



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**HISTORIC DISTRICT COMMISSION AGENDA**  
**June 2, 2021**  
**CITY COUNCIL CHAMBERS**  
**5:00 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

Pursuant to Governor Newsom's Executive Order N-29-20, members of the Folsom Historic District Commission and staff may participate in this meeting via teleconference.

Due to the coronavirus (COVID-19) public health emergency, the City of Folsom is allowing remote public input during Commission meetings. Members of the public are encouraged to participate by e-mailing comments to [ksanabria@folsom.ca.us](mailto:ksanabria@folsom.ca.us). E-mailed comments must be received no later than thirty minutes before the meeting and will be read aloud at the meeting during the agenda item. Please make your comments brief. Written comments submitted and read into the public record must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Commission meetings. Members of the public wishing to participate in this meeting via teleconference may email [ksanabria@folsom.ca.us](mailto:ksanabria@folsom.ca.us) no later than thirty minutes before the meeting to obtain call-in information. Each meeting may have different call-in information. Verbal comments via teleconference must adhere to the principles of the three-minute speaking time permitted for in-person public comment at Historic District Commission meetings.

Members of the public may continue to participate in the meeting in person at Folsom City Hall, 50 Natoma Street, Folsom CA while maintaining appropriate social distancing.

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:** Mickey Ankhelyi, Kevin Duewel, Mark Dascallos, John Felts, Daniel West, Kathleen Cole, Daron Bracht

*Any documents produced by the City and distributed to the Historic District Commission regarding any item on this agenda will be made available at the Community Development Counter at City Hall located at 50 Natoma Street, Folsom, California and at the table to the left as you enter the Council Chambers.*

#### **PLEDGE OF ALLEGIANCE**

**CITIZEN COMMUNICATION:** The Historic District Commission welcomes and encourages participation in City Historic District Commission meetings, and will allow up to five minutes for expression on a non-agenda item. Matters under the jurisdiction of the Commission, and not on the posted agenda, may be addressed by the general public; however, California law prohibits the Commission from taking action on any matter which is not on the posted agenda unless it is determined to be an emergency by the Commission.

#### **MINUTES**

The minutes of the May 5, 2021 meeting will be presented for approval.

#### **NEW BUSINESS**

##### **1. PN 21-066, 906 Bidwell Street Detached Garage and Accessory Dwelling Unit Design Review and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Don Sherwood for approval of a Design Review application for a two-story structure with a 733-square-foot garage and a 752-square-foot Accessory Dwelling Unit above on a residential lot located at 906 Bidwell Street. The zoning classification for the site is CEN (R-1-M), while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act

in accordance with Section 15303 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Don Sherwood)**

**2. PN 21-080, 413 Figueroa Street Detached Garage Demolition, Detached Garage and Accessory Dwelling Unit Design Review, and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from Zach Thomas for approval of a demolition and Design Review application for demolition of an existing detached garage and construction of a two-story structure containing an 864-square-foot garage and a 974-square-foot Accessory Dwelling Unit at 413 Figueroa Street. The zoning classification for the site is FIG (R-1-M), while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Sections 15303 and 15301 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Zach Thomas)**

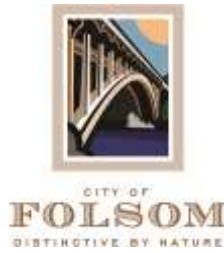
**HISTORIC DISTRICT COMMISSION / PRINCIPAL PLANNER REPORT**

The next Historic District Commission meeting is scheduled for **June 16, 2021**. Additional non-public hearing items may be added to the agenda; any such additions will be posted on the bulletin board in the foyer at City Hall at least 72 hours prior to the meeting. Persons having questions on any of these items can visit the Community Development Department during normal business hours (8:00 a.m. to 5:00 p.m.) at City Hall, 2<sup>nd</sup> Floor, 50 Natoma Street, Folsom, California, prior to the meeting. The phone number is (916) 461-6200 and fax number is (916) 355-7274.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in the meeting, please contact the Community Development Department at (916) 461-6231, (916) 355-7274 (fax) or [kmullett@folsom.ca.us](mailto:kmullett@folsom.ca.us). Requests must be made as early as possible and at least two-full business days before the start of the meeting.

**NOTICE REGARDING CHALLENGES TO DECISIONS**

**The appeal period for Historic District Commission Action:** Pursuant to all applicable laws and regulations, including without limitation, California Government Code, Section 65009 and/or California Public Resources Code, Section 21177, if you wish to challenge in court any of the above decisions (regarding planning, zoning, and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the City at, or prior to, this public hearing. Any appeal of a Historic District Commission action must be filed, in writing with the City Clerk's Office no later than ten (10) days from the date of the action pursuant to Resolution No. 8081.



**HISTORIC DISTRICT COMMISSION MINUTES**  
**May 5, 2021**  
**CITY COUNCIL CHAMBERS**  
**5:00 p.m.**  
**50 Natoma Street**  
**Folsom, California 95630**

**CALL TO ORDER HISTORIC DISTRICT COMMISSION:** Kevin Duewel, Mark Dascallos, John Felts, Daniel West, Kathleen Cole, Mickey Ankhelyi, Daron Bracht

**ABSENT:** Bracht

**PLEDGE OF ALLEGIANCE**

**CITIZEN COMMUNICATION:** None

**MINUTES:** The minutes of the April 7, 2021 meeting were approved as submitted.

**OLD BUSINESS**

**1. PN 21-059, 908 Bidwell Street Design Review Modifications and Determination that the Project is Exempt from CEQA (Continued from the 4/21/21 HDC Meeting)**

A Public Meeting to consider a request from AK Developers, Inc. for approval of a Design Review application for exterior modifications to a previously approved 2,837-square-foot single-family residence with attached second unit at 908 Bidwell Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Steve Banks/Applicant: AK Developers, Inc.)**

1. Loretta Hettinger addressed the Historic District Commission citing concerns regarding the architecture and color of the property, and the importance of having a representative on staff for historic preservation.
2. Jennifer Lane addressed the Historic District Commission citing concerns regarding the ADU placement in the front of the property and the number of trees removed.
3. Bob Delp addressed the Historic District Commission citing concerns regarding variances and the valid reasons to approve one.

COMMISSIONER DUEWEL MOVED TO APPROVE DESIGN REVIEW FOR EXTERIOR MODIFICATIONS TO A PREVIOUSLY APPROVED 2,837-SQUARE-FOOT SINGLE-FAMILY RESIDENCE WITH ATTACHED SECOND UNIT AS ILLUSTRATED ON ATTACHMENTS 7 AND 9 FOR THE 908 BIDWELL STREET DESIGN REVIEW MODIFICATIONS PROJECT (PN 21-059) SUBJECT TO THE FINDINGS (FINDINGS A-I) AND ATTACHED CONDITIONS OF APPROVAL NOS. 1-22.

COMMISSIONER WEST SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: DUEWEL, DASCALLOS, FELTS, WEST, COLE  
NOES: ANKHELYI  
RECUSED: NONE  
ABSENT: BRACHT

**2. PN 21-058, 813 Natoma Street Addition and Determination that the Project is Exempt from CEQA (Continued from the 4/21/21 HDC Meeting)**

A Public Meeting to consider a request from Eric Winokur for approval of a Design Review application for a 291-square-foot addition to an existing residence located at 813 Natoma Street. The zoning classification for the site is R-1-M/CEN, while the General Plan land-use designation is SFHD. The project is exempt from the California Environmental Quality Act in accordance with Section 15301 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Eric Winokur)**

COMMISSIONER WEST MOVED TO APPROVE THE DESIGN REVIEW APPLICATION (PN 21-058) FOR A 291-SQUARE-FOOT ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 813 NATOMA STREET, AS ILLUSTRATED ON ATTACHMENT 5 FOR THE 813 NATOMA STREET ADDITION PROJECT, SUBJECT TO THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-H) AND ATTACHED CONDITIONS OF APPROVAL NOS. 1-8.

COMMISSIONER ANKHELYI SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: DUEWEL, DASCALLOS, FELTS, WEST, ANKHELYI, COLE  
NOES: NONE  
RECUSED: NONE  
ABSENT: BRACHT

**NEW BUSINESS**

**3. PN 21-055, 1009 Leidesdorff Street Detached Garage Design Review and Determination that the Project is Exempt from CEQA**

A Public Meeting to consider a request from AK Developers, Inc. for approval of a Design Review application for a 576-square-foot detached garage located at 1009 Leidesdorff Street. The zoning classification for the site is R-4/RIV, while the General Plan land-use designation is HF. The project is exempt from the California Environmental Quality Act in accordance with Section 15303 of the CEQA Guidelines. **(Project Planner: Josh Kinkade/Applicant: Adamis DeLeon)**

COMMISSIONER COLE MOVED TO APPROVE THE APPLICATION (PN 21-055) FOR DESIGN REVIEW FOR A 576-SQUARE-FOOT DETACHED GARAGE LOCTED AT 1009 LEIDESDORFF STREET, AS ILLUSTRATED ON ATTACHMENT 5 FOR THE 1009 LEIDESDORFF STREET DETACHED GARAGE PROJECT, SUBJECT TO THE FINDINGS INCLUDED IN THIS REPORT (FINDINGS A-H) AND ATTACHED CONDITIONS OF APPROVAL NOS. 1-7.

COMMISSIONER FELTS SECONDED THE MOTION WHICH CARRIED THE FOLLOWING VOTE:

AYES: DUEWEL, DASCALLOS, FELTS, WEST, ANKHELYI, COLE  
NOES: NONE  
RECUSED: NONE  
ABSENT: BRACHT

**PRINCIPAL PLANNER REPORT**

The next regularly scheduled meeting of the Historic District Commission will be held June 2, 2021.

RESPECTFULLY SUBMITTED,

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Kelly Mullett, ADMINISTRATIVE ASSISTANT

**APPROVED:**

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Daron Bracht, CHAIR



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 1**  
**Type: Public Meeting**  
**Date: June 2, 2021**

## **Historic District Commission Staff Report**

50 Natoma Street, Council Chambers  
Folsom, CA 95630

**Project:** 906 Bidwell Street Garage and Accessory Dwelling Unit  
**File #:** PN 21-061  
**Request:** Design Review  
**Location:** 906 Bidwell Street  
**Parcel(s):** 070-0201-009  
**Staff Contact:** Josh Kinkade, Associate Planner, 916-461-6209  
jkinkade@folsom.ca.us

### **Property Owner/Applicant**

Name: Don Sherwood  
Address: 359 Hansen Circle  
Folsom, CA 95630

**Recommendation** Conduct a public meeting, and upon conclusion recommend approval of an application for Design Review for a two-story structure with a 733-square-foot garage and a 752-square-foot Accessory Dwelling Unit above on a residential lot located at 906 Bidwell Street (PN 21-061) subject to the findings included in this report (Findings A-I) and attached conditions of approval (Conditions 1-7).

**Project Summary:** The proposed project consists of a two-story structure with a 733-square-foot garage and a 752-square-foot Accessory Dwelling Unit above on a lot located at 906 Bidwell Street. The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District.

### **Table of Contents:**

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Vicinity Map
- 5 - Site Plan, Floor Plans and Elevations dated 3-24-21
- 6 - Proposed Colors and Materials
- 7 - Approved Elevations of Main Residence
- 7 - Site Photo



CITY OF  
**FOLSOM**  
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**AGENDA ITEM NO. 1**  
**Type: Public Meeting**  
**Date: June 2, 2021**

Submitted,

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PAM JOHNS  
Community Development Director

## ATTACHMENT 1 DESCRIPTION/ANALYSIS

### PREVIOUS APPROVALS

The Historic District Commission approved demolition of an existing shed and design review for a new custom home on the lot in question in 2019. Construction of the new home has not yet commenced, and the existing shed has not yet been demolished.

### APPLICANT'S PROPOSAL

The proposed project consists of a two-story structure with a 733-square-foot garage and a 752-square-foot, one-bedroom Accessory Dwelling Unit above on a residential lot located at 906 Bidwell Street.

The two-story structure is proposed to be 24.2 feet in height. The proposed site plan, floor plan and elevations are included in Attachment 5. Exterior materials proposed are horizontal lap siding and panelized cementitious shingle siding colored to match the green color of the approved but yet-to-be-constructed main residence. Exterior grey asphalt shingle roofing and cream window trim are proposed to match those of the approved main residence. Proposed colors and materials are provided in Attachment 6.

The property at 906 Bidwell Street is not included on the City of Folsom Cultural Resources Inventory.

### POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code (FMC) states that the Historic District Commission shall have final authority relating to the design and architecture of all new residential structures and all exterior renovations, remodeling, modification, or addition to existing structures within the Historic District. Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

Section 17.52.490 of the FMC states that ADUs in the Historic District shall comply with



the standards set forth in FMC Chapter 17.105, which states that the design standards set forth in FMC Section 17.105.150 apply to all ADUs city-wide and that, in addition, the design standards of FMC Section 17.105.160 apply to all ADUs in the Historic District that are larger than 800 square feet or greater than 16 feet in height.

FMC Section 17.105.070 states that in the Historic District, any proposed detached ADU that exceeds a height of 16 feet shall be subject to review by the Historic District Commission, in compliance with the provisions of FMC sections 17.52.300 through 17.52.350, generally governing design review in the Historic District.

## ANALYSIS

### General Plan and Zoning Consistency

The General Plan land use designation for the project site is SFHD (Single-Family High Density), and the zoning designation for the project site is R-1-M (Single-Family Residential, Small Lot), within the Central Subarea of the Historic Residential Primary Area of the Historic District. FMC Section 17.105.060 states that one ADU is permitted in single-unit zones with an existing or proposed single-unit dwelling. Accessory structures are allowed in the Historic Residential Primary Area per FMC Section 17.52.520(a)(1).

Section 17.52.540 of the FMC institutes requirements for lot size, lot width, setbacks, pervious surface, and building height in the Historic Residential Primary Area. Sections 17.105.070 and 17.105.110 of the FMC institute development standards regarding location, size, setbacks, height, separation, lot coverage, and parking for detached ADUs.

Because ADUs and garages are both allowed uses for the subject parcel, the proposed use is not subject to Commission approval. However, the design of the proposed structure is subject to Commission approval since this ADU exceeds the height standard (16 feet) established in FMC Section 17.105.060(B).

The following table shows how the proposed project relates to the FMC zoning requirements:

	<b>REQUIRED</b>	<b>PROPOSED</b>
<b>Minimum Lot Size</b>	n/a	7,000 sf
<b>Minimum Lot Width</b>	n/a	50 feet
<b>Maximum ADU Size</b>	One bed: 850 sqft Two+ beds: 1,000 sqft	752 sf (one bed)
<b>Front Setback</b>	Does not break front plane of primary dwelling and meets setback of primary dwelling (20 feet)	109 feet, in back of primary dwelling

<b>Rear Setback</b>	4 feet	6 feet
<b>Side Setback</b>	4 feet	9 feet and 5 feet
<b>Minimum Pervious Surface</b>	45%	62%
<b>Parking Requirement</b>	n/a 2 parking spaces (existing) 0 parking spaces (as proposed)	2 parking spaces (proposed)
<b>Maximum Building Height</b>	25 feet, or the height of the primary structure (whichever is less)	24.2 feet (primary structure is 26.8 feet tall)
<b>Structure Separation</b>	6 feet from the primary structure or other accessory structures on-site	32 feet from primary structure (no other structures on-site)

As shown in the above table (and on the site plan in Attachment 5), the proposed project meets all relevant development standards of the FMC.

Finally, FMC Section 17.105.170 states that any accessory dwelling unit proposed for construction on or within fifty feet of the property line of a parcel containing a structure listed on the California Register of Historic Resources shall have a peak height above finished grade of no more than sixteen feet. The proposed ADU is not located within fifty feet of a property line of a parcel containing a structure listed on the California Register of Historic Resources or on the City of Folsom’s Cultural Resources Inventory.

**Building Design/Architecture**

Pursuant to FMC section 17.105.070(B)(1), this is a discretionary design review by the Commission. As a result, the design standards in FMC sections 17.105.150 and 17.105.160, as well as the design guidelines within the Historic District Design and Development Guidelines (DDGs) apply to this project.

The following table provides an analysis for how the proposed ADU meets the standards of FMC Section 17.105.150 for two-story ADUs or ADUs constructed above an accessory structure:

<u>STANDARD</u>	<u>ANALYSIS</u>
All exterior walls shall include at least two different materials, as well as either windows or projections or bays or recessed elements.	Exterior materials used are horizontal lap siding and panelized cementitious shingle siding
The accessory dwelling unit shall have the same roof pitch as the primary dwelling with matching eave details but	Main residence roof slopes are 10/12 and 5/12. Proposed roof slopes for ADU are 12/12 and 4.5/12.

<p>may vary by up to 2/12 more or 2/12 less than the roof pitch of the primary dwelling. Roof must follow the roof pitch requirements for design style allowed in the Historic District subarea</p>	
<p>Any second story wall facing an abutting property shall incorporate the following features: translucent glazed windows, transom windows, clerestory windows, false windows, or other similar design approach that achieves the same purpose.</p>	<p>Second floor window glazing on west side yard elevation is obscured/translucent.                  Second floor window on east side yard elevation begins 3.8 feet above finished floor and floor plan provides adequate screening to retain privacy from neighbor's back yard</p>
<p>The landing area of any external staircase shall be screened from the bottom of the landing to the top of the entry of the accessory dwelling unit to maintain the privacy of abutting properties. Materials used to screen the landing shall be of the same color and material as those used for the accessory dwelling unit.</p>	<p>Exterior landing is 3 feet above grade and 9 feet from adjacent property line. Existing 6-foot fence will provide necessary screening of exterior landing</p>
<p>Building massing shall be modified using one of the following methods:</p> <ol style="list-style-type: none"> <li>1. Use of at least two different building materials.</li> <li>2. Use of recessed or projecting windows, doors, or parts of the wall to avoid flat monotonous facades. Recessed windows and doors shall project a minimum of six inches or shall be recessed a minimum of six inches. Any projection must be behind the parcel side or rear yard setback line.</li> <li>3. Use of cantilevered areas so long as area does not extend beyond the side or rear yard setback.</li> <li>4. Use of varied roof form such as a mix of different roof types (e.g., hipped, gabled, slant, etc.).</li> </ol>	<p>Two exterior finish materials are proposed. ADU also incorporates various roof forms, slopes and dormers</p>
<p>No decks or balconies shall be allowed, except that one balcony no larger than twenty square feet shall be allowed on the front facade</p>	<p>Project does not incorporate a deck or balcony</p>

If any external staircase is necessary to access the unit, that staircase shall be located at the side or rear of the unit and shall be at least five feet from the adjacent property line.	Exterior landing is 3 feet above grade and 9 feet from adjacent property line. Stoop and landing are located on side of unit. Stairway access to second floor ADU is within the interior of the garage
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The applicant is also required to comply with the objective design standards of FMC Section 17.105.160, which mandate that an appropriate style (Craftsman, Queen Anne, Delta, Italianate, or Spanish Eclectic for all zones and subareas, including the subject area) is chosen and that specific design elements are met for the chosen style. In this case, the applicant has chosen the Craftsman style. The below table lists the required design elements of the Craftsman style from FMC section 17.105.160(C)(1) and provides an analysis for how the applicant is meeting these design elements.

