeing all the lovely cosmetic updates she has made to her home. It is my opinion the commission should approve the plans Shelly is submitting to convert her carport and patio to living space. Currently the car port is unfinished empty space and I believe closing it in with siding that matches will improve the look of the little ally we share. Please vote to approve her plans so she can get started as soon as possible!

Sincerely,

Judy Kennedy

From:
To: [Josh Kinkade](#)
Subject: 310 Mormon Street remodel
Date: Tuesday, July 7, 2020 5:49:45 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mr. Kinkade,

We are writing to you on behalf of Shelly Castro in support of her project at 310 Mormon Street. Our home at 308 Mormon Street shares a back fence with Shelly and her three children. We have reviewed Shelly's plan and find it not only aesthetically matches the existing structure but improves on what is currently a covered patio. As members of the Historic Folsom community we believe her plan to convert the covered space to a living area will add value not just to her family but the neighborhood property values overall.

Thank you for considering our family's support of Shelly's plan in your decision-making process.

Sincerely,

Josh Vickers

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From:
To: [Josh Kerkade](#)
Subject: Project for Shelly Castro at 310 Mormon Street
Date: Tuesday, July 7, 2020 7:35:22 PM

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Good evening,

Our home is located at 409 Coloma Street. We share a fence with our neighbor, Shelly Castro. We have met with Shelly and discussed her plans to remodel her home., and viewed the proposed changes. We do not regularly access the Mormon Alley beyond our driveway (which is also on Mormon Alley), and we support the project. Thank you for your time and consideration.

Sincerely,

Rachael Phillips and Mike Fallon

Attachment 10

Staff PowerPoint Presentation

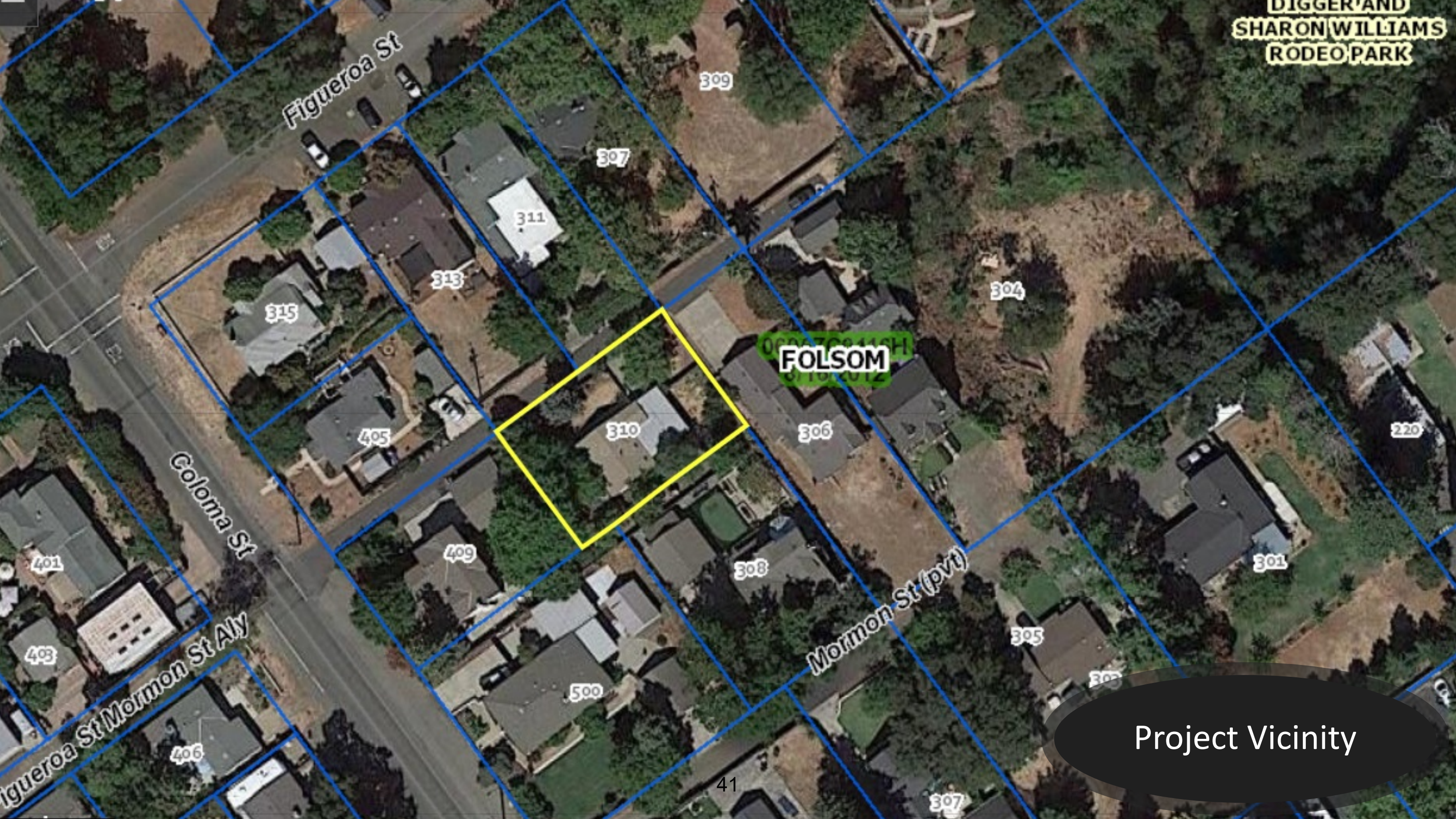


310 Mormon Street Addition



CITY OF
FOLSOM

DIGGER AND
SHARON WILLIAMS
RODEO PARK



FOLSOM

Project Vicinity

Site Photos



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Existing Carport



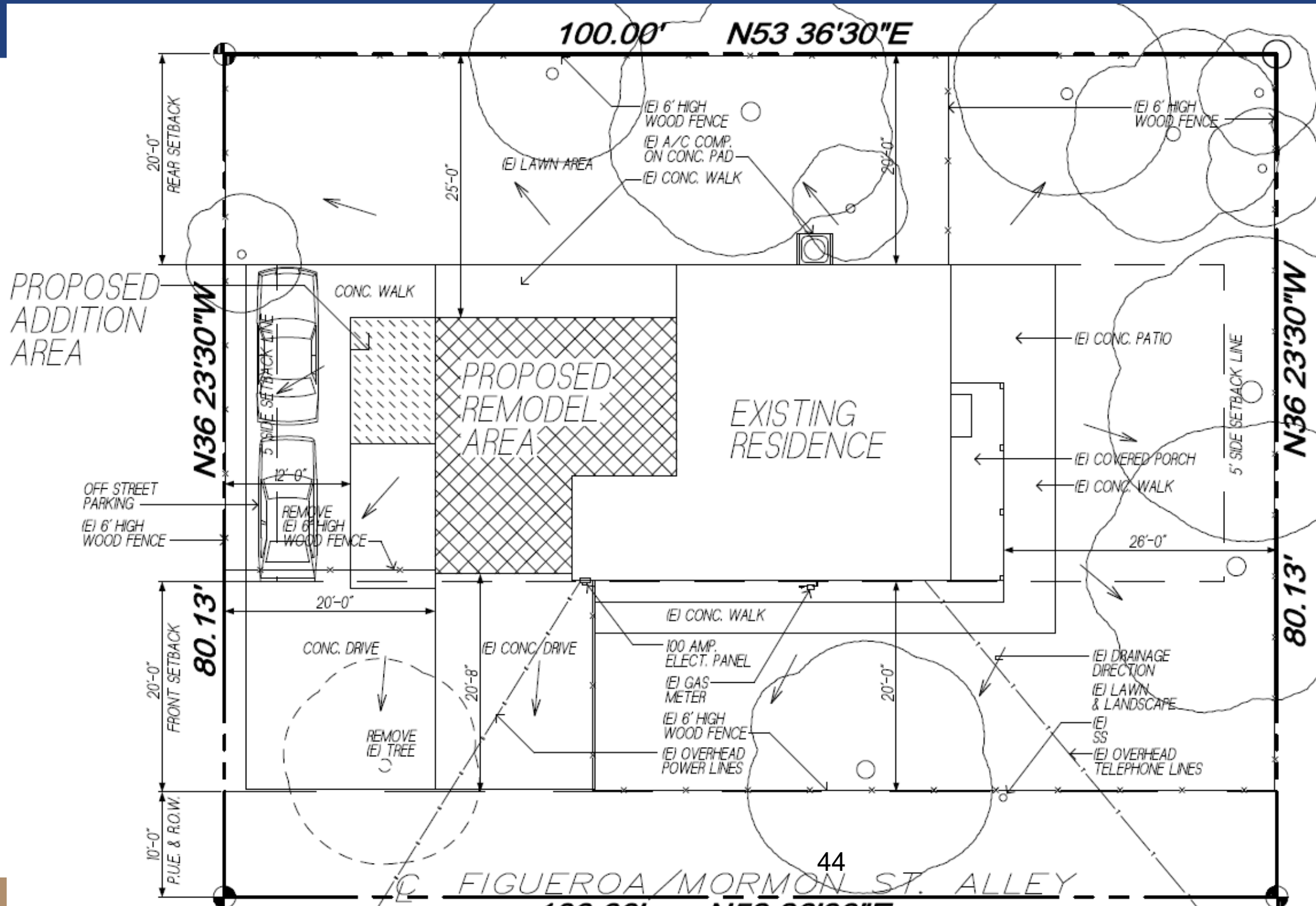
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Site Plan