<u>DESIGN ELEMENT</u>	<u>ANALYSIS</u>
A roof pitch between 3/12 and 8/12.	Majority of roof is 4.5/12. Gable ends are 12/12 to accommodate headroom clearance in stairway and recall a single-story appearance on the side yard elevations.
Exposed roof rafters and/or braces under gables (i.e., knee braces or corbels).	ADU has exposed rafter tails and knee braces at gabled ends. ADU is side-gabled with large shed dormers on each side.
Single- or double-hung sash windows with small panes above large pane (e.g., three small panes over one large pane, or six-over-one window) for all windows on the front elevation.	ADU utilizes single-hung windows with smaller divided panes on upper panel of windows on front (north/alley) elevation
Horizontal clapboard or shingle siding that is 2.5 to 6 inches wide or board and batten or a mix of shingles, stone, and siding for different levels or elements may be used. Fiber cement board and shingles may be used in place of wood siding or shingles.	Proposed exterior materials are horizontal lap siding and panelized cementitious shingle siding
Optional: Shed or gabled roof dormer.	Two large shed dormers are proposed, one on each side of building
Optional: Entry porch under roofline with roof supported by tapered or square columns with square bases that extend to the ground.	Not utilized

As shown in the tables above, the applicant is meeting all required design elements of the FMC for two-story ADUs as well as ADUs in the Historic District.

The property is located within the Central Subarea of the Historic Residential Primary Area of the Historic District. Chapter 5.04.03(b) of the DDGs, which addresses the design concepts for the Central Subarea, states that the Central Subarea provides property owners with broad discretion in choosing styles from the entire 1850-1950 timeframe. Restoration, reconstruction, and new construction of “average” homes are encouraged, rather than increase in the number of “high-style” homes. The design, color, and scale of the proposed residence are consistent with the architectural styles prevalent during the 1850-1950 timeframe in the Subarea. Furthermore, in assessing the appropriateness of a particular use/design, the DDGs recommend that consideration be given to the physical circumstances of the project site and its surroundings in the Central Subarea.

The DDG's state that exterior materials and finishes for residential properties should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed project utilizes green horizontal and shingle siding, cream window trim and grey shingle roofing to match the approved residence. The building includes vertically-oriented windows and residentially-scaled doors, consistent with the DDGs. The proposed project's architecture is consistent with residential appearance through the use of the proposed building materials and design.

According to the DDGs, Appendix D, Section C.4 (e), two single garage doors are preferred over a double door. The proposed garage features two overhead roll-up doors. Staff has provided Condition No. 3, which states that hinges and handles shall be added to the garage doors to resemble a carriage style, thereby meeting the intent of the DDGs.

Staff has determined that the overall design, colors, materials, and layout of the proposed project are consistent with the design and development guidelines for the Central Subarea and the building materials, textures and colors are consistent with surrounding development and with the general design theme of the neighborhood. Staff has concluded that the applicant has met the design standards identified in the Folsom Municipal Code and the guidelines contained in the DDG's.

## **PUBLIC NOTICING COMMENTS**

A notice was posted on the project site five days prior to the Historic District Commission meeting of June 2, 2021, in compliance with the requirements of FMC Section 17.52.320. No public comments were received at the time this staff report was published.

## **ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15303 (New Construction of Small Structures) of the California Environmental Quality Act (CEQA) Guidelines. Based on

staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemption in this case.

**RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION**

Staff recommends approval of the proposed project, subject to the findings included in this report (Findings A-I) and the attached conditions of approval (Conditions 1-7).

Move to approve the Design Review application (PN 21-061) for a two-story structure with a 733-square-foot garage and a 752-square-foot Accessory Dwelling Unit above at 906 Bidwell Street as illustrated on Attachment 5 for the 906 Bidwell Street Garage and Accessory Dwelling Unit project, subject to the findings included in this report (Findings A-I) and attached conditions of approval (Conditions 1-7).

**GENERAL FINDINGS**

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

**CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OF SMALL STRUCTURES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

**DESIGN REVIEW FINDINGS**

- G. THE PROJECT IS COMPLIANT WITH THE REQUIRED DESIGN STANDARDS OF FOLSOM MUNICIPAL CODE CHAPTER 17.105.150 AND FOLSOM MUNICIPAL CODE CHAPTER 17.105.160.
  
- H. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.
  
- I. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.

## ATTACHMENT 2 BACKGROUND

### BACKGROUND

A 1,202-square-foot single-family residence was located on the neighboring property at 908 Bidwell Street and was constructed in 1952. This is also when a 480 square-foot garage structure and 394 square-foot attached carport on the project site are believed to have been constructed. In 2019, the Historic District Commission approved a Residential Design Review and Demolition Application to construct a 2,030-square-foot single-family residence and demolish a 480-square-foot garage structure and 394-square-foot attached carport at 906 Bidwell Street (PN19-285). The applicant has since submitted for a building permit to demolish the accessory structure and construct the residence, though neither action has yet occurred. The property does not appear on the City of Folsom's Cultural Resources Inventory.

### GENERAL PLAN DESIGNATION

SFHD, Single-Family High Density

### ZONING

CEN, Central Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single-Family Residential-Small Lot)

### ADJACENT LAND USES/ZONING

North: Persifer-Bidwell Street alley with residences beyond (CEN)

South: Bidwell Street with apartments beyond (R-4)

East: Existing residences (CEN)

West: Existing residences (CEN)

### SITE CHARACTERISTICS

The 7,000-square-foot project site currently contains a garage and carport structure.

### APPLICABLE CODES

FMC Chapter 17.52 HD, Historic District  
FMC Section 17.52.300, Design Review  
FMC Section 17.52.330, Plan Evaluation  
FMC Section 17.52.340, Approval Process  
FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards  
FMC Chapter 17.105, Accessory Dwelling Units  
Historic District Design and Development Guidelines



## **ATTACHMENT 3**

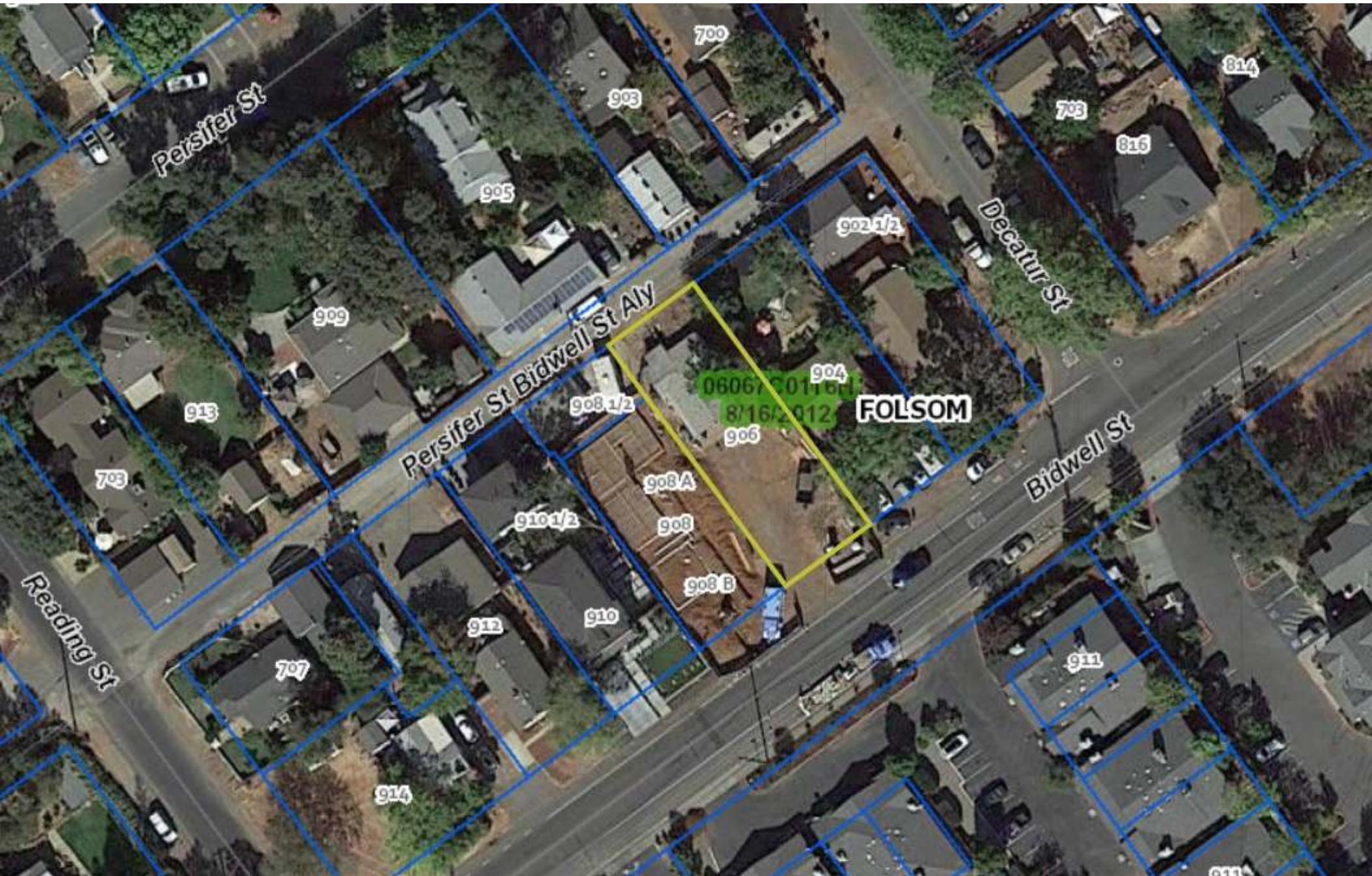
# **Proposed Conditions of Approval**

<b>CONDITIONS OF APPROVAL FOR 906 BIDWELL STREET GARAGE AND ACCESSORY DWELLING UNIT DESIGN REVIEW (PN 21-061)</b>				
<b>Cond. No.</b>	<b>Mitigation Measure</b>	<b>GENERAL REQUIREMENTS</b>	<b>When Required</b>	<b>Responsible Department</b>
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, floor plans and elevations dated 3-24-21, included in Attachment 5. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval. A building permit will not be issued for the garage/ADU structure until a permit for the main residence has been issued.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction is required.	OG	CD (B)
3.		This approval is for a two-story structure with a 733-square-foot garage and a 752-square-foot Accessory Dwelling Unit above at a lot located at 906 Bidwell Street. The applicant shall submit building plans that comply with this approval and the site plan, floor plans and building elevations dated 3-24-21 included in Attachment 5, with the following modifications:  1. Hinges and handles shall be added to the garage doors to resemble a carriage style	B	CD (P)
4.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
5.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)

6.	Per <u>FMC</u> Section 17.105.140(J), all ADUs approved under this chapter may be rented separate from the primary residence; however, the rental must be for a term longer than thirty days. Per <u>FMC</u> Section 17.58.050(1), a maximum of three paying guests are permitted to rent rooms in a dwelling. Per <u>FMC</u> Chapters 17.11, 17.12, 17.13 and 17.14, boarding houses, defined as a residences wherein three or more rooms are rented to individuals under separate rental agreements or leases, are not allowed in single-family or two-family zones	O	CD (P)
7.	The project approval granted under this staff report shall remain in effect for one year from final date of approval (June 2, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the timely extension of this approval, shall result in the termination of this approval.	B	CD (P)

<b>RESPONSIBLE DEPARTMENT</b>		<b>WHEN REQUIRED</b>	
CD	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
(P)		M	Prior to approval of Final Map
(E)		B	Prior to issuance of first Building Permit
(B)		O	Prior to approval of Occupancy Permit
(F)		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

## **Attachment 4 Vicinity Map**



**Attachment 5**  
**Site Plan, Floor Plans and Elevations dated**  
**3-24-21**

**SITE CONSTRUCTION NOTES**

1. DRAINAGE SWALES SHALL BE INSTALLED TO CITY OF FOLSOM'S SATISFACTION
2. GROUND ADJ. TO BLDG. SHALL BE SLOPED AWAY FROM BLDG. AT A MIN. OF 5% FOR A MIN. OF 10 FT. SLOPED MAY BE REDUCED TO 2% AT PAVED SURFACES
3. THERE IS NO CUT OR FILL NECESSARY TO CONSTRUCT THIS BUILDING
4. NO WORK SHALL BE PERMITTED w/ IN OR UNDER THE DRIP LINE OF AN (E) OAK TREE w/ OUT A PERMIT (NONE EXIST ON THIS SITE OR ON ADJACENT SITES)
5. CONSTRUCTION SHALL BE "CHALKED" 4 OAK TREES SHALL BE FENCED w/ HIGH VISIBILITY FENCING PRIOR TO PRE-SITRE INSPECTION (NONE EXIST ON THIS SITE OR ON ADJACENT SITES)
6. CALL U.S.A. SERVICE PRIOR TO EXCAVATION
7. EROSION 4 SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED 4 MAINTAINED BETWEEN OCT. 15th 4 APRIL 1st
8. CLEARING 4 GRUBBING SHALL CONFORM TO THE CITY OF FOLSOM'S REQUIREMENTS
9. ALL EXCAVATION EMBANKMENT 4 BACKFILL SHALL CONFORM TO THE CITY OF FOLSOM'S REQUIREMENTS
10. SOIL IS ASSUMED TO BE STABLE, DRY, NON-EXPANSIVE 4 NON-FILL MATERIAL
11. IF SITE / SOIL CONDITION DEVIATES FROM THE ABOVE CRITERIA, CONTRACTOR SHALL OBTAIN GEOTECHNICAL DATA OF SITE / SOIL 4 RECOMMENDED MEASURES FOR FOUNDATION / CONSTRUCTION
12. FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED NAT. SOILS
13. STRUCTURAL ENGINEER SHALL REVIEW EXCAVATIONS PRIOR TO PAD 4 FTG. PLACEMENT 4 PROVIDE WRITTEN REPORT TO BLDG. DEPT.

**BLDG. DEPT. NOTES**

WORK SHALL BE INSTALLED PER APPROVED PERMIT DOCUMENTS, ANY CHANGES NOT IN COMPLIANCE w/ APPROVED PERMIT SHALL BE SUBMITTED FOR APPROVAL. CONSTRUCTION WORK SHALL BE SUBJECT TO INSPECTION BY THE CITY OF FOLSOM BLDG. OFFICIAL OR HIS/HER DESIGNATED REPRESENTATIVE. CONSTRUCTION SHALL REMAIN ACCESSIBLE 4 EXPOSED FOR INSPECTION UNTIL APPROVED. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A CODE VIOLATION OR OTHER CITY OR OTHER JURISDICTION REGULATIONS. CONTRACTOR SHALL NOTIFY BLDG. DEPARTMENT WHEN WORK IS READY FOR INSPECTION, 4 WILL PROVIDE ACCESS TO, 4 MEANS FOR INSPECTION OF THE WORK. BLDG. OFFICIAL / JURISDICTION SHALL NOT BE LIABLE FOR ANY CONSTRUCTION COSTS. ANY DEVICE OR ASSEMBLY INSTALLED FOR PREVENTION OF BACKFLOW SHALL FIRST BE APPROVED BY THE CITY OF FOLSOM CHIEF BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE PER 2019 CPC, 408.6

**PROJECT INFORMATION**

CODES: ALL CONSTRUCTION PERFORMED SHALL COMPLY w/ THE 2019 C.B.C., C.M.C., C.P.C., C.E.C., C.G.B.S.C 4 CALIFORNIA ENERGY CODE AS AMENDED BY THE STATE OF CALIFORNIA 4 LOCAL JURISDICTION

PROJECT: GARAGE w/ ACCESSORY DWELLING UNIT ABOVE

OCC./CONSTR.: R-3 / TYPE V-B

ZONING: R-1-M

OWNER: DON SHERWOOD 916, 212, 5620  
906 BIDWELL STREET, FOLSOM, CA 95630

APN: 070-0201-009-0000

LOT SIZE: 7,000 SF

GARAGE: 733 SF (SPRINKLERED)

ACCESSORY UNIT: 67 SF 1ST FLOOR + 685 SF 2ND FLOOR  
132 SF TOTAL (SPRINKLERED)

BUILDING HEIGHT: ACCESSORY DWELLING OVER GARAGE: 24FT. MAIN HOUSE IS APPROX. 21 FT. IN HT.

MAIN HOUSE: 2,020 SF (SPRINKLERED) (PERMIT 19-5067)

IMPERVIOUS SURFACE: 1,875 SF + 836 SF = 2,711 SF OR 38%

**CONSTRUCTION NOTES**

**GENERAL NOTES**

DRAWINGS REPRESENT THE DESIRED RESULT OF CONSTRUCTION. THE METHODS OF CONSTRUCTION 4 THE RISKS INVOLVED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY AT ALL STAGES OF CONSTRUCTION.

PRIOR TO STARTING CONSTRUCTION THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS 4 APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL CONTRACTOR HAS RECEIVED ALL PLANS 4 ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING 4 ANY OTHER REGULATORY AUTHORITIES. FAILURE TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF WORK MANDATED BY ANY REGULATORY AUTHORITY.

CONTRACTOR TO REMOVE DEBRIS, ROOTS, WEEDS AND OTHER DELETERIOUS MATERIAL FROM SITE. CONTRACTOR SHALL REMOVE ALL UNUSED EXCAVATED EARTH FROM SITE.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS 4 ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. DISCREPANCIES IN DIMENSIONS WHICH MAY BE FOUND SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR HIS DECISION BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.

CONTRACTORS SHALL FOLLOW SIZES IN THE CONSTRUCTION DOCUMENTS OR FIGURES ON THE DRAWINGS IN PREFERENCE TO SCALE MEASUREMENTS. FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS.

WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK OR A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIVE AND SO CONSTRUCTED.

ALL CONTRACTOR PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING ANY PERTINENT WORK.

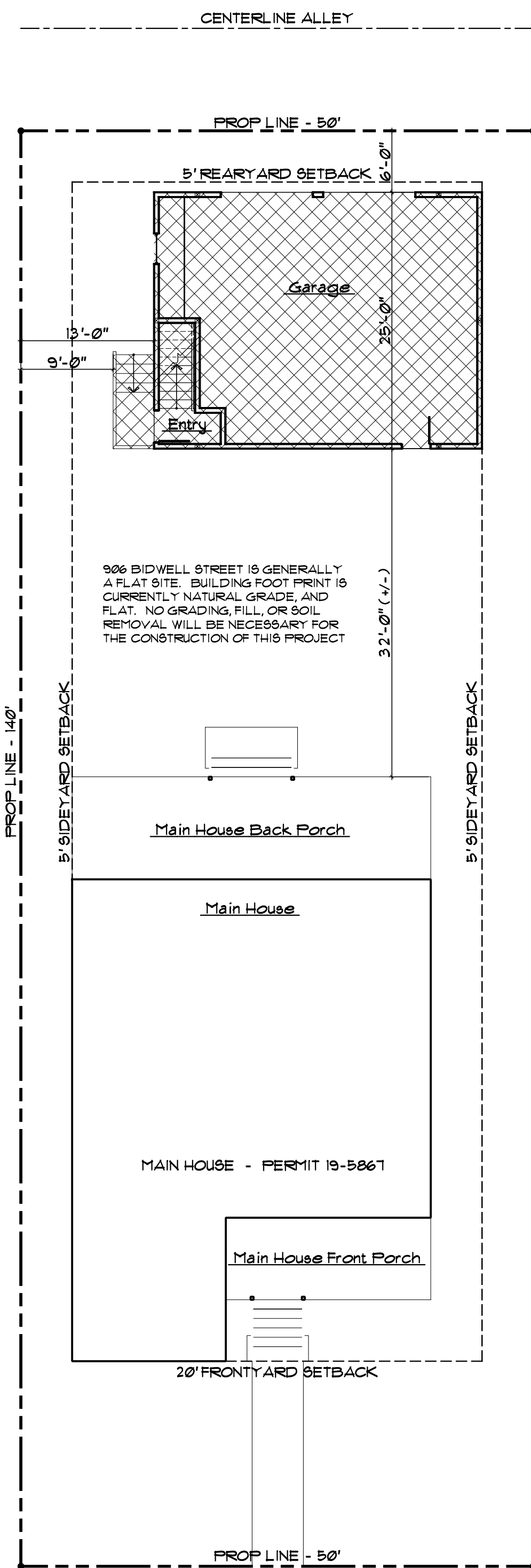
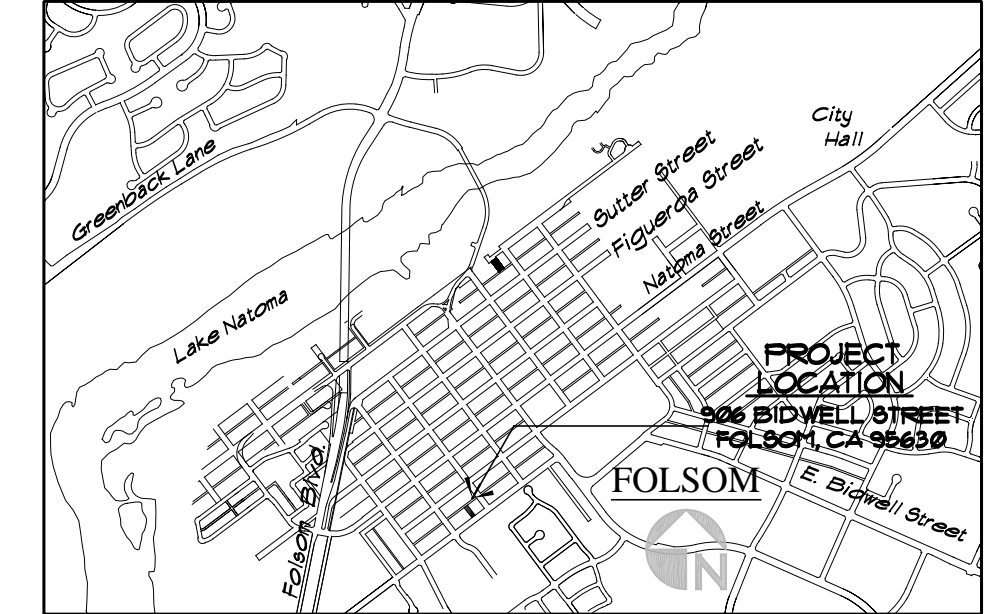
CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES INCLUDING THOSE ITEMS SUPPLIED BY THE OWNER.

DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF STUDS OR CONCRETE OR TO CENTERLINE OF COLUMNS, U.O.N.

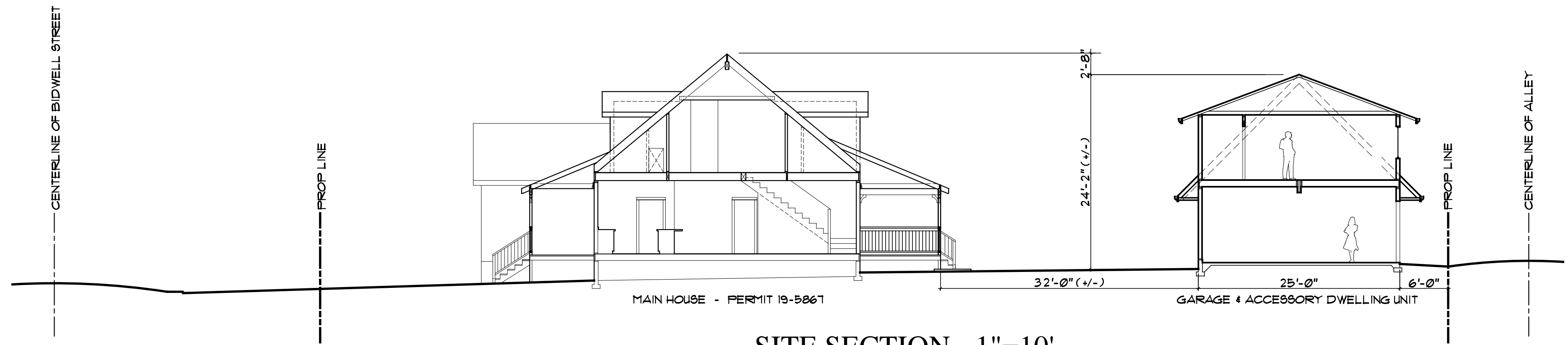
**DRAWING INDEX**

- A1 NOTES, VICINITY MAP, PROJECT INFO 4 SITE PLAN
- A2 FLOOR PLANS, ROOF PLANS

**VICINITY MAP**

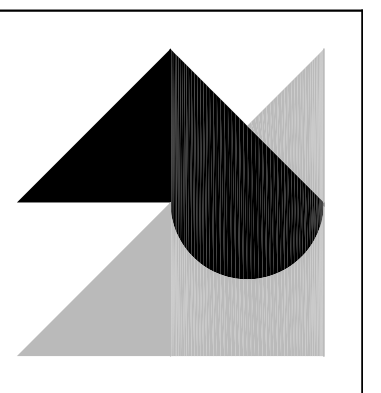


SITE PLAN - 1"=10'

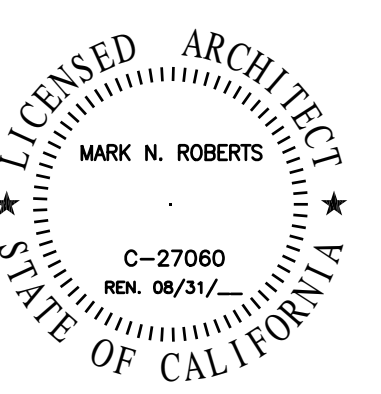


SITE SECTION - 1"=10'