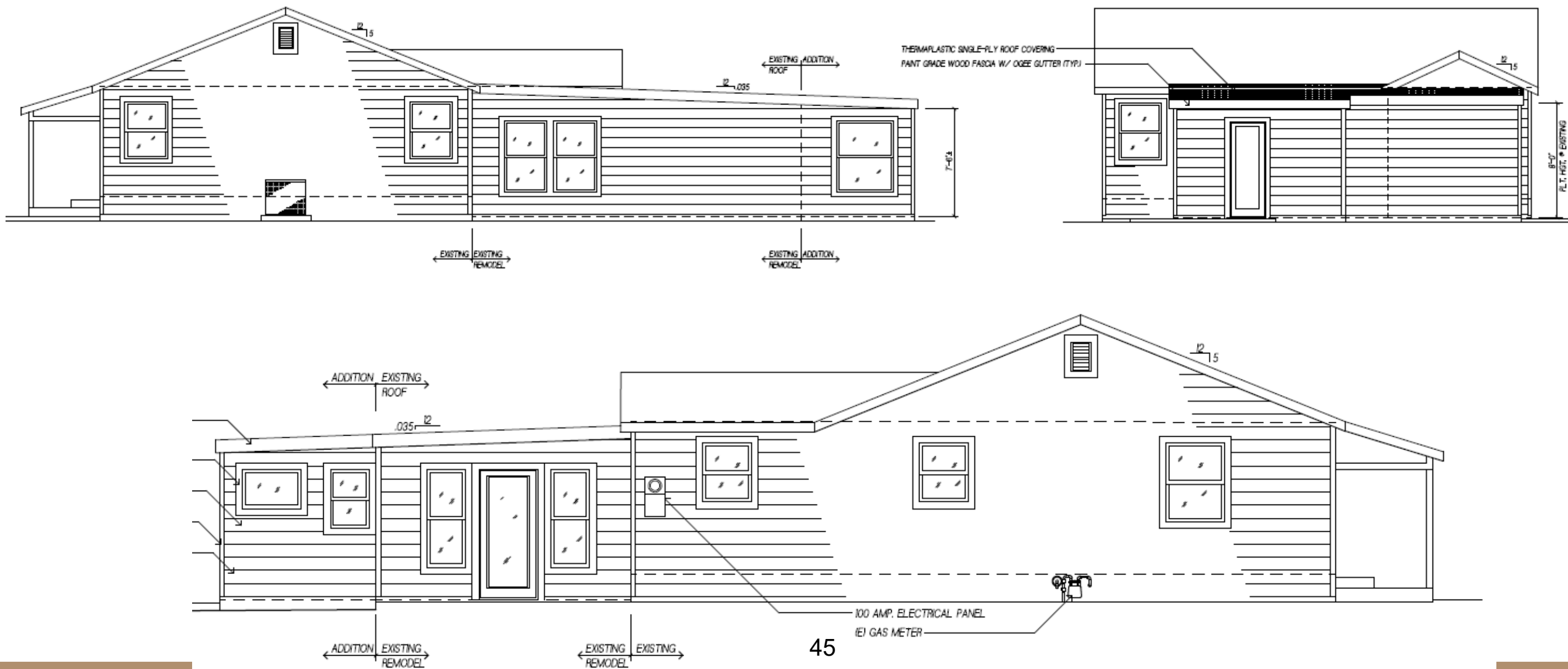
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Original Elevations