**GARAGE & ACCESSORY DWELLING UNIT**  
**906 BIDWELL STREET**  
**FOLSOM, CA 95630**

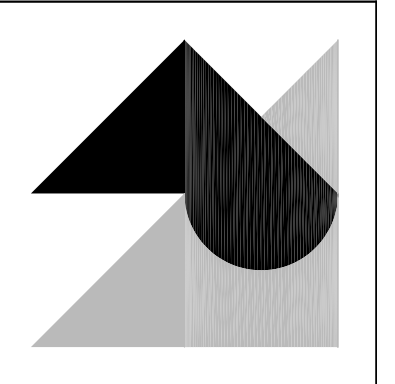
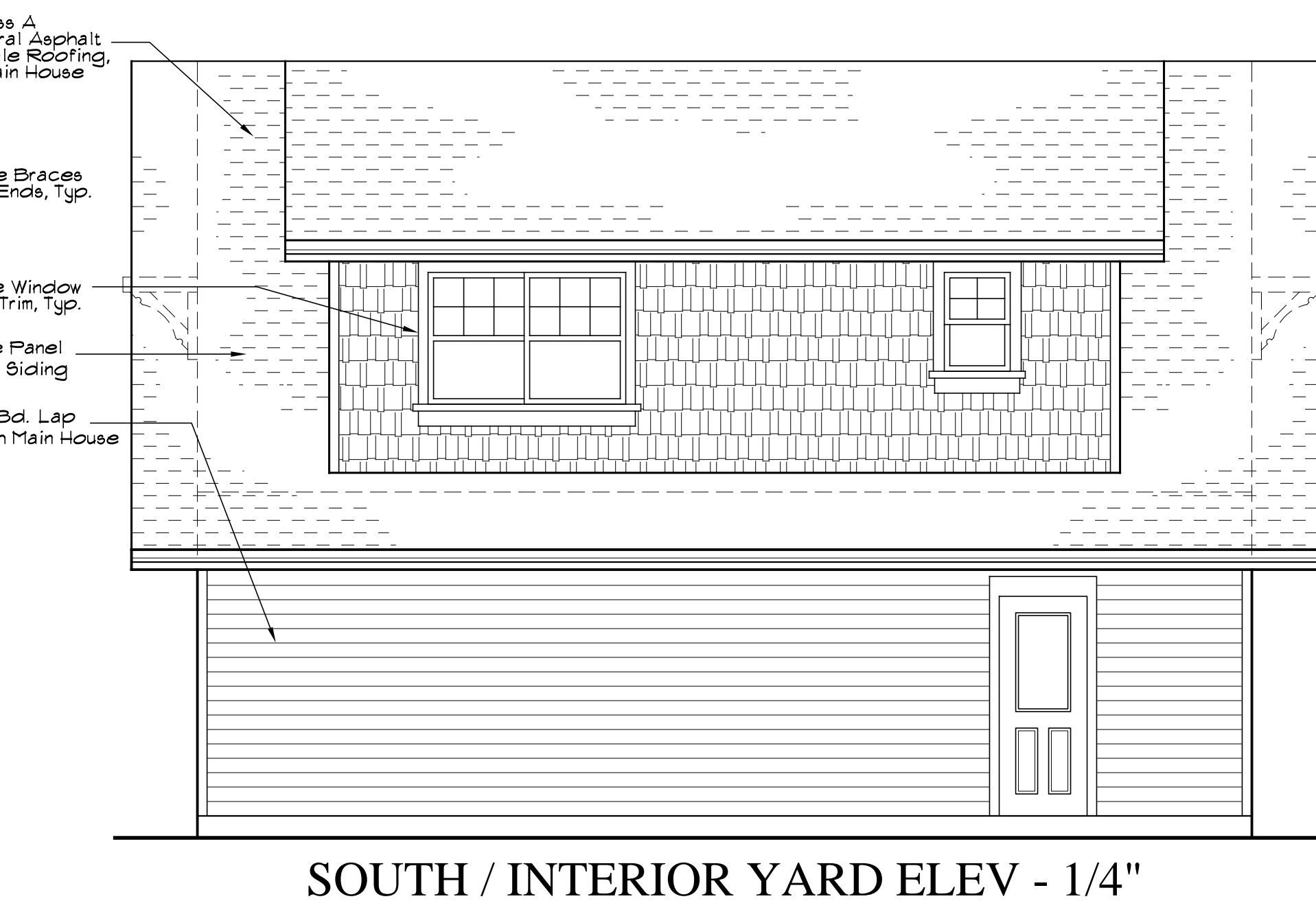
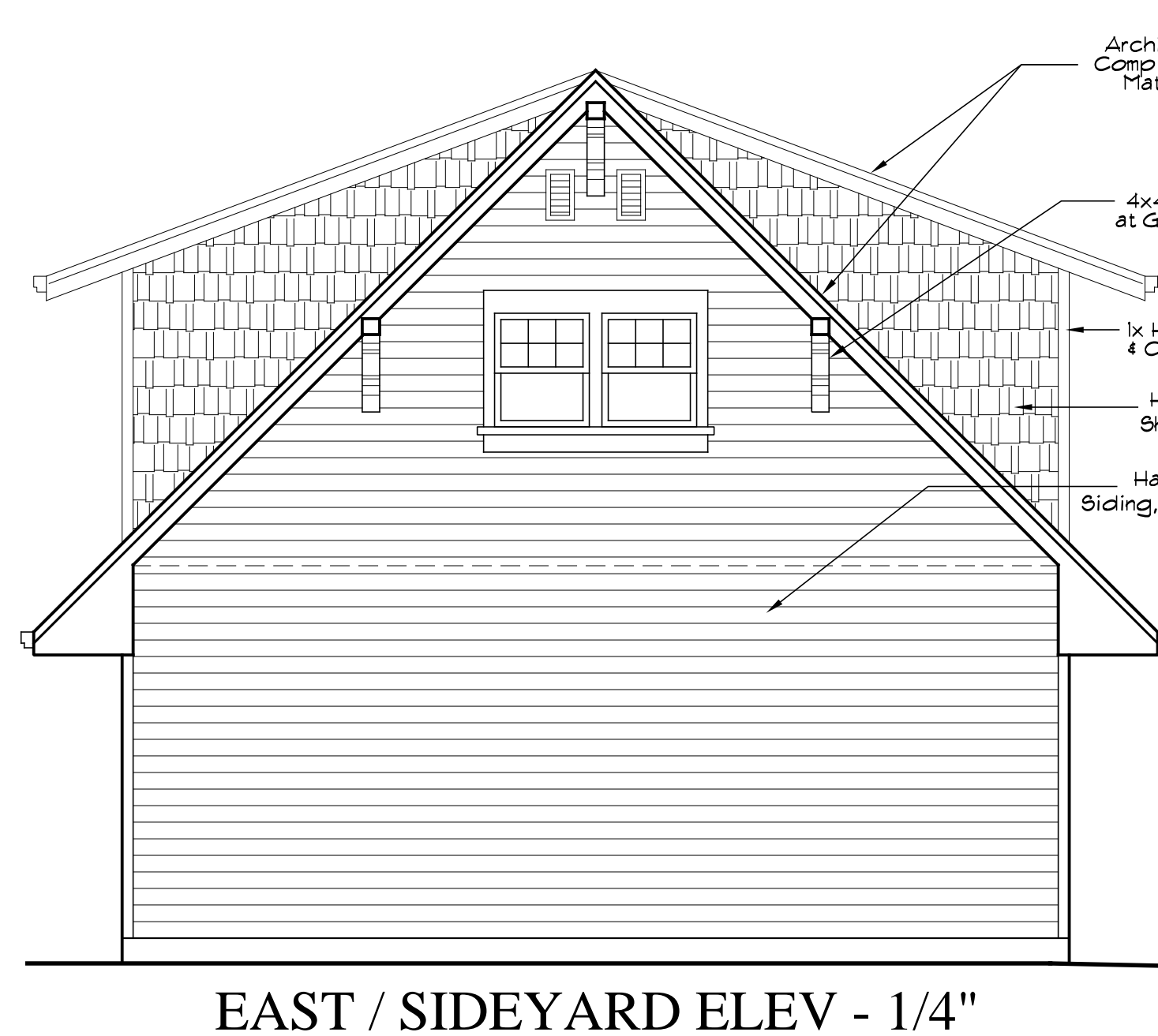
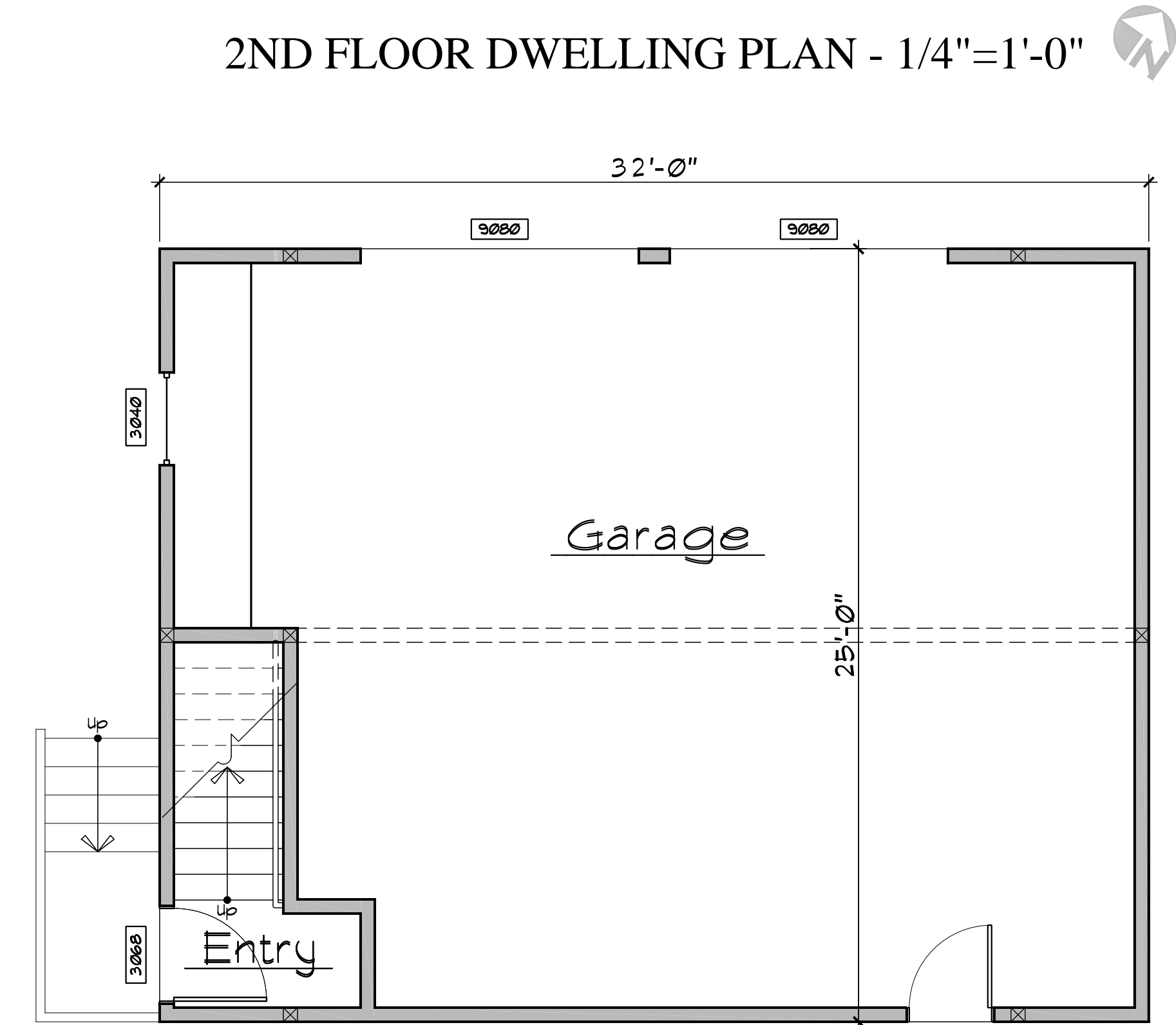
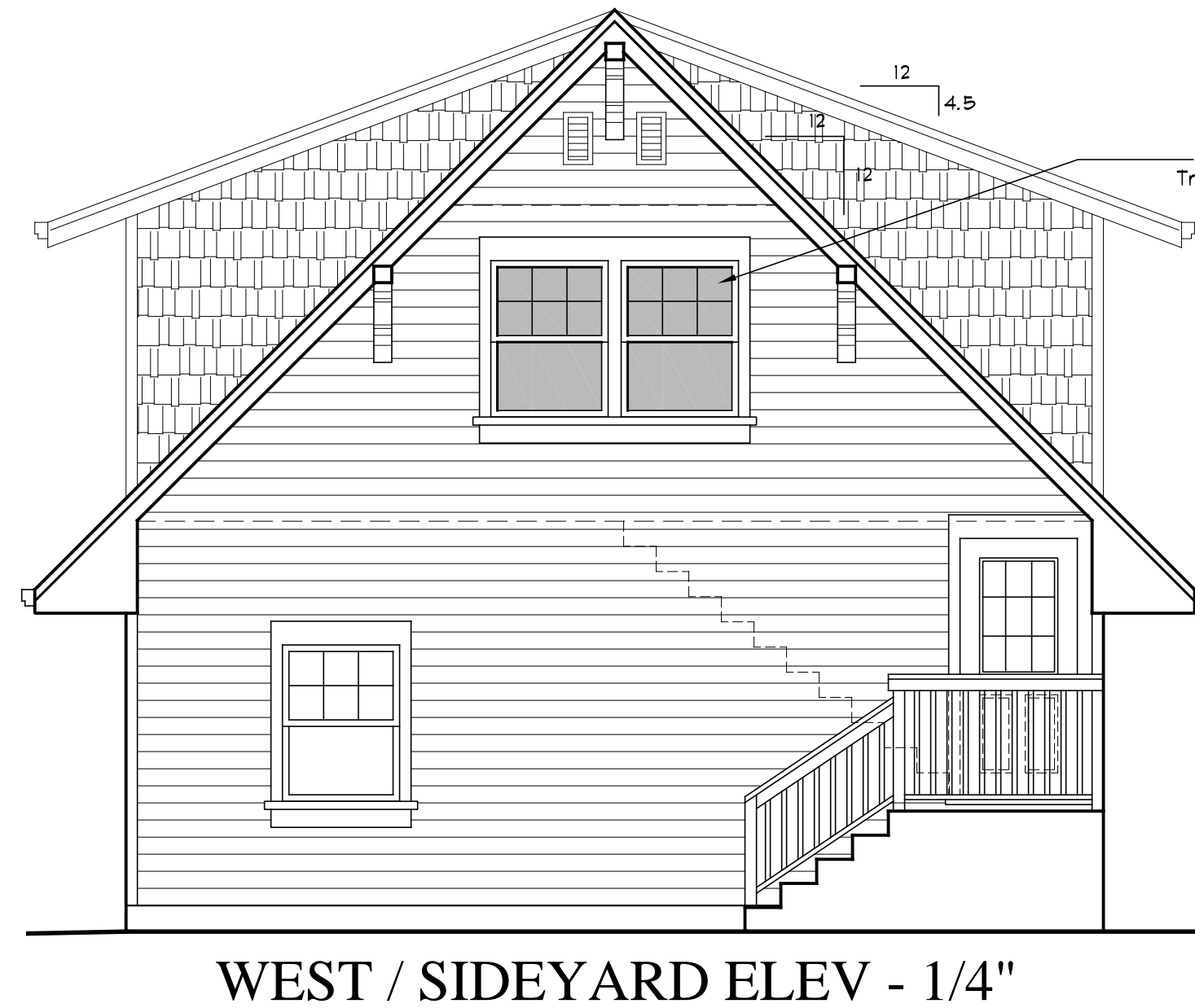
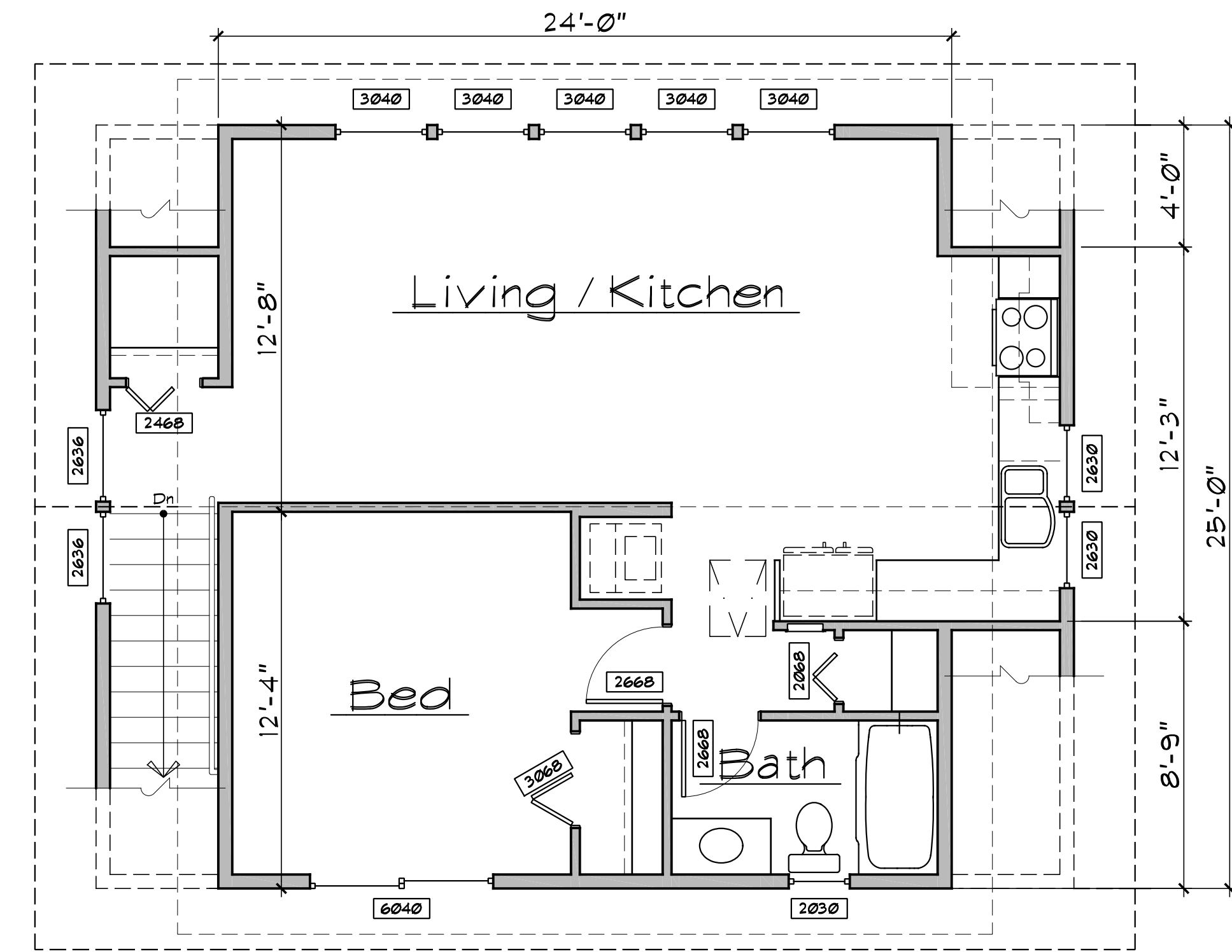
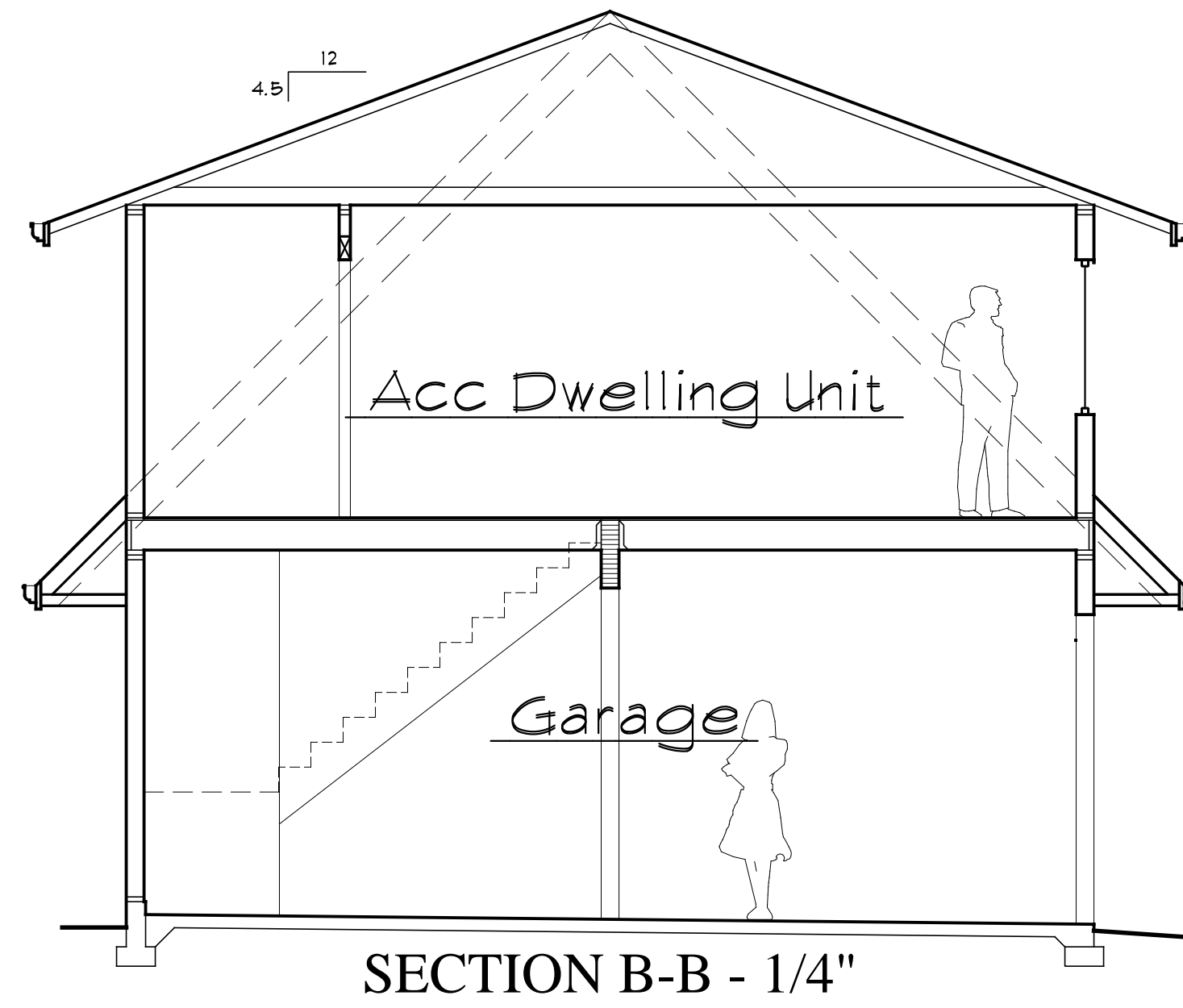
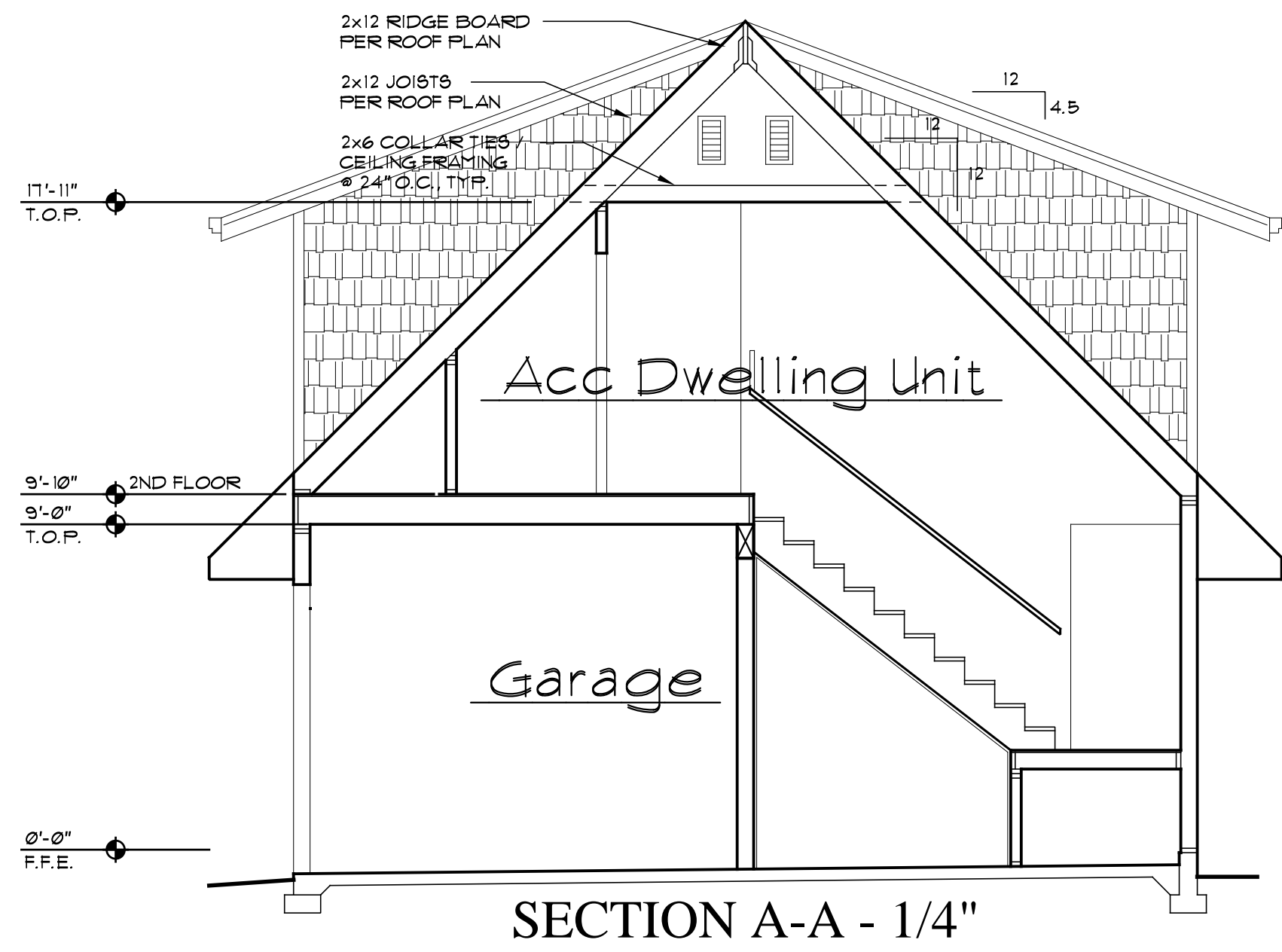


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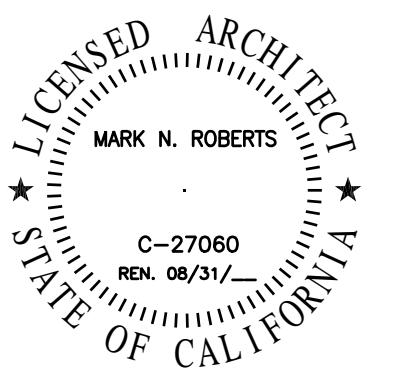


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GARAGE & ACCESSORY DWELLING UNIT  
906 BIDWELL STREET  
FOLSOM, CA 95630

- 17.105.150
- A - TWO EXTERIOR MATERIALS ARE HORIZONTAL LAP SIDING TO MATCH MAIN HOUSE AND PANELIZED CEMENTITIOUS SHINGLE SIDING
  - B - MAIN HOUSE ROOF SLOPES ARE 10:12 AND 5:12. PROPOSED ROOF SLOPES FOR ADU ARE 12:12 AND 4.5:12
  - C - (1) 2ND FLR WEST WINDOW GLAZING IS OBSCURED / TRANSLUCENT. 2ND FLR EAST WINDOW SILL IS 31'-10" ABOVE FINISHED FLOOR AND HAS A KITCHEN CABINET / COUNTER IN FRONT OF WINDOW WHICH PLACES OCCUPANT FAR ENOUGH FROM WINDOW SURFACE TO MAKE IT AWKWARD / DIFFICULT TO SEE DOWN INTO NEIGHBOR'S BACKYARD. (2) EXT. LANDING IS ONLY 3FT ABOVE GRADE, AND IS 9 FT. FROM ADJ. PROPERTY LINE. SHARED 'NEIGHBOR FENCE' WILL PROVIDE EFFECTIVE SCREENING.
  - D - (1) TWO EXTERIOR FINISH MATERIALS ARE EMPLOYED, SEE ITEM 'A' ABOVE (2) PROPOSED ADU HAS VARIOUS ROOF FORMS, SLOPES & DORMERS
  - E - N/A (NO DECK OR BALCONY IN PROJECT)
  - F - EXT. LANDING IS ONLY 3FT ABOVE GRADE AND IS 9 FT. FROM ADJACENT PROPERTY LINE. STOOP AND LANDING IS ON THE SIDE OF UNIT. THE MAJORITY OF VERTICAL CIRCULATION / STAIR TO ADU ABOVE GARAGE IS INTERIOR CONDITIONED SPACE
- 17.105.160
- C - PROPOSED ADU IS DESIGNED TO FIT INTO THE 'CRAFTSMAN STYLE' CATEGORY (ITEM 1), WITH THE FOLLOWING DESIGN ELEMENTS:
    - a) - GABLE ENDS ARE 12:12 TO ACCOMMODATE NECESSARY HEADROOM CLEARANCE IN STAIR, AND TO GIVE THE APPEARANCE OF A 1-STORY BLDG, WHILE STILL ABLE TO CREATE ENOUGH SPACE "IN THE ROOF" FOR THE ADU. ADDITIONALLY THERE ARE LARGE SHED DORMERS (MAJORITY OF ROOF MASS) W/ A 4.5:12 ROOF
    - b) - PROPOSED ADU IS SIDE-GABLED W/ LARGE SHED DORMERS ON EACH SIDE
    - c) - PROPOSED ADU HAS EXPOSED RAFTER TAILS, AND KNEE BRACES AT GABLE ENDS
    - d) - SINGLE HUNG WINDOWS THROUGHOUT PROPOSED ADU, W/ SMALLER DIVIDED PANELED ON UPPER PANEL OF WINDOWS
    - e) - TWO EXTERIOR MATERIALS ARE HORIZONTAL LAP SIDING TO MATCH MAIN HOUSE AND PANELIZED CEMENTITIOUS SHINGLE SIDING
    - f) - TWO LARGE SHED DORMERS, 1 ON EACH SIDE OF BLDG, CREATE THE SPACE FOR THE PROPOSED ADU

MUNICIPAL CODE / DESIGN GUIDELINES COMPLIANCE

Job No: 20.05 Date: 03.24.21

A2

Sheet \_\_\_ of \_\_\_



## **Attachment 6**

# **Proposed Colors and Materials**

**Colors and Materials**



**Materials – Hardie Lap Siding**



**Materials- Shingle Siding**



**Main Body Color (Pine Green)**



**Trim Color (Swiss Coffee)**



**Roofing Color (Estate Grey)**

## **Attachment 7 Site Photo**





CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 2**  
**Type: Public Meeting**  
**Date: June 2, 2021**

## **Historic District Commission Staff Report**

50 Natoma Street, Council Chambers  
Folsom, CA 95630

**Project:** 413 Figueroa Street Garage and Accessory Dwelling Unit  
**File #:** PN 21-080  
**Request:** Design Review  
**Location:** 413 Figueroa Street  
**Parcel(s):** 070-0116-002  
**Staff Contact:** Josh Kinkade, Associate Planner, 916-461-6209  
jkinkade@folsom.ca.us

### **Property Owner/Applicant**

Name: Zach Thomas  
Address: 413 Figueroa Street  
Folsom, CA 95630

**Recommendation** Conduct a public meeting, and upon conclusion recommend approval of an application for demolition of an existing detached garage and Design Review to construct a two-story structure containing an 864-square-foot garage and a 974-square-foot Accessory Dwelling Unit at 413 Figueroa Street (PN 21-080) subject to the findings included in this report (Findings A-J) and the attached conditions of approval (Conditions 1-7).

**Project Summary:** The proposed project consists of demolition of an existing detached garage and construction of a two-story structure containing an 864-square-foot garage and a 974-square-foot Accessory Dwelling Unit at 413 Figueroa Street. The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District.

### **Table of Contents:**

- 1 - Description/Analysis
- 2 - Background
- 3 - Proposed Conditions of Approval
- 4 - Vicinity Map
- 5 - Site Plan, Floor Plans and Building Elevations dated 1-18-21
- 6 - Site Photos
- 7 - Comment Letter from Heritage Preservation League of Folsom, Dated May 20, 2021



CITY OF  
**FOLSOM**  
DISTINCTIVE BY NATURE

**AGENDA ITEM NO. 2**  
**Type: Public Meeting**  
**Date: June 2, 2021**

Submitted,

---

PAM JOHNS  
Community Development Director

## ATTACHMENT 1 DESCRIPTION/ANALYSIS

### APPLICANT'S PROPOSAL

The proposed project consists of demolition of an existing 658-square-foot detached garage and 191-square-foot carport structure and construction of a two-story structure containing an 864-square-foot garage and a 974-square-foot Accessory Dwelling Unit at 413 Figueroa Street.

The two-story structure is proposed to be 24.5 feet in height. Exterior materials proposed are horizontal lap siding on the first floor and board-and-batten siding on the second floor, both colored green to match the main residence. Exterior asphalt shingle roofing and white window trim are proposed to match the colors of the existing main residence.

The property at 413 Figueroa Street is not included on the City of Folsom Cultural Resources Inventory.

### POLICY/RULE

Section 17.52.300 of the Folsom Municipal Code (FMC) states that the Historic District Commission shall have final authority relating to the design and architecture of all new residential structures and all exterior renovations, remodeling, modification, or addition to existing structures within the Historic District. Section 17.52.330 states that, in reviewing projects, the Commission shall consider the following criteria:

- a) Project compliance with the General Plan and any applicable zoning ordinances;
- b) Conformance with any city-wide design guidelines and historic district design and development guidelines adopted by the city council;
- c) Conformance with any project-specific design standards approved through the planned development permit process or similar review process; and
- d) Compatibility of building materials, textures and colors with surrounding development and consistency with the general design theme of the neighborhood.

Section 17.52.490 of the FMC states that ADUs in the Historic District shall comply with the standards set forth in FMC Chapter 17.105, which states that the design standards set forth in FMC Section 17.105.150 apply to all attached and detached ADUs city-wide and, in addition, the design standards of FMC Section 17.105.160 apply to all ADUs in the Historic District that are larger than 800 square feet or greater than 16 feet in height.

FMC Section 17.105.070 states that in the Historic District, any proposed detached



ADU that exceeds a height of 16 feet shall be subject to review by the Historic District Commission, in compliance with the provisions of FMC sections 17.52.300 through 17.52.350, generally governing design review in the Historic District.

Section 17.52.660 of the FMC states that the demolition of a structure located in the Historic District is subject to the review and approval of the Historic District Commission. Before demolition is authorized, the applicant must provide documentation of the structure for the historical record, to the extent that the history of the structure is known to, or reasonably obtainable by, the applicant. If the structure is considered historically significant, the Historic District Commission shall consider several factors before authorizing the demolition. Section 4.13 of the Historic District Design and Development Guidelines (DDGs) makes clear that demolition may be more readily approved for structures that do not comply with the goals, policies, and regulations of FMC Chapter 17.52 and the DDGs themselves.

## **ANALYSIS**

### **General Plan and Zoning Consistency**

The General Plan land use designation for the project site is SFHD (Single-Family High Density), and the zoning designation for the project site is R-1-M (Single-Family Residential, Small Lot), within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. FMC Section 17.105.060 states that one ADU is permitted in single-unit zones with an existing or proposed single-unit dwelling. Accessory structures are allowed in the Historic Residential Primary Area per FMC Section 17.52.520(a)(1).

Section 17.52.540 of the FMC institutes requirements for lot size, lot width, setbacks, pervious surface, and building height in the Historic Residential Primary Area. Sections 17.105.070 and 17.105.110 of the FMC institute development standards regarding location, size, setbacks, height, separation, lot coverage, and parking for detached ADUs.

Because ADUs and garages are both allowed uses for the subject parcel, the proposed use is not subject to Commission approval. However, the design of the proposed structure is subject to Commission approval since this ADU exceeds the size (800 square feet) and height (16 feet) standards established in FMC Section 17.105.060(B).

The following table shows how the proposed project relates to the FMC zoning requirements upon demolition of the existing garage:

	<b>REQUIRED</b>	<b>PROPOSED</b>
<b>Minimum Lot Size</b>	n/a	7,000 sf
<b>Minimum Lot Width</b>	n/a	50 feet
<b>Maximum ADU Size</b>	One bed: 850 sqft Two+ beds: 1,000 sqft	974 sf (two beds)
<b>Front Setback</b>	Does not break front plane of primary dwelling and meets setback of primary dwelling (20 feet)	106 feet, in back of primary dwelling
<b>Rear Setback</b>	4 feet	5 feet
<b>Side Setback</b>	4 feet	10.3 feet and 5.6 feet
<b>Minimum Pervious Surface</b>	45%	51%
<b>Parking Requirement</b>	n/a 2 parking spaces (existing) 0 parking spaces (as proposed)	4 parking spaces (proposed)
<b>Maximum Building Height</b>	25 feet, or the height of the primary structure (whichever is less)	24.5 feet (primary structure is 24.5 feet tall)
<b>Structure Separation</b>	6 feet from the primary structure or other accessory structures on-site	24 feet from primary structure (no other structures on-site)

As shown in the above table (and on the site plan in Attachment 5), the proposed project meets all relevant development standards of the FMC upon demolition of the existing garage.

Finally, FMC Section 17.105.170(D) states that any accessory dwelling unit proposed for construction on or within fifty feet of the property line of a parcel containing a structure listed on the California Register of Historical Resources shall have a peak height above finished grade of no more than sixteen feet. The proposed ADU is not located within fifty feet of a property line of a parcel containing a structure listed on the California Register of Historical Resources or the City of Folsom’s Cultural Resources Inventory.

**Building Design/Architecture**

Pursuant to FMC section 17.105.070(B)(1), this is a discretionary design review by the Commission. As a result, the design standards in FMC sections 17.105.150 and 17.105.160, as well as the design guidance established within the Historic District Design and Development Guidelines (DDGs) apply to this project.

The following table provides an analysis for how the proposed ADU meets the standards of FMC Section 17.105.150 for two-story ADUs or ADUs constructed above an accessory structure:

<b><u>STANDARD</u></b>	<b><u>ANALYSIS</u></b>
All exterior walls shall include at least two different materials, as well as either windows or projections or bays or recessed elements.	All exterior walls utilize two different materials (6-inch horizontal lap siding with board and batten) along with windows.
The accessory dwelling unit shall have the same roof pitch as the primary dwelling with matching eave details but may vary by up to 2/12 more or 2/12 less than the roof pitch of the primary dwelling. Roof must follow the roof pitch requirements for design style allowed in the Historic District subarea	Roof pitch of existing is 5/12. Roof pitch of ADU is 5/12.
Any second story wall facing an abutting property shall incorporate the following features: translucent glazed windows, transom windows, clerestory windows, false windows, or other similar design approach that achieves the same purpose.	Side windows to be translucent glazed
The landing area of any external staircase shall be screened from the bottom of the landing to the top of the entry of the accessory dwelling unit to maintain the privacy of abutting properties. Materials used to screen the landing shall be of the same color and material as those used for the accessory dwelling unit.	No exterior staircase is proposed
Building massing shall be modified using one of the following methods: 1. Use of at least two different building materials. 2. Use of recessed or projecting windows, doors, or parts of the wall to avoid flat monotonous facades. Recessed windows and	All exterior walls utilize two different materials (6-inch horizontal lap siding with board and batten)

<p>doors shall project a minimum of six inches or shall be recessed a minimum of six inches. Any projection must be behind the parcel side or rear yard setback line.</p> <p>3. Use of cantilevered areas so long as area does not extend beyond the side or rear yard setback.</p> <p>4. Use of varied roof form such as a mix of different roof types (e.g., hipped, gabled, slant, etc.).</p>	
<p>No decks or balconies shall be allowed, except that one balcony no larger than twenty square feet shall be allowed on the front facade</p>	<p>Project does not incorporate a deck or balcony</p>
<p>If any external staircase is necessary to access the unit, that staircase shall be located at the side or rear of the unit and shall be at least five feet from the adjacent property line.</p>	<p>No exterior staircase is proposed</p>

The applicant is also required to comply with the objective design standards of FMC Section 17.105.160, which mandate that an appropriate style (Craftsman, Queen Anne, Delta, Italianate, or Spanish Eclectic for all zones including the subject area) is chosen and that specific design elements are met for the chosen style. In this case, the applicant has chosen the Craftsman style. The below table lists the required design elements of the Craftsman style from FMC Section 17.105.160(C)(1) and provides an analysis for how the applicant is meeting these design elements.

<b><u>DESIGN ELEMENT</u></b>	<b><u>ANALYSIS</u></b>
<p>A roof pitch between 3/12 and 8/12.</p>	<p>Roof pitch is 5/12</p>
<p>Exposed roof rafters and/or braces under gables (i.e., knee braces or corbels).</p>	<p>ADU is side-gabled with wood corbels on the gable ends.</p>
<p>Single- or double-hung sash windows with small panes above large pane (e.g., three small panes over one large pane, or six-over-one window) for all windows on the front elevation.</p>	<p>ADU utilizes single-hung windows with 3 and 6 panes over one large pane.</p>

Horizontal clapboard or shingle siding that is 2.5 to 6 inches wide or board and batten or a mix of shingles, stone, and siding for different levels or elements may be used. Fiber cement board and shingles may be used in place of wood siding or shingles.	Proposed exterior materials are six-inch horizontal lap siding and board and batten siding
Optional: Shed or gabled roof dormer.	Not utilized
Optional: Entry porch under roofline with roof supported by tapered or square columns with square bases that extend to the ground.	Not utilized

As shown in the tables above, the applicant is meeting all required design elements of the FMC for two-story ADUs as well as ADUs in the Historic District.

The property is located within the Figueroa Subarea of the Historic Residential Primary Area of the Historic District. Chapter 5.04.03a of the DDGs, which addresses the design concepts for the Figueroa Subarea, states that the design concept for the Figueroa Subarea is to maintain existing pre-1910 structures and encourage restoration, reconstruction and new construction of pre-1910 styles, especially those previously existing in Folsom. Property owners are encouraged to maintain historic authenticity within the private areas of their property but are not required to do so except as may be necessary to maintain a National Register or similar listing.

The DDG's state that exterior materials and finishes for residential properties should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style. The proposed project utilizes horizontal siding, window trim and asphalt shingle roofing with a belly band and board-and-batten siding on the second floor, all to match the colors of the existing residence. The building includes both vertically- and horizontally-oriented windows, but windows are primarily vertically-oriented, consistent with the DDGs. The applicant also included a hip under the roof gables to resemble the hipped roof of the main residence and existing garage. Proposed doors are residentially-scaled, consistent with the DDGs. The proposed project's architecture is consistent with residential appearance through the use of the proposed building materials and design.

According to the DDGs, Appendix D, Section C.4 (e), two single garage doors are preferred over a double door. The proposed garage features two overhead roll-up doors, one of which is a two-car garage door. The doors incorporate hinges and handles and vertically-oriented paneling to resemble a carriage style, thereby meeting the intent of the DDGs.

Staff has determined that the overall design, colors, materials, and layout of the

proposed project are consistent with the design and development guidelines for the Figueroa Subarea and the building materials, textures and colors are consistent with surrounding development and with the general design theme of the neighborhood. Staff has concluded that the applicant has met the design standards identified in the Folsom Municipal Code and the guidelines contained in the DDG's.

### **Demolition**

Section 4.13 of the Historic District Design and Development Guidelines (DDGs) explains that demolition of structures with historic value should be approved only when all other options have been exhausted by the property owner and the City. On the other hand, Section 4.13 also makes clear that demolition may be more readily approved for structures which do not comply with the goals, policies, and regulations of FMC Chapter 17.52 and the DDGs themselves.

The existing garage to be demolished (shown in the photographs in Attachment 6) consists of wood siding, wood studs, composition shingles, glass windows, wood doors, and an aluminum garage door. The garage was likely built around the same time as the main residence, which was constructed in 1983. The garage is not considered historically significant and contains no historically significant building materials. In addition, the residence is not listed on the City of Folsom's Cultural Resources Inventory list. Therefore, staff supports the demolition of the garage.

### **PUBLIC NOTICING COMMENTS**

A notice was posted on the project site five days prior to the Historic District Commission meeting of June 2, 2021, in compliance with the requirements of FMC Section 17.52.320.

Staff received a comment letter regarding the proposed project from the Heritage Preservation League on May 21, 2021 (see Attachment 7). The letter asks that the proposed structure be moved further from the alley to improve access to the garage. Staff notes that the applicant is proposing off-street parking both inside the proposed garage spaces and on a pad next to the proposed structure. Therefore, staff does not believe it is necessary to provide additional space in front of the structure in this instance.

The letter asks that documentation is provided regarding the existing garage and that existing materials that can be saved are recycled. Staff notes that given the fact that the structure was built after the historic era, these measures would not be required.

Finally, the letter states that the proposed roof should include the same hipped roof detail that was incorporated with the existing residence and garage and to select garage doors that resemble barn doors or carriage house doors. Staff discussed this comment with the applicant and the applicant modified the plans to include hipped roofing details and garage doors with a carriage style appearance.

## **ENVIRONMENTAL REVIEW**

The project is categorically exempt under Sections 15303 (New Construction of Small Structures for the new construction) and 15301 (Existing Facilities for the demolition) of the California Environmental Quality Act (CEQA) Guidelines. Based on staff's analysis of this project, none of the exceptions in Section 15300.2 of the CEQA Guidelines apply to the use of the categorical exemptions in this case.

## **RECOMMENDATION/HISTORIC DISTRICT COMMISSION ACTION**

Staff recommends approval of the proposed project, subject to the findings included in this report (Findings A-J) and the attached conditions of approval (Conditions 1-7).

Move to approve the demolition and Design Review application (PN 21-080) to demolish an existing detached garage and construct a two-story structure containing an 864-square-foot garage and a 974-square-foot Accessory Dwelling Unit on a lot located at 413 Figueroa Street, subject to the findings included in this report (Findings A-J) and attached conditions of approval (Conditions 1-7).

## **GENERAL FINDINGS**

- A. NOTICE OF PUBLIC MEETING HAS BEEN GIVEN AT THE TIME AND IN THE MANNER REQUIRED BY STATE LAW AND CITY CODE.
- B. THE PROJECT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE OF THE CITY.

## **CEQA FINDINGS**

- C. THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER SECTION 15303 (NEW CONSTRUCTION OF SMALL STRUCTURES) AND SECTION 15301 (EXISTING FACILITIES) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.
- D. THE CUMULATIVE IMPACT OF SUCCESSIVE PROJECTS OF THE SAME TYPE IN THE SAME PLACE, OVER TIME IS NOT SIGNIFICANT IN THIS CASE.
- E. NO UNUSUAL CIRCUMSTANCES EXIST TO DISTINGUISH THE PROPOSED PROJECT FROM OTHERS IN THE EXEMPT CLASS.
- F. THE PROPOSED PROJECT WILL NOT CAUSE A SUBSTANTIAL ADVERSE CHANGE IN THE SIGNIFICANCE OF A HISTORICAL RESOURCE.

**DEMOLITION FINDING**

- G. THE STRUCTURE PROPOSED TO BE DEMOLISHED IS NOT CONSIDERED HISTORICALLY SIGNIFICANT.

**DESIGN REVIEW FINDINGS**

- H. THE PROJECT IS COMPLIANT WITH THE REQUIRED DESIGN STANDARDS OF FOLSOM MUNICIPAL CODE CHAPTER 17.105.150 AND FOLSOM MUNICIPAL CODE CHAPTER 17.105.160.
- I. THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE HISTORIC DISTRICT DESIGN AND DEVELOPMENT GUIDELINES ADOPTED BY CITY COUNCIL.
- J. THE BUILDING MATERIALS, TEXTURES AND COLORS USED IN THE PROPOSED PROJECT ARE COMPATIBLE WITH SURROUNDING DEVELOPMENT AND ARE CONSISTENT WITH THE GENERAL DESIGN THEME OF THE NEIGHBORHOOD.



## ATTACHMENT 2 BACKGROUND

### BACKGROUND

A 1,440-square-foot two-story residence and detached garage were first constructed on the property in 1983. The residence features horizontal and vertical siding with shingle accents on the front porch, all painted green, and white trim around the windows, vents and doors. The property does not appear on the City of Folsom's Cultural Resources Inventory.

### GENERAL PLAN DESIGNATION

SFHD, Single-Family High Density

### ZONING

FIG, Figueroa Subarea of the Historic Residential Primary Area, with an underlying zoning of R-1-M (Single-Family Residential-Small Lot)

### ADJACENT LAND USES/ZONING

North: Figueroa Street with residences beyond (FIG)

South: Figueroa-Mormon Street alley with residences beyond (CEN)

East: Existing residences (FIG)

West: Existing residences (FIG)

### SITE CHARACTERISTICS

The 7,000-square-foot project site contains a single-family residence, a detached garage and associated landscaping.