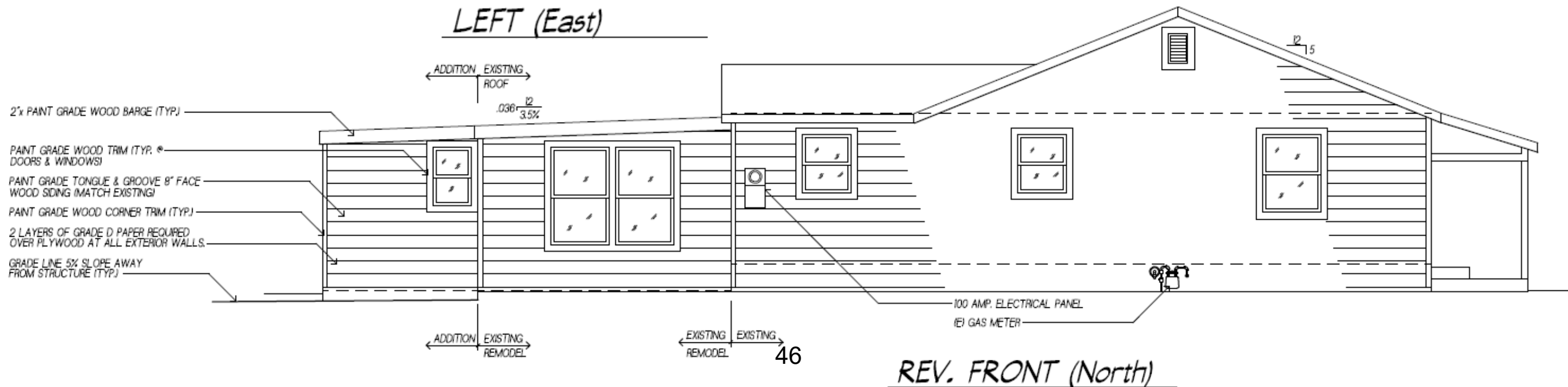
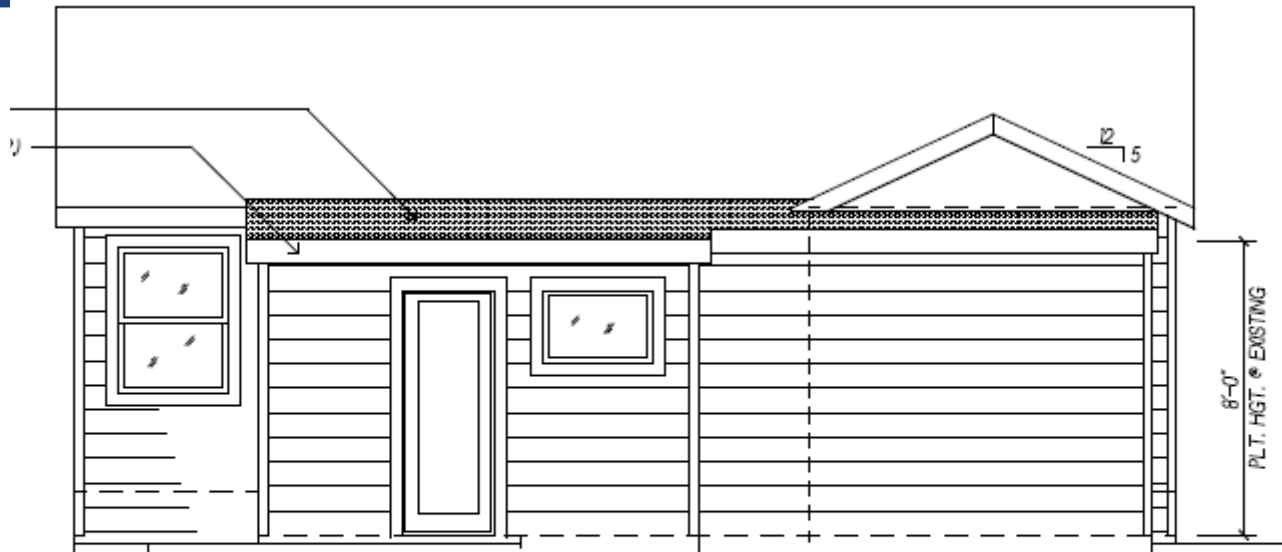
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Proposed Modified Elevations