### APPLICABLE CODES

FMC Chapter 17.52 HD, Historic District  
FMC Section 17.52.300, Design Review  
FMC Section 17.52.330, Plan Evaluation  
FMC Section 17.52.340, Approval Process  
FMC Section 17.52.540, Historic Residential Primary Area Special Use and Design Standards  
FMC Section 17.52.660, Demolition  
FMC Chapter 17.105, Accessory Dwelling Units  
Historic District Design and Development Guidelines

# **ATTACHMENT 3**

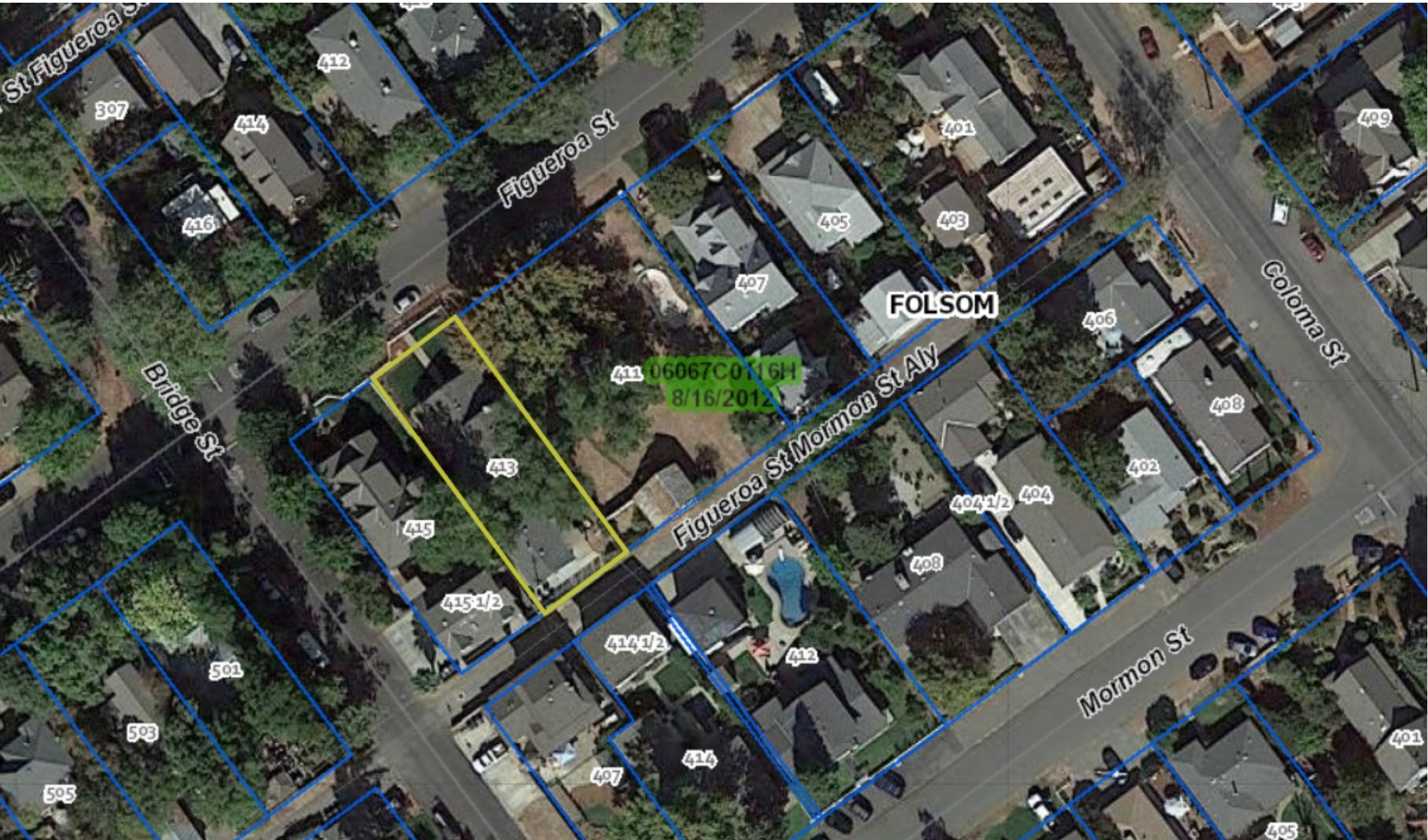
## **Proposed Conditions of Approval**

<b>CONDITIONS OF APPROVAL FOR 413 FIGUEROA STREET GARAGE AND ACCESSORY DWELLING UNIT DESIGN REVIEW (PN 21-080)</b>				
<b>Cond. No.</b>	<b>Mitigation Measure</b>	<b>GENERAL REQUIREMENTS</b>	<b>When Required</b>	<b>Responsible Department</b>
1.		Issuance of a Building Permit is required. The applicant shall submit final site and building plans to the Community Development Department that substantially conform to the site plan, floor plans and elevations dated 1-18-21, included in Attachment 5. Implementation of this project shall be consistent with the above referenced items as modified by these conditions of approval.	B	CD (B)
2.		Compliance with all local, state and federal regulations pertaining to building construction and demolition is required.	OG	CD (B)
3.		This approval is for demolition of an existing detached garage and construction of a two-story structure containing a 864-square-foot garage and a 974-square-foot Accessory Dwelling Unit at a lot located at 413 Figueroa Street. The applicant shall submit building plans that comply with this approval and the site plan, floor plans and building elevations dated 1-18-21 included in Attachment 5.	B	CD (P)
4.		If any archaeological, cultural, or historical resources or artifacts, or other features are discovered during the course of construction anywhere on the project site, work shall be suspended in that location until a qualified professional archaeologist assesses the significance of the discovery and provides recommendations to the City. The City shall determine and require implementation of the appropriate mitigation as recommended by the consulting archaeologist. The City may also consult with individuals that meet the Secretary of the Interior’s Professional Qualifications Standards before implementation of any recommendation. If agreement cannot be reached between the project applicant and the City, the Historic District Commission shall determine the appropriate implementation method.	G, I, B	CD (P)(E)(B)
5.		In the event human remains are discovered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the county coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code 5097.98. If the coroner determines that no investigation of the cause of death is required and if the remains are of Native American Origin, the coroner will notify the Native American Heritage Commission, which in turn will inform a most likely decedent. The decedent will then recommend to the landowner or landowner’s representative appropriate disposition of the remains and any grave goods.	G, I, B	CD (P)(E)(B)

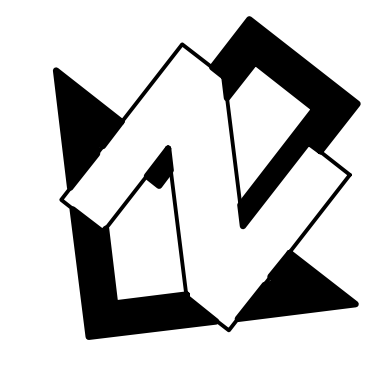
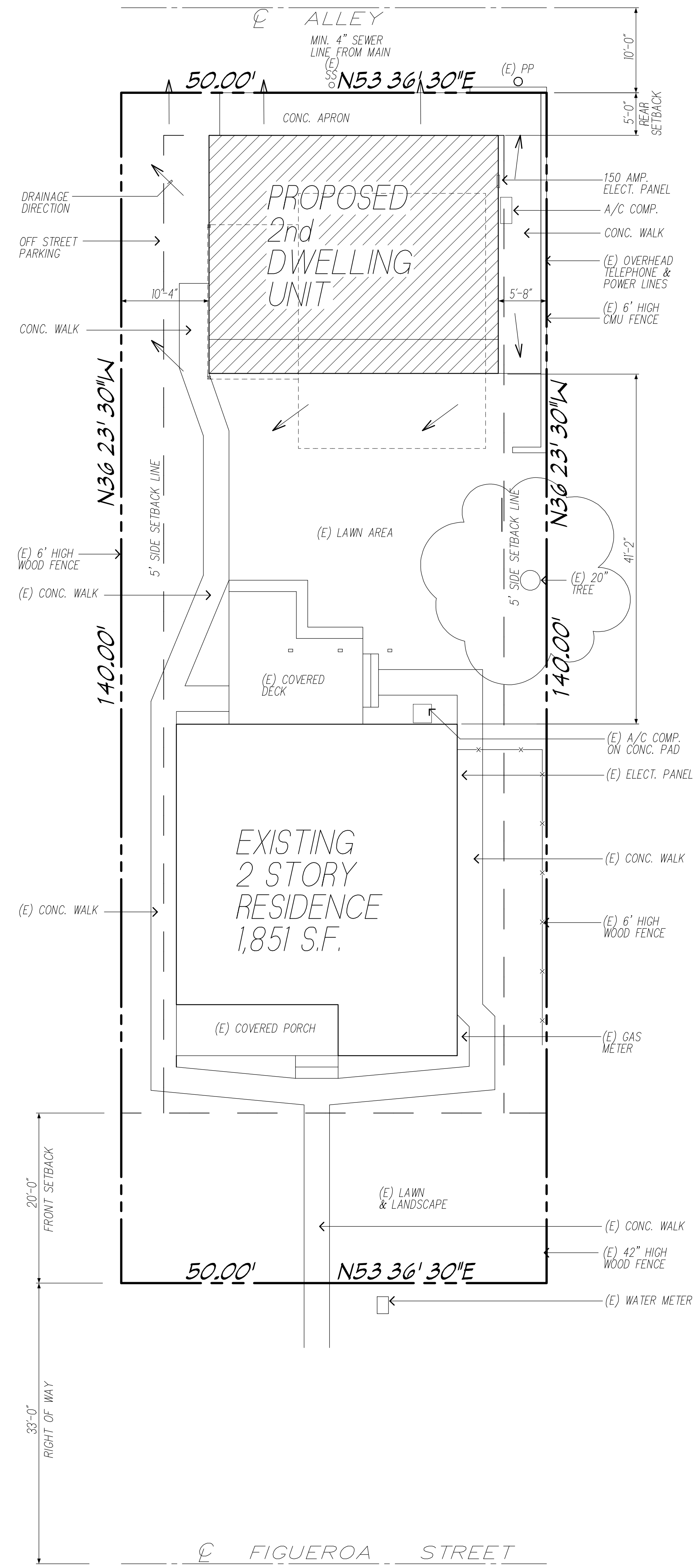
6.		Per <u>FMC</u> Section 17.105.140(J), all ADUs approved under this chapter may be rented separate from the primary residence; however, the rental must be for a term longer than thirty days. Per <u>FMC</u> Section 17.58.050(1), a maximum of three paying guests are permitted to rent rooms in a dwelling. Per <u>FMC</u> Chapters 17.11, 17.12, 17.13 and 17.14, boarding houses, defined as a residence wherein three or more rooms are rented to individuals under separate rental agreements or leases, are not allowed in single-family or two-family zones	O	CD (P)
7.		The project approval granted under this staff report shall remain in effect for one year from final date of approval (June 2, 2022). Failure to obtain the relevant building, demolition, or other permits within this time period, without the timely extension of this approval, shall result in the termination of this approval.	B	CD (P)

<b>RESPONSIBLE DEPARTMENT</b>		<b>WHEN REQUIRED</b>	
CD (P) (E) (B) (F)	Community Development Department Planning Division Engineering Division Building Division Fire Division	I	Prior to approval of Improvement Plans
		M	Prior to approval of Final Map
		B	Prior to issuance of first Building Permit
		O	Prior to approval of Occupancy Permit
		G	Prior to issuance of Grading Permit
PW	Public Works Department	DC	During construction
PR	Park and Recreation Department	OG	On-going requirement
PD	Police Department		

## **Attachment 4 Vicinity Map**



**Attachment 5**  
**Site Plan, Floor Plans and Elevations dated**  
**1-18-21**



2nd DWELLING UNIT FOR:  
**413 1/2 FIGUEROA STREET**  
 CITY OF FOLSOM, CA. A.P.N. 070-0116-002-0000

- MODEL CODE:**
- 2019 CALIFORNIA BUILDING CODE
  - 2019 CALIFORNIA RESIDENTIAL CODE
  - 2019 CALIFORNIA MECHANICAL CODE
  - 2019 CALIFORNIA PLUMBING CODE
  - 2019 CALIFORNIA ELECTRICAL CODE
  - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
  - 2019 CALIFORNIA ENERGY CODE
  - 2019 CALIFORNIA FIRE CODE
  - CURRENT CITY OF FOLSOM ORDINANCES

- SQUARE FOOTAGE:**
- LOWER RESIDENCE FLOOR AREA= 79 SQ. FT.
  - UPPER RESIDENCE FLOOR AREA= 895 SQ. FT.
  - TOTAL RESIDENCE FLOOR AREA= 974 SQ. FT.
  - GARAGE FLOOR AREA= 864 SQ. FT.

- DESIGN CRITERIA:**
- SEISMIC DESIGN C
  - 110 MPH BASIC WIND SPEED WITH 3 SECOND GUST
  - WIND EXPOSURE B
  - ROOF LIVE LOAD 20 PSF
  - CLIMATE ZONE 12
  - NO SNOW LOADING REQ.

- GENERAL NOTES:**
- CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING, AND BECOME GENERALLY FAMILIAR WITH ONSITE AND OFFSITE CONDITIONS WHICH AFFECT THE WORK AND PROCESSES OF CONSTRUCTION.
  - THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT SPECIFIED. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT WITH COMPLIANCE.
  - THE BUILDING DESIGNER WILL NOT BE OBSERVING CONSTRUCTION OF THIS PARTICULAR PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND STANDARDS FOR THE PROJECT.
  - THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES AND BUILDING CODES. THE JOBSITE SHALL BE MAINTAINED CLEAN AND ORDERLY. ALL DEBRIS AND STORED MATERIALS SHALL BE HANDLED ON A DAILY BASIS SO AS NOT TO ENCUMBER THE SITE. ALL DEBRIS OR CONSTRUCTION/DEMOLITION MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
  - THE BUILDING DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS OMISSIONS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS AND RIGHTS OF WAYS. CONTRACTOR SHALL VERIFY THE NEW WILL BE CONSTRUCTED WITHOUT ENCRANCHING ANY OF THESE BOUNDARIES. DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND RESOLVED PRIOR TO CONSTRUCTION. IF THE PROPERTY CORNERS MUST BE LOCATED BY A LICENSED ENGINEER IT IS THE RESPONSIBILITY OF THE HOME OWNER.
  - CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY OF WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PRACTICES OR AS PER THE CURRENT C.B.C.
  - THESE DRAWINGS HAVE BEEN PREPARED WITH THE UTMOST CARE FOR RELIABLE AND ACCURATE INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS FOUND OR CHANGES DUE TO UNFORESEEN FIELD CONDITIONS OR HUMAN ERROR. NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO RESUMPTION OF WORK OR ITEMS IN QUESTION.

- ABBREVIATIONS:**
- |         |                        |       |                        |
|---------|------------------------|-------|------------------------|
| A/C     | AIR CONDITION          | MFG   | MANUFACTURE            |
| AMP     | AMPERE                 | MIN   | MINIMUM                |
| APN     | ASSESSOR PARCEL NUMBER | MISC  | MISCELLANEOUS          |
| BLDG    | BUILDING               | NO    | NUMBER                 |
| CL      | CENTER LINE            | NTS   | NOT TO SCALE           |
| CLG     | CEILING                | OBSC  | OBSCURE                |
| CLR     | CLEAR                  | OC    | ON CENTER              |
| COL     | COLUMN                 | OPNG  | OPENING                |
| CONC    | CONCRETE               | PL    | PLATE                  |
| COND    | CONDENSER              | QTY   | QUANTITY               |
| DBL     | DOUBLE                 | REQ   | REQUIRED               |
| DEPT    | DEPARTMENT             | REV   | REVISION REVISED       |
| DN      | DOWN                   | SPCG  | SPACING                |
| EA      | EACH                   | SC    | SOLID CORE             |
| ELECT   | ELECTRICAL             | SH    | SINGLE HUNG            |
| (E)     | EXISTING               | SIM   | SIMILAR                |
| EXIST   | EXISTING               | SQ FT | SQUARE FOOT (FEET)     |
| FF      | FINISHED FLOOR         | SS    | SANITARY SEWER         |
| FXD     | FIXED                  | TMP   | TEMPERED               |
| GYP     | GYPSPUM                | TYP   | TYPICAL                |
| HGT, HT | HEIGHT                 | UNO   | UNLESS NOTED OTHERWISE |
| HORIZ   | HORIZONTAL             | VIF   | VERIFY IN FIELD        |
| HB      | HOSE BIB               | WD    | WOOD                   |
| HR      | HOUR                   | W/O   | WITHOUT                |
| LAM     | LAMINATE               | W/O   | WITHOUT                |
| MAX     | MAXIMUM                | XO    | FIXED/SLIDING          |
| MECH    | MECHANICAL             |       |                        |

**LOT COVERAGE:**

LOT SIZE= 7,000 SQ. FEET  
 EXIST. MAIN RESIDENCE/CVR'D PORCH AREA=1,457 SQ. FT.  
 CONCRETE AREA= 1,000 SQ. FT.  
 GARAGE W/ 2nd DWELLING AREA= 952 SQ. FT.  
 TOTAL LOT COVER AREA= 3,409 SQ. FT.  
 LOT COVERAGE= 49%  
 PERVIOUS SURFACE= 51%

**PROJECT DESCRIPTION:**

THE PROJECT WILL BE THE NEW CONSTRUCTION OF A 2nd DWELLING UNIT. THE STRUCTURE WILL BE 2 STORIES WITH A GARAGE BELOW AND LIVABLE SPACE ABOVE. IT WILL HAVE AN INTERIOR STAIRWELL TO THE 2nd FLOOR. THE EXTERIOR STYLE AND COLORS WILL MATCH THE EXISTING PRIMARY RESIDENCE.

- DRAWING INDEX:**
- 1 COVER SHEET/PLOT PLAN
  - 2 LOWER & UPPER FLOOR PLANS/NOTES & LEGENDS
  - 3 FOUNDATION PLAN/NOTES & TABLES/BUILDING SECTION/DETAILS
  - 4 ROOF FRAMING/2ND FLOOR FRAMING PLANS/NOTES & LEGENDS/ATTIC VENTILATION PLAN
  - 5 EXTERIOR ELEVATIONS
  - 6 LOWER & UPPER ELECTRICAL PLANS/NOTES & LEGENDS
  - G1 CALGREEN BUILDING STANDARDS CODE
  - SD.1 STRUCTURAL DETAILS
  - SD.2 STRUCTURAL DETAILS
  - SN.1 GENERAL NOTES
  - SN.2 GENERAL NOTES
  - T1 TITLE 24 ENERGY COMPLIANCE

**LEGAL DESCRIPTION:**

THE FIGUEROA SUBAREA HISTORIC DISTRICT  
 CITY OF FOLSOM, SACRAMENTO COUNTY, CALIFORNIA  
 413 1/2 FIGUEROA STREET  
 APN= 070-0116-002-0000

**PROJECT DATA:**

ZONING: R-1-M  
 OCCUPANCY: GROUP R-3, U  
 TYPE OF CONSTRUCTION: V-B  
 GENERAL PLAN DESIGNATION: SINGLE FAMILY DWELLING (SF)  
 FIRE SPRINKLERS: NOT REQUIRED-EXISTING BUILDING IS CONTAINING NON-FIRE SPRINKLERS



**DATE:** 1-18-21  
**DRAWN:** dlp  
**SCALE:** 1/8" = 1'-0"  
**JOB:** 20-800  
**SHEET:** 1

**ENGINEER:** Paulo Ibanez P.E.  
 P.O. Box 781  
 Citrus Heights, CA. 95611  
 Ph. (916) 524-3052  
 pibanez@surewest.net

**DESIGNER:** d. l. potts drafting services  
 Deanna L. Potts  
 Orangevale, Ca. 95662  
 Off./Fax: (916) 988-7388  
 dlpottdrafting@gmail.com

**PROJECT:** THOMAS 2nd DWELLING UNIT  
 413 1/2 FIGUEROA ST. CITY OF FOLSOM  
 COUNTY OF SACRAMENTO, CA. A.P.N. - 070-0116-002  
**OWNER:** ZACHARY & QUINN THOMAS  
 413 FIGUEROA STREET FOLSOM, CA. 95630  
 PH: (415) 416-8493 EMAIL: zthomas7@gmail.com

**PLOT PLAN/  
COVER SHEET**



**FLOOR NOTES:**

- 1) ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 C.R.C., C.B.C., C.M.C., C.P.C. & C.E.C. USE 2019 TITLE 24 ENERGY CODES PLUS ALL LOCAL GOVERNING CODES.
- 2) CONTRACTOR IS TO VERIFY WITH OWNER MATERIALS & CONSTRUCTION METHODS TO MATCH ON EXISTING RESIDENCE.
- 3) CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS & RIGHT OF WAYS. CONTRACTOR TO VERIFY THAT FOOTPRINT OF STRUCTURE WILL BE CONSTRUCTED WITHOUT ENCRoACHING WITHIN THESE BOUNDARIES. IF PROPERTY CORNERS ARE TO BE LOCATED BY A LICENSED ENGINEER IT IS THE OWNERS RESPONSIBILITY.
- 4) THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY CHANGES, DELETIONS OR SUBSTITUTIONS OF MATERIALS OR METHODS WITHOUT PRIOR WRITTEN APPROVAL.
- 5) WRITTEN DIMENSIONS, CONSTRUCTION DETAILS AND APPROVED BUILDING DEPT. SET HAVE PRECEDENCE OVER SCALED DIMENSIONS OR ALTERNATIVE BUILDING SETS.
- 6) EVERY EFFORT HAS BEEN MADE TO ASSURE THE ACCURACY OF THESE DRAWINGS. ANY ERRORS, OMISSIONS FOUND OR CHANGES DUE TO UNFORSEEN FIELD CONDITIONS OR HUMAN ERROR SHALL BE BROUGHT TO THE DESIGNERS ATTENTION AND RESOLVED PRIOR TO RESUMPTION OF WORK IN QUESTION.
- 7) THE DESIGNER IS NOT RESPONSIBLE FOR THE TIME OR CRAFTSMANSHIP OF WORK PERFORMED BY THE LICENSED CONTRACTOR.
- 8) ALL EQUIPMENT, APPLIANCES, FIXTURES, HARDWARE, FINISH MATERIALS AND COLOR SELECTIONS TO BE DETERMINED BY AGREEMENT BETWEEN THE OWNER AND GENERAL CONTRACTOR.
- 9) CONTRACTOR IS RESPONSIBLE TO REVIEW AND COMPLY WITH STRUCTURAL ENGINEERS CALCULATIONS.
- 10) ALL WALL FRAME TO BE 2" STUDS @ 16" OR BETTER @ 16" O.C. (Unless Noted Otherwise.)
- 11) PLATE HEIGHT TO BE 9'-0" @ LOWER, 8'-0" @ UPPER (UNO.)
- 12) ALL OPENING HEADERS TO BE DF # 2 OR BETTER (UNO.) HEADERS MORE THAN 6'-0" IN LENGTH TO HAVE DBL. CRAPPLE STUDS @ EACH END.
- 13) ALL ANCHOR BOLTS ON PRESSURE TREATED WOOD PLATE SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED, STAINLESS STEEL OR ALUMINUM ALL OY CORROSION RESISTANT.
- 14) THERMOSTATIC MIXING VALVES REQUIRED ON ALL SHOWER & TUB COMBINATIONS.
- 15) PROVIDE SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE WITH BACKDRAFT DAMPER.
- 16) THE SHOWER/TUB WALLS SHALL BE FINISHED WITH A HARD, NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE DRAIN INLET.
- 17) STAIRWELL INCLUDED IN LOWER FLOOR SQ. FOOTAGE CALC. ONLY.
- 18) PROVIDE 5/8" 1 HR. FR. TYPE "X" GYP. BRD. UNDER STAIRWELL AT WALLS & SOFFIT.
- 19) ALL STAIR HANDRAILS SHALL HAVE A 1 1/4" - 2" GRIP-PABLE GROSS SECTION & NO SHARP CORNERS.
- 20) REFER TO SHEAR WALL TABLE FOR SIZE OF FRAMING MEMBERS & SILL PLATES AT ALL SHEAR WALLS. REFER TO SHEETS SNI & SN2 FOR STANDARD DETAILS AND GENERAL NOTES.
- 21) ALL HOSE BBS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE.
- 22) PROVIDE 1" AIR GAP FITTING AT DISHWASHER AND DISPOSAL.
- 23) ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE & LIVING AREA SHALL BE 26 GA. MIN.
- 24) SIMPSON BRAND HARDWARE MAY BE SUBSTITUTED, AN ALTERNATE MAY BE USED WITH EQUAL SPECIFICATIONS.
- 25) ALL ROUGH PLUMBING FOR HOT AND COLD RUNS TO USE VANGAARD PEX SYSTEMS OR EQUAL IN LIEU OF COPPER.
- 26) THE MINIMUM SLOPE OF ALL DRAINAGE PIPING TO BE 1/4" PER FOOT. DRAINAGE PIPE 4" OR LARGER MAY HAVE A SLOPE OF 1/8" PER FOOT WHEN SPECIFICALLY APPROVED BY THE CITY PER C.P.C. 708.
- 27) ALL COUNTER TOPS TO BE A SOLID SURFACE, OWNER TO VERIFY MATERIAL.
- 28) CONTRACTOR TO VERIFY ALL HEIGHTS BETWEEN FF. AND LEVEL AT TERMINATION OF STAIRS FOR EXACT RISE AND RUN DIMENSIONS.
- 29) EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE C.B.C. 1030.
  - MINIMUM CLEAR OPENING OF 5.7 SQ. FT.
  - 24" MINIMUM NET CLEAR OPENING HEIGHT
  - 20" MINIMUM NET CLEAR OPENING WIDTH
  - BOTTOM NET CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR
  - OPERATION SHALL BE FROM INSIDE THE ROOM WITHOUT THE USE OF SPECIAL KEYS, TOOLS OR KNOWLEDGE.
- 30) ALL LANDINGS AT EXTERIOR DOORS SHALL NOT MORE THAN 7/34" BELOW THE TOP OF THE THRESHOLD.
- 31) ANY FOAM PLASTIC INSULATION USED SHALL COMPLY WITH CRC. R302.01 AND SECTION R306.
- 32) MINIMUM U-FACTOR FOR ALL NEW WINDOWS AND DOORS WITH GLAZING PER ENERGY REPORT RECOMMENDATIONS.

**TITLE 24 NOTES:**

- 1) THE 50 GALLON WATER HEATER ENERGY FACTOR SHALL BE 2.9 COEFFICIENT OF PERFORMANCE.
- 2) ALL WINDOWS TO BE DUAL PANE, LOW E, VINYL.
- 3) MINIMUM INSULATION LEVELS SHALL BE:
  - WALLS: R-21 w/ 1" XPS FOAM
  - FLOORS: R-19
  - ATTIC: OPTION B- R-38 AT CEILING AND R-19 AT ROOF RAFTERS THROUGHOUT ENTIRE HOUSE.
  - DUCTS: R-80
 HOUSE ALSO REQUIRES QUALITY INSULATION INSPECTION (OI).
- 4) THE WHOLE HOUSE FAN SHALL HAVE 1566 CFM AT A MAX. MOTOR WATTAGE OF 220 WATTS.
- 5) THE INDOOR AIR QUALITY FAN SHALL BE 75 CFM OR GREATER.
- 6) THE AIR CONDITIONER SHALL HAVE A MINIMUM EFFICIENCY OF 17.0 SEER AND 11.2 EER.
- 7) THE FURNACE SHALL HAVE A MINIMUM HSPF OF 9.5.
- 8) REQUIRED **HERS** VERIFICATIONS: BUILDING LEVEL VERIFICATIONS: "QUALITY INSULATION INSTALLATION" (IQI), INDOOR AIR QUALITY VENTILATION, KITCHEN RANGE HOOD, COOLING SYSTEM VERIFICATION, MINIMUM AIR FLOW, VERIFIED REFRIGERANT CHARGE, VERIFIED **SEER** & FAN EFFICACY WATTS/CFM, HEATING SYSTEM VERIFICATIONS: VERIFIED HSPF AND VERIFIED HEAT PUMP RATED HEATING CAPACITY, HVAC DISTRIBUTION SYSTEM VERIFICATIONS: DUCT LEAKAGE TESTING.
- 9) THE SOLAR PV RATING OF 3.31 OR GREATER AND 96% INVERTER EFFICIENCY.
- 10) MINIMUM 1" THICK PIPE INSULATION SHALL BE INSTALLED ON ALL HOT WATER PIPES FROM THE WATER HEATER TO THE KITCHEN FIXTURES.
- 11) MINIMUM DUCT INSULATION SHALL BE R-8.0.

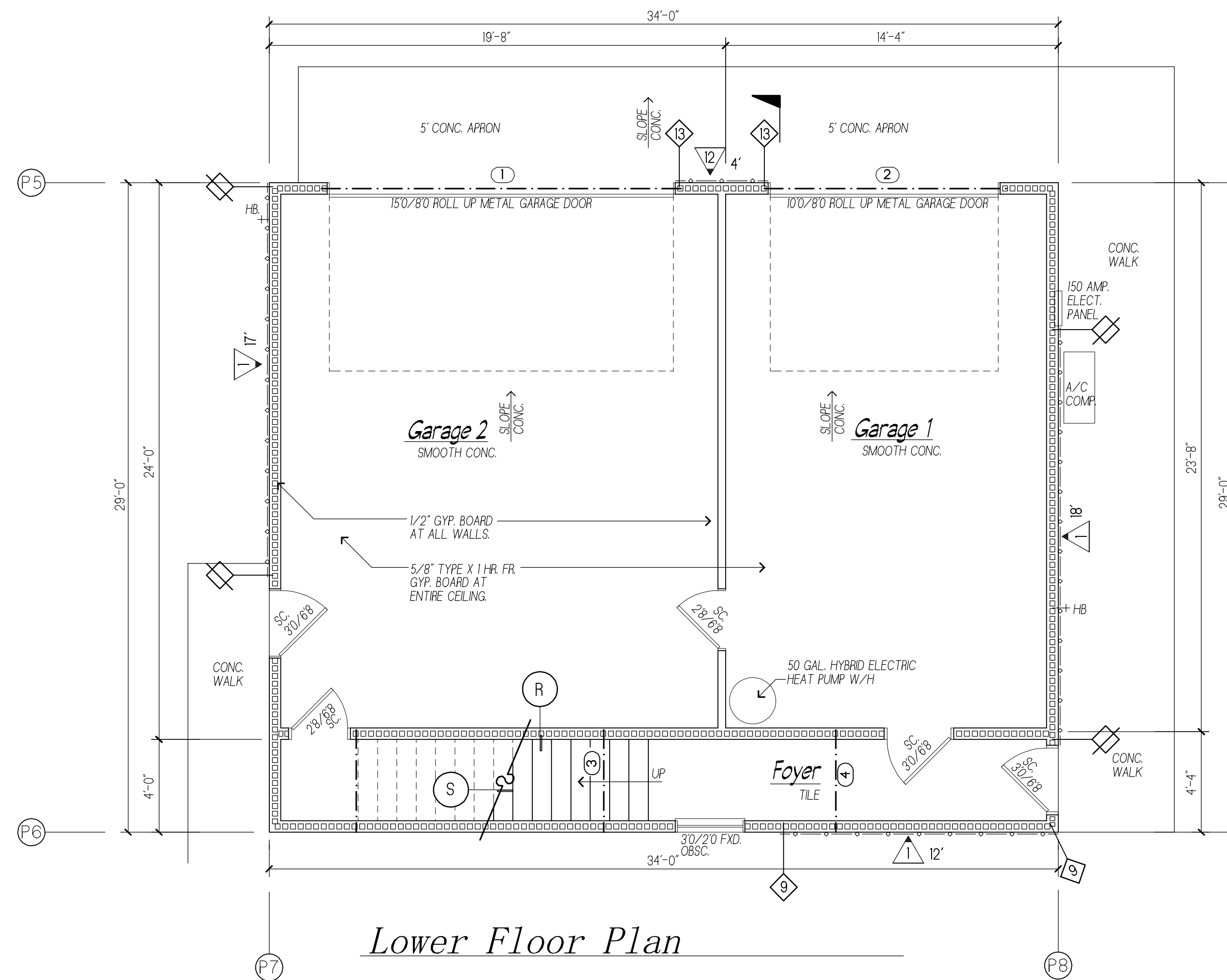
TYPE		WIND	SEISMIC	DESCRIPTION
1	1705	1705		CS16 STRAP 14" MINIMUM END SPAN, CLEAR SPAN VARIES, ATTACH TO 2"x FRAMING MEMBERS AT SHEARWALL AND FRAMING BELOW, FLOOR FRAMING OR SHEAR WALL.
2	3410	3410		(2) CS16 STRAPS, 14" MINIMUM END SPAN, CLEAR SPAN VARIES, ATTACH TO 4"x FRAMING MEMBERS AT SHEARWALL.
3	4585	4585		CMSTC16 STRAP 23" MINIMUM END SPAN, CLEAR SPAN VARIES, ATTACH TO 4"x FRAMING MEMBERS AT SHEARWALL.
4	5860	5860		MSTC66 FLOOR TIE, 18" MAXIMUM CLEAR SPAN, ATTACH TO 4"x FRAMING MEMBERS AT SHEARWALL.
7	2940	2940		STD10 TO 4"x 4" POST WITH (20) 16d SINKER NAILS
8	3815	3815		STD14 TO 4"x 4" POST WITH (24) 16d SINKER NAILS
9	3075	3075		HOU2 HOLDOWN TO 4X POST MIN. WITH SSTB20 ANCHOR.
10	9535	9535		HOU11 HOLDOWN TO 6X POST MIN. WITH SBT130 ANCHOR.

TYPE		WIND	SEISMIC	DESCRIPTION
1	305	260		3/8" APA RATED SHEATHING ONE FACE W/ 8d COMMON NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD, 5/8" DIA. ANCHOR BOLTS @ 48" O.C. MAX. HOLDOWNS AS SPECIFIED IN CALCULATIONS, AT RAISED/JERFER FLOOR, 16d AT 16" O.C. AND LIP/LIPS CLIPS AT 24" O.C.
2	970	770		15/32" APA RATED SHEATHING ONE FACE W/ 10d COMMON NAILS @ 2" O.C. EDGE AND 12" O.C. FIELD, INSTALL MIN. 3"x NOMINAL FRAMING MEMBERS @ ADJOINING PANEL EDGES W/ STAGGERED NAILING: 5/8" DIA. ANCHOR BOLTS @ 22" O.C. MAX. HOLDOWNS AS SPECIFIED IN CALCULATIONS, PROVIDE 3X PT DF SILL PLATE.

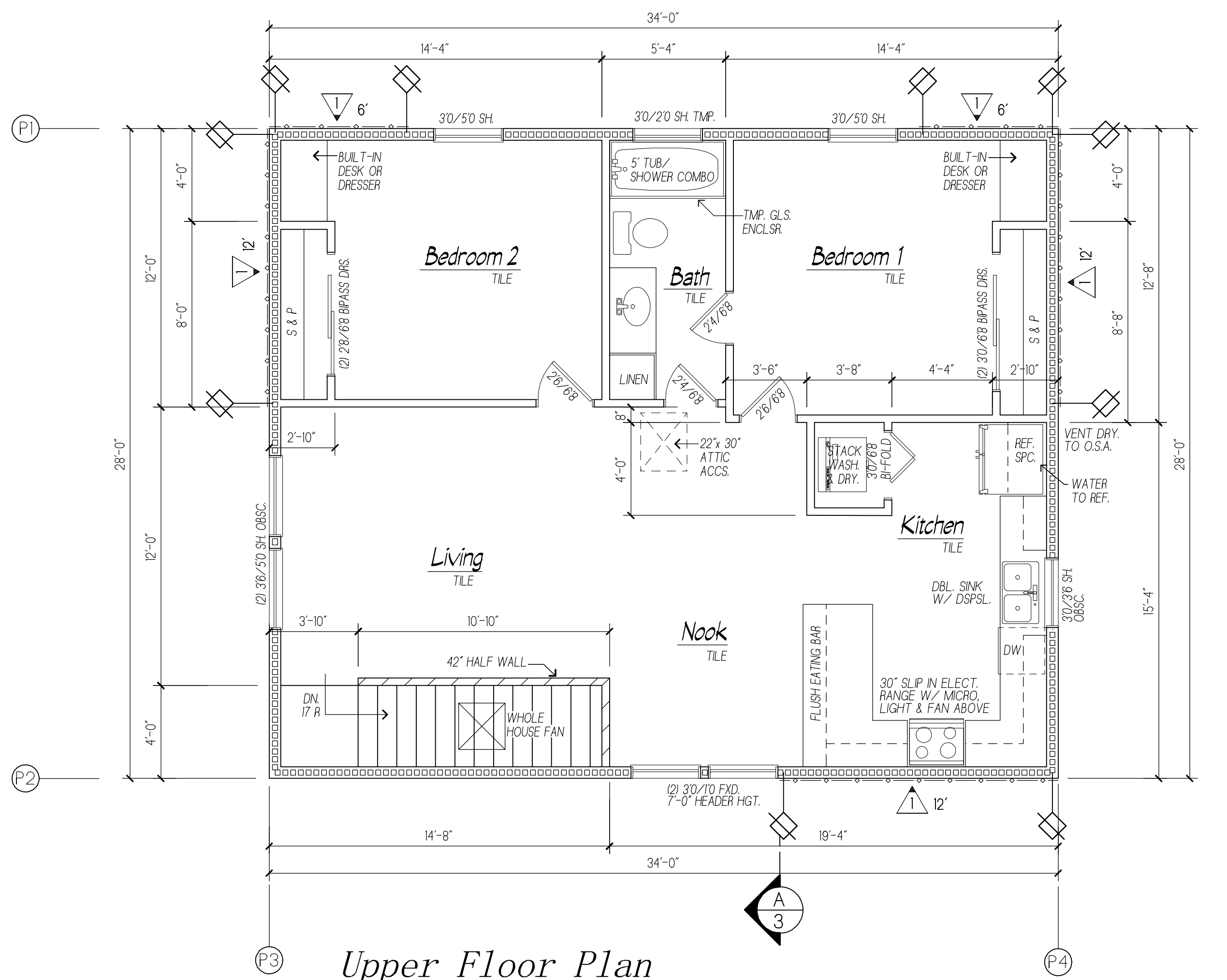
LIVING/NOOK/KITCHEN - 440 SQ. FT.  
 140x 4% VENTILATION= 1780 SF. ACTUAL= 1828 SF.  
 140x 8% LIGHT= 3520 SF. ACTUAL= 4005 SF.