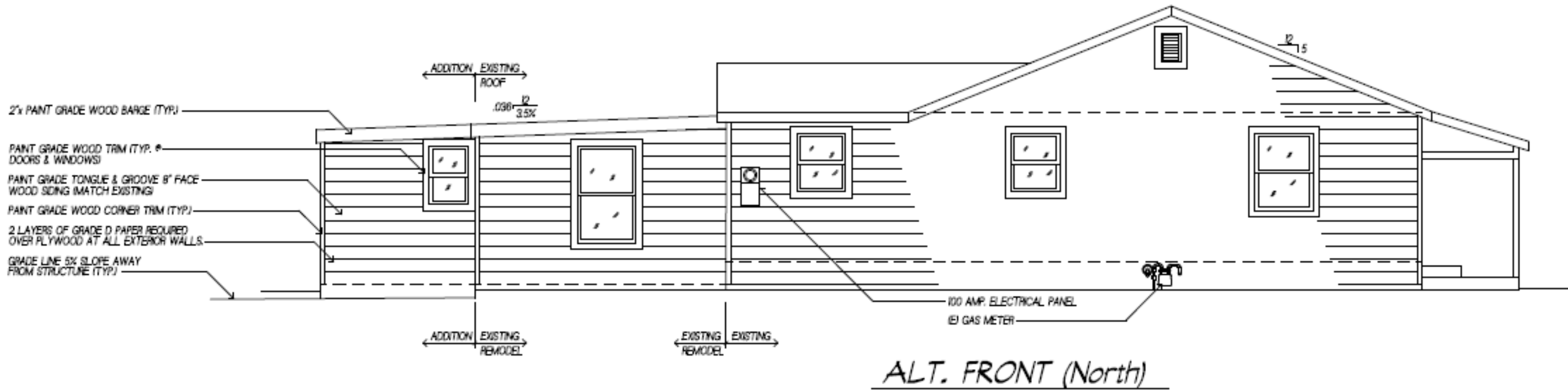
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Alternate Modified North Elevation



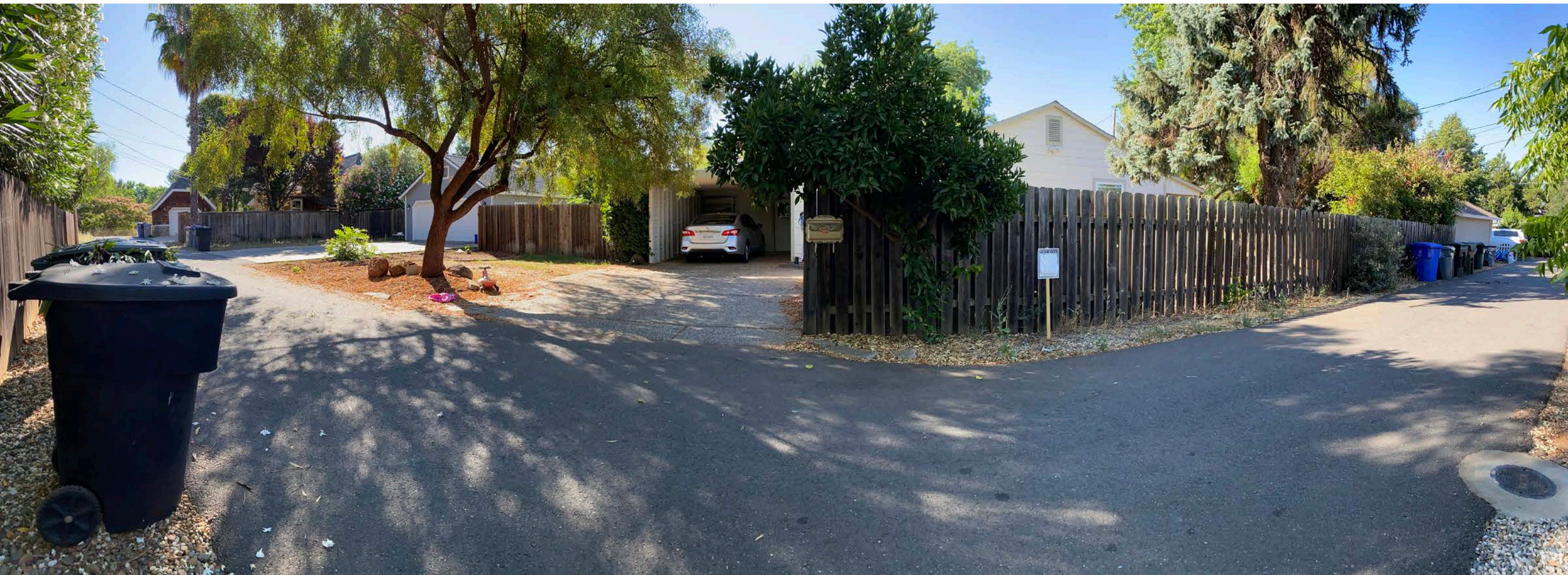
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View From Alley



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Staff Recommendation



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Staff recommends approval of PN 20-061 for Design Review of a 562-square-foot addition to an existing single-family residence located at 310 Mormon Street.