BEDROOM 1 - 140 SQ. FT.  
 100x 4% VENTILATION= 560 SF. ACTUAL= 604 SF.  
 100x 8% LIGHT= 1120 SF. ACTUAL= 1160 SF.

BEDROOM 2 - 137 SQ. FT.  
 100x 4% VENTILATION= 548 SF. ACTUAL= 604 SF.  
 100x 8% LIGHT= 1096 SF. ACTUAL= 1160 SF.



**Lower Floor Plan**



**Upper Floor Plan**

**BEAM SCHEDULE**

1	TRPL 1 3/4" x 11 7/8" 1.9E SCL
2	6" x 12" #1 D.F. BEAM
3	DBL 1 3/4" x 11 7/8" 1.9E SCL
4	DBL 1 3/4" x 11 7/8" 1.9E SCL

FIRST FLOOR:  
 4" HEADER= 6" x 6" NO. 1 D.F. (MIN.)  
 4" HEADER= 6" x 8" NO. 1 D.F. (MIN.)

SECOND FLOOR:  
 4" HEADER= 6" x 6" NO. 1 D.F. (MIN.)  
 4" HEADER= 6" x 8" NO. 1 D.F. (MIN.)

**WALL LEGEND**

[Symbol]	INDICATES 2" x 4" STUDS @ 16" O.C.
[Symbol]	INDICATES 2" x 6" STUDS @ 16" O.C.
[Symbol]	INDICATES 2" x 4" STUDS @ 16" O.C. HALF WALL

**SYMBOL LEGEND**

[Symbol]	BEAM NUMBER (CORRESPONDING TO ENGINEERS CALLS)
[Symbol]	SHEAR WALL PANEL, WITH REQUIRED PANEL LENGTH
[Symbol]	SHEARWALL INDICATOR (CORRESPONDING TO ENGINEERS CALLS)
[Symbol]	HOLD DOWN INDICATOR PER TABLE.
[Symbol]	NO HOLD DOWN REQUIRED PER TABLE.
[Symbol]	INDICATES LENGTH OF SHEAR WALL PANEL.
[Symbol]	INDICATES STRUCTURAL BEAM LOCATIONS.

**GARAGE FLOOR AREA= 864 SQ. FT.**  
**UPPER RESIDENCE AREA= 895 SQ. FT.**  
**LOWER RESIDENCE AREA= 79 SQ. FT.**  
**TOTAL RESIDENCE AREA= 974 SQ. FT.**

DATE	REVISIONS

OWNER: **Paulo Ibanez P.E.**  
 P.O. Box 781  
 Citrus Heights, CA. 95611

DESIGNER: **d. l. polts drafting services**  
 Deanna L. Polts  
 Orangevale, Ca. 95662  
 Ph. (916) 524-3052  
 Off./Fax (916) 988-7388  
 dpoltsdrafting@gmail.com

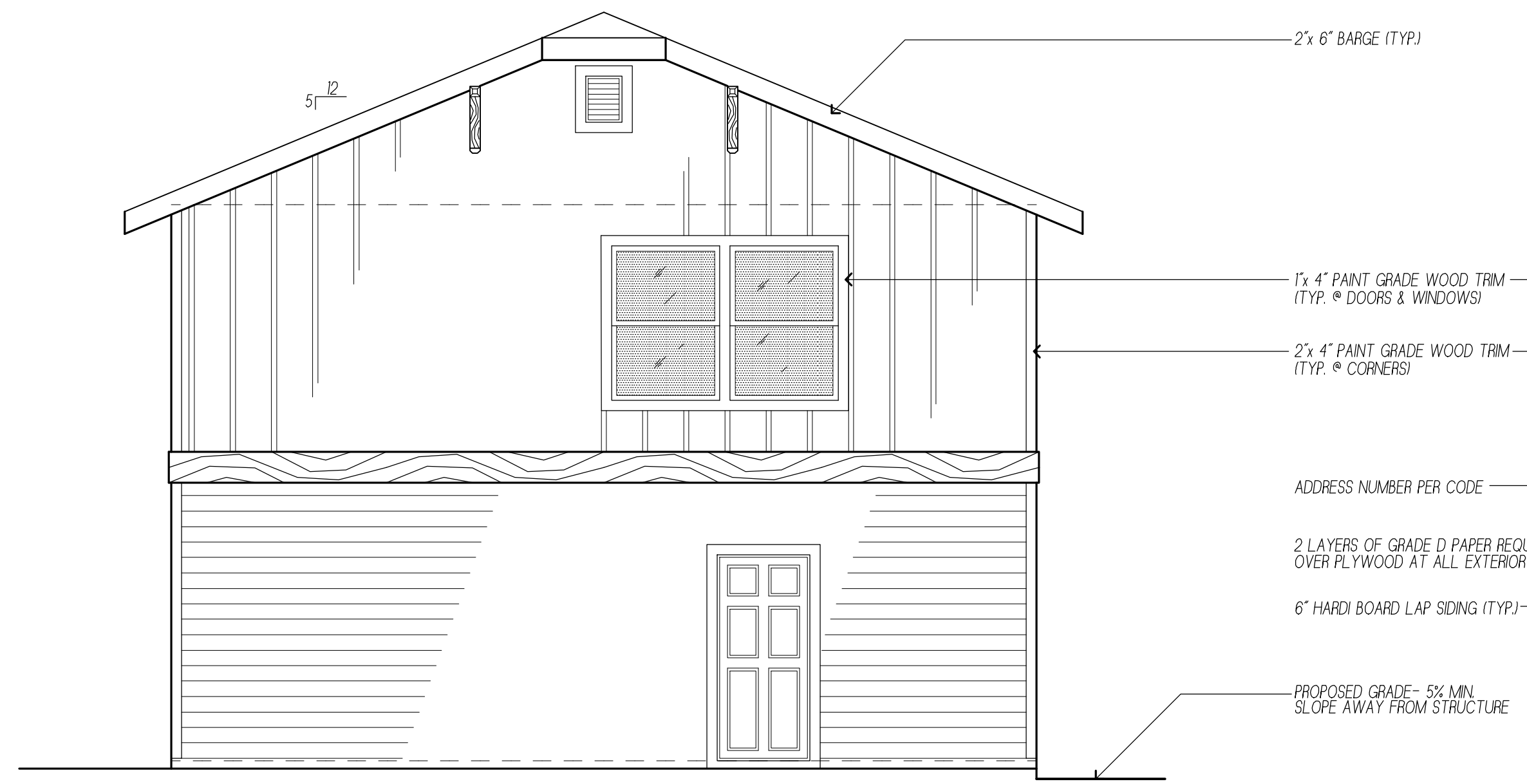
PROJECT: **THOMAS 2nd DWELLING UNIT**  
 413 1/2 FIGUEROA ST. CITY OF FOLSOM  
 COUNTY OF SACRAMENTO, CA. A.P.N. - 070-0116-002

OWNER: **ZACHARY & QUINN THOMAS**  
 413 FIGUEROA STREET FOLSOM, CA. 95630  
 PH: (415) 416-8443 EMAIL: zthomas7@gmail.com

**LOWER & UPPER FLOOR PLANS/NOTES & LEGENDS**

DATE: 1-18-21  
 DRAWN: dlp  
 SCALE: 1/4" = 1'-0"  
 JOB: 20-800  
 SHEET: 2

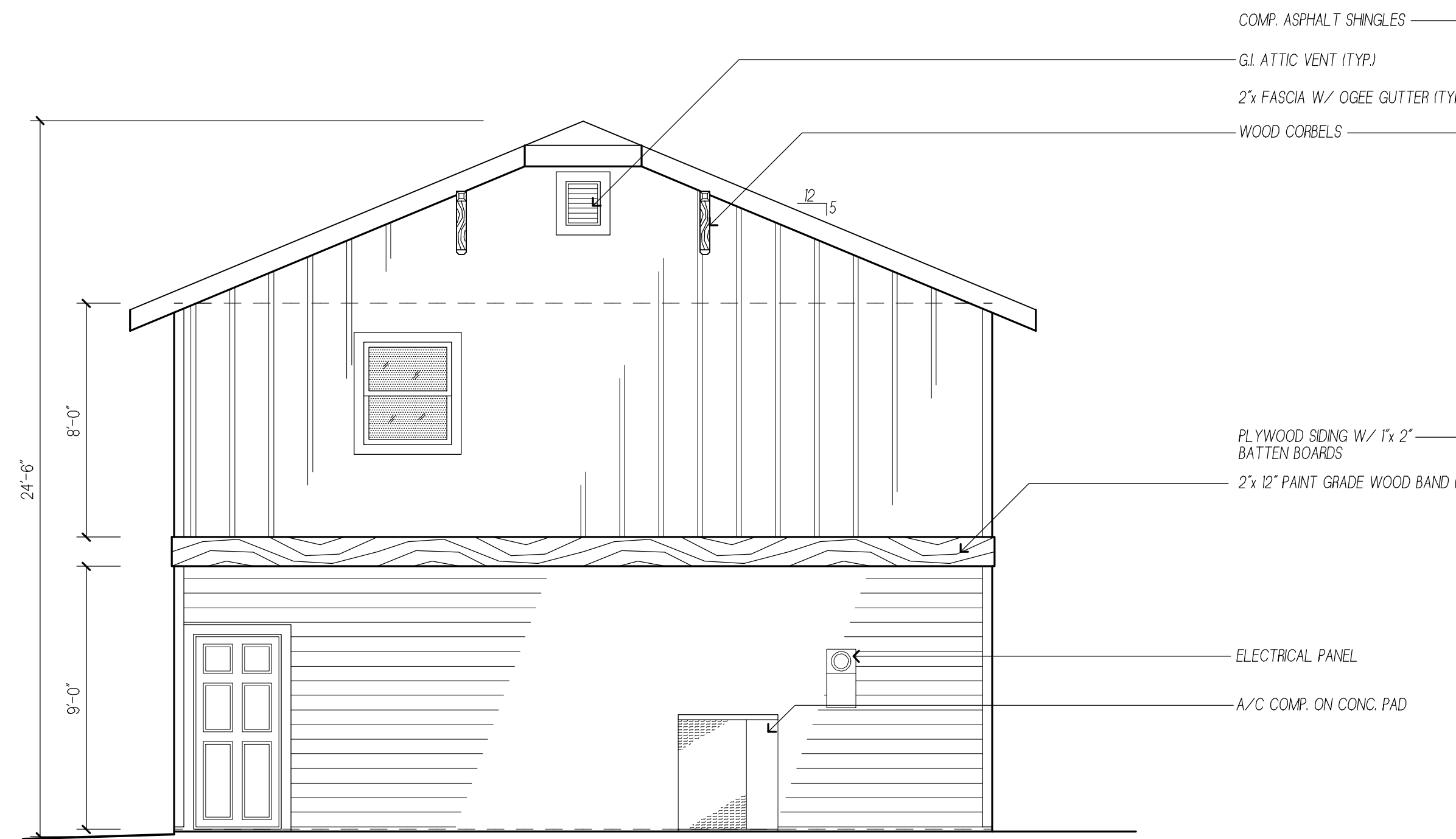
PROJECT NORTH



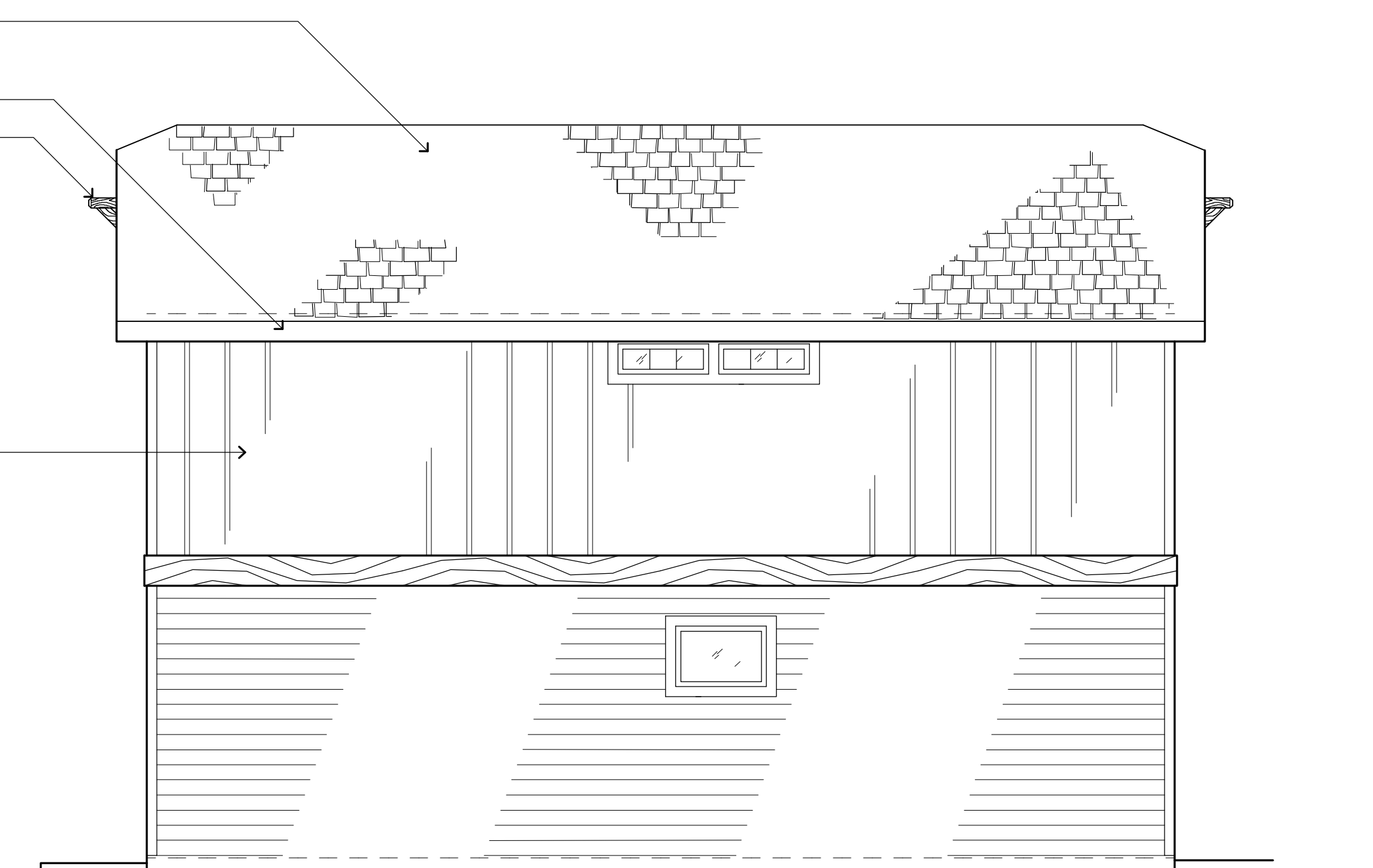
Left (East)



Front (South)



Right (West)



Rear (North)

MATCH BASE AND TRIM COLORS OF MAIN RESIDENCE

DATE	REVISIONS

DESIGNER: **d. l. potts drafting services**  
 Deanna L. Potts  
 Orangevale, Ca. 95662  
 Off./Fax: (916) 989-7388  
 dlpottdrafting@gmail.com

ENGINEER: **Paulo Ibanez P.E.**  
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 Citrus Heights, CA. 95611  
 Ph: (916) 524-3052  
 pibanez@surewest.net

PROJECT: **THOMAS 2nd DWELLING UNIT**  
 413 1/2 FIGUEROA ST. CITY OF FOLSOM  
 COUNTY OF SACRAMENTO, CA. A.P.N. - 070-0116-002

OWNER: **ZACHARY & QUINN THOMAS**  
 413 FIGUEROA STREET FOLSOM, CA. 95630  
 PH: (415) 416-8493 EMAIL: zthomas7@gmail.com

**EXTERIOR ELEVATIONS**

DATE:	1-18-21
DRAWN:	dlp
SCALE:	1/4" = 1'-0"
JOB#:	20-800
SHEET:	5

## **Attachment 6**

### **Site Photos**



52





**Attachment 7**  
**Comment Letter from Heritage Preservation**  
**League of Folsom, Dated May 20, 2021**

**HERITAGE PRESERVATION LEAGUE OF FOLSOM  
PROJECT APPLICATION REVIEW**

May 20, 2021

**PROJECT:** Detached Garage and Accessory Dwelling Unit at 413 Figueroa Street in the Figueroa Subarea (File: 21-080)

**REQUEST:** The demolition of an existing garage and the construction of a new garage with a second story Accessory Dwelling Unit.

**PROJECT**

**HISTORY:** Application Circulated by City on May 7, 2021 (feedback requested by May 21).

**PROJECT REVIEW:**

Site Conditions:

Many large garages with ADU's are facing the alley between the 400-block of Coloma Street and Bridge Street. The public alleyway is often congested by parked cars and larger vehicles have a hard time to get through. Three car garages have already been built across from the project site and west of the project site.

In the current proposal a 10-foot setback has been maintained along the east side of the new structure. This area can provide an additional parking area

- To reduce the visual massing of two story structures along the alley and improve access to the new garage, the proposed building should have a larger setback from the alley (more than 5-feet).

Demolition

The existing garage building appears to have been constructed at the same time as the main structure. Should this building include salvageable lumber or hardware, these materials could be preserved at a location that is approved by the Community Development Department.

- Provide the Historic District Commission with photo's and documentation regarding the existing garage.
- Save existing materials that can be recycled.
- Document the small hipped roof area at the end of the ridgeline of the existing garage and incorporate this feature with the new building.

Building Design

The proposed new structure is larger than 800 sq. ft. and is therefore subject to design review. Because the new garage/residence does not resemble the existing home on the same property, HPL is recommending that the existing hipped roof detail (included with both the main structure and the garage) should also be included with the new detached accessory structure.



- Connect the new building to the existing home by using the same hipped roof detail that has been incorporated with the original structures at 413 Figueroa Street.

Because few personal cars existed in Folsom before year 1910, garages in the Figueroa Street Subarea should generally be disguised as storage barns or carriage houses. The proposed garage doors do not meet these recommendations.

- Select garage doors that resemble barn doors or carriage house doors